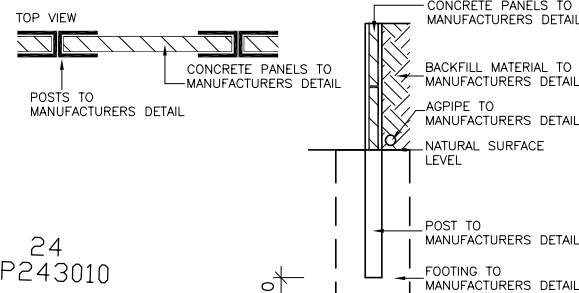


\* WRITTEN DIMENSIONS TO TAKE PREFERENCE OVER SCALE

**BAL 12.5**

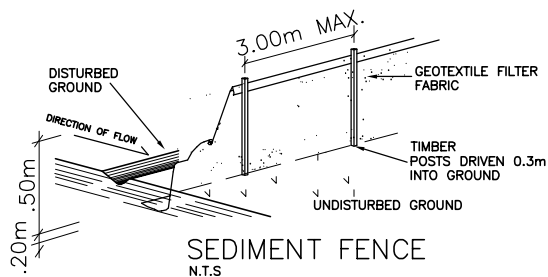
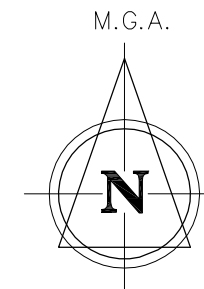
REFER TO TABLE FOR CONSTRUCTION REQUIREMENTS

**RIDGI WALL RETAINING SYSTEM OR SIMILAR**



WALL HT	POST SPACING	POST SIZE	FOOTING DEPTH
150mm	1520mm	60UC	250mm
300mm	1520mm	60UC	400mm
450mm	1520mm	60UC	550mm
600mm	1520mm	60UC	700mm
750mm	1520mm	60UC	850mm
900mm	1520mm	60UC	1000mm

NOTE: ALL AUGER HOLES TO BE 300mm DIA



### SEDIMENT CONTROL NOTES

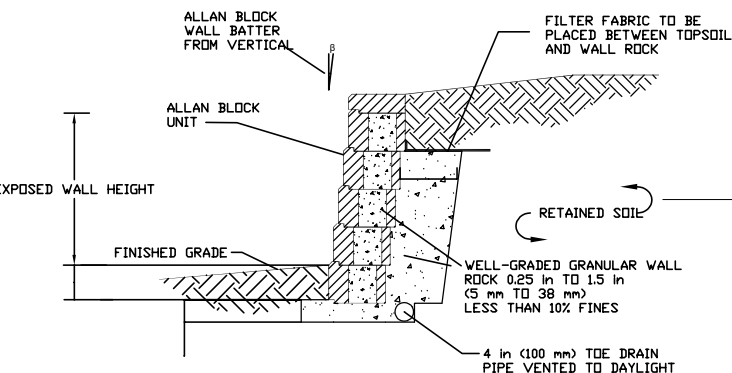
1. ALL EROSION AND SEDIMENTATION CONTROL MEASURES, INCLUDING REVEGETATION AND STORAGE OF SOIL AND TOPSOIL, SHALL BE IMPLEMENTED TO THE STANDARDS OF THE SOIL CONSERVATION OF NSW.
2. ALL DRAINAGE WORKS SHALL BE CONSTRUCTED AND STABILIZED AS EARLY AS POSSIBLE DURING DEVELOPMENT.
3. SEDIMENT TRAPS SHALL BE CONSTRUCTED AROUND ALL INLET PITS, CONSISTING OF 300mm WIDE X 300mm DEEP TRENCH.
4. ALL SEDIMENT BASINS AND TRAPS SHALL BE CLEANED WHEN THE STRUCTURES ARE A MAXIMUM OF 60% FULL OF SOIL MATERIALS, INCLUDING THE MAINTENANCE PERIOD.
5. ALL DISTURBED AREAS SHALL BE REVEGETATED AS SOON AS THE RELEVANT WORKS ARE COMPLETED.
6. SOIL AND TOPSOIL STOCKPILES SHALL BE LOCATED AWAY FROM DRAINAGE LINES AND AREA WHERE WATER MAY CONCENTRATE.
7. FILTER SHALL BE CONSTRUCTED BY STRETCHING A FILTER FABRIC (PROPEX OR APPROVED EQUIVALENT BETWEEN POST AT 3.0m CENTRES. FABRIC SHALL BE BURIED 150mm ALONG ITS LOWER EDGE.

53  
DP243010

23  
DP243010

24  
DP243010

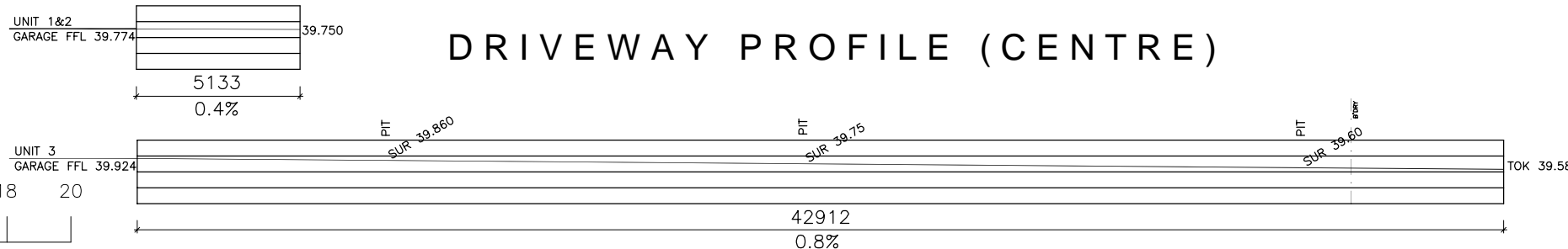
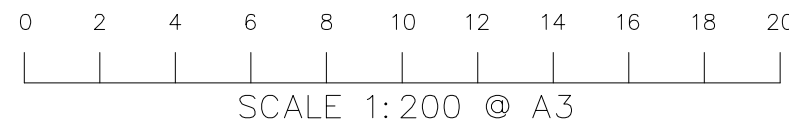
26  
DP243010



## SITE PLAN

NOTE: ALL GROUND LINES ARE APPROXIMATE. EXTENT OF FILL & BATTER WILL BE DETERMINED ON SITE.

## DRIVEWAY PROFILE (CENTRE)



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ENERGY SMART DESIGN, DEVELOPMENT & ASSESSMENT

REV.	DRAWN	DATE	DESCRIPTION	REV.	DRAWN	DATE	DESCRIPTION
3	ES	08.03.23	REVISED RL'S FOR UNIT 1 & 2 AS PER STORM WATER DESIGN				
2	ES	15.02.23	BASIX AND BUSHFIRE REQUIREMENTS ADDED				
1	0.0	00.00.00	ORIGINAL ISSUE				

CLIENT RED McDONALD	DESIGN CUSTOM
SITE ADDRESS LOT 25 DP 243010 28 BLACKETT CLOSE, EAST MAITLAND 2320	SHEET <b>S 03</b>
	REV. <b>3</b>
	JOB No. <b>22/126</b>
SCALE 1:200	

\* WRITTEN DIMENSIONS TO TAKE PREFERENCE OVER SCALE

**BAL 12.5**  
REFER TO TABLE FOR CONSTRUCTION REQUIREMENTS

UNIT 2

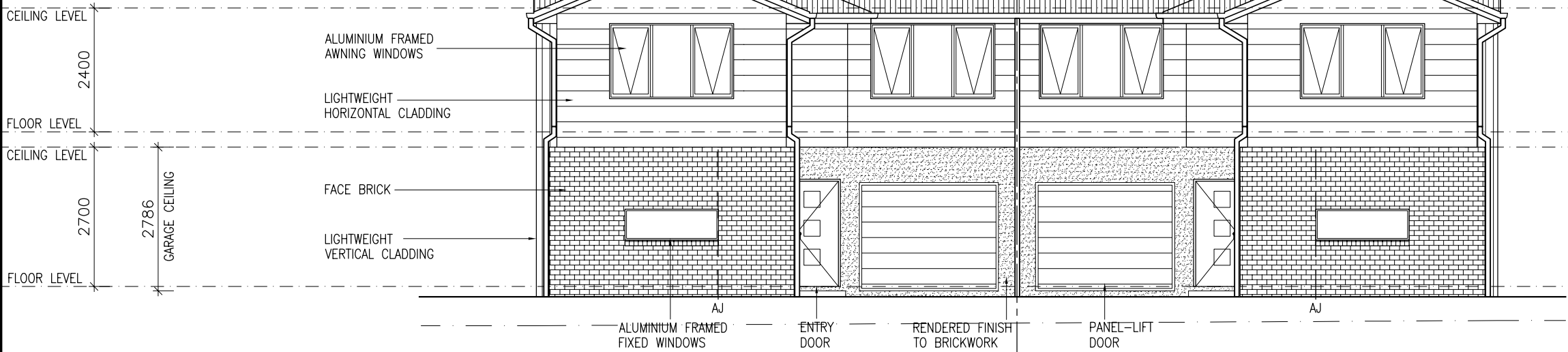
UNIT 1

AJ - ARTICULATION/ CONTROL JOINTS

COLORBOND SHEET ROOFING  
@ 22.5° ROOF PITCH

450

7235  
GROUND TO RIDGE



ALL DIMENSIONS SHOWN ARE TO THE FACE OF FRAME WORK OR EXTERNAL CLADDING.

MECHANICAL VENTILATION DISCHARGE TO EXTERNAL WALL/ EAVE

BRICK CONTROL JOINTS TO BE IN ACCORDANCE WITH N.C.C & AS3700 & AS4773

REFER TO BASIX TABLE FOR CONSTRUCTION REQUIREMENTS

WINDOWS TO UPPER FLOORS TO COMPLY WITH NCC CLAUSE 3.9.2.5 PROTECTION OF OPENABLE WINDOWS

FIRE RATED SEPARATING WALL IN ACCORDANCE WITH NCC REQUIREMENTS  
CLAUSE 3.7.3 FRL 60/60/60  
CLAUSE 3.8.6 SOUND REQUIREMENTS

ALL UPPER FLOOR WINDOW HEAD HEIGHTS @ DROP OFF UNLESS OTHERWISE NOTED

ALL LOWER FLOOR WINDOW HEAD HEIGHTS 2100H UNLESS OTHERWISE NOTED

SLAB TO BE MIN 300mm WAFFLE POD

COLOURS:  
ROOF- MONUMENT  
CLADDING- SURFMIST  
BRICK- MEDIUM DEFAULT COLOUR

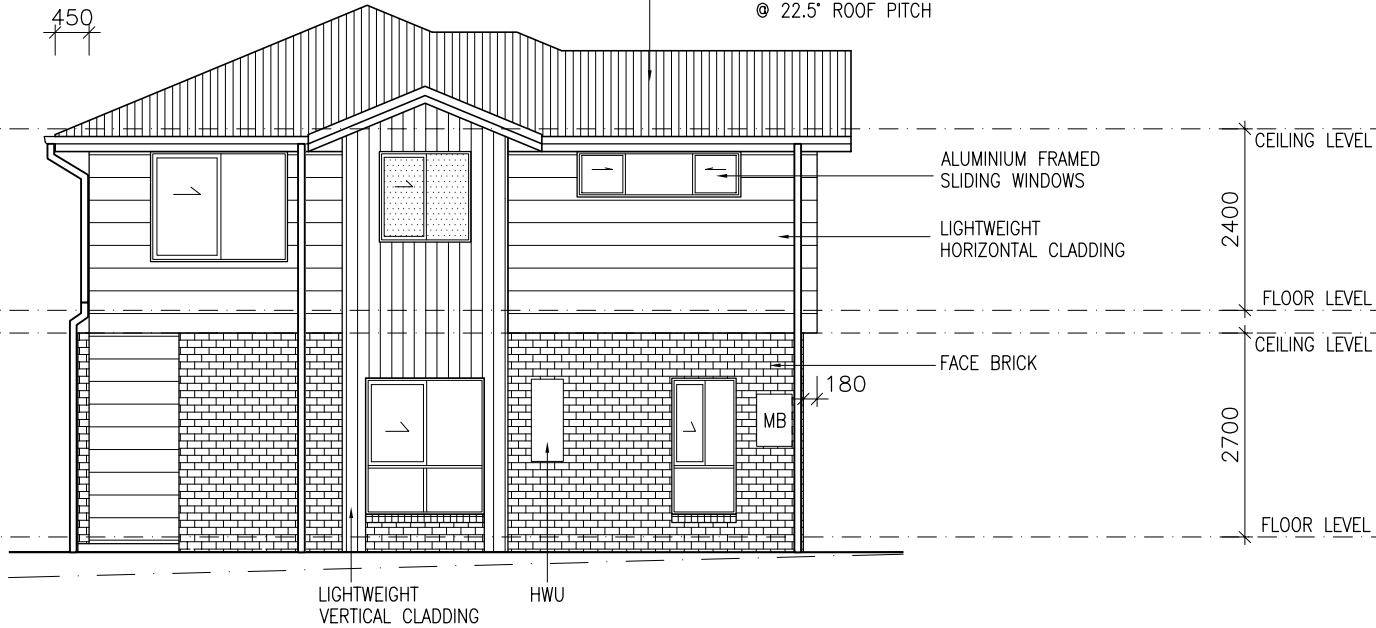
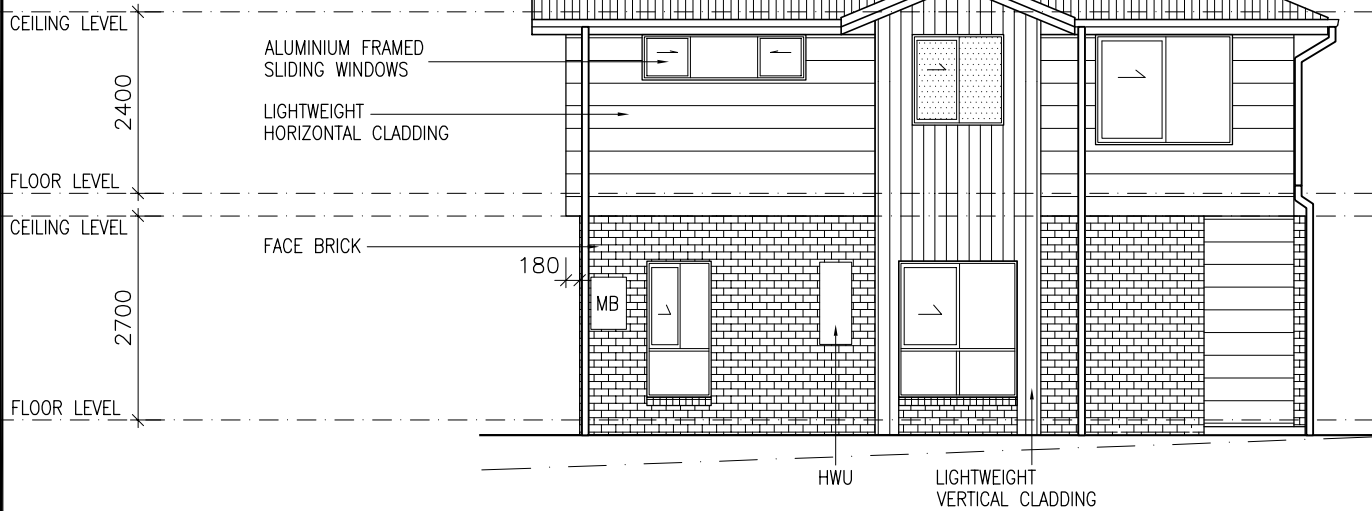
SOUTHERN ELEVATION

COLORBOND SHEET ROOFING  
@ 22.5° ROOF PITCH

450

450

COLORBOND SHEET ROOFING  
@ 22.5° ROOF PITCH



EASTERN ELEVATION

WESTERN ELEVATION

UNITS 1 & 2 ELEVATIONS



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1	0.0	00.00.00	ORIGINAL ISSUE

REV.	DRAWN	DATE	DESCRIPTION

CLIENT  
RED McDONALD

SITE ADDRESS  
LOT 25 DP 243010  
28 BLACKETT CLOSE, EAST MAITLAND 2320

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DESIGN  
CUSTOM

SHEET  
**S 08**

REV.

**3**

JOB No.

**22/126**

SCALE  
1:100

\* WRITTEN DIMENSIONS TO TAKE PREFERENCE OVER SCALE

**BAL 12.5**

REFER TO TABLE FOR CONSTRUCTION REQUIREMENTS

COLORBOND SHEET ROOFING  
@ 22.5° ROOF PITCH

UNIT 1

UNIT 2

450

ALL DIMENSIONS SHOWN ARE TO THE FACE OF FRAME WORK OR EXTERNAL CLADDING.

MECHANICAL VENTILATION DISCHARGE TO EXTERNAL WALL/ EAVE

BRICK CONTROL JOINTS TO BE IN ACCORDANCE WITH N.C.C & AS3700 & AS4773

REFER TO BASIX TABLE FOR CONSTRUCTION REQUIREMENTS

WINDOWS TO UPPER FLOORS TO COMPLY WITH NCC CLAUSE 3.9.2.5 PROTECTION OF OPENABLE WINDOWS

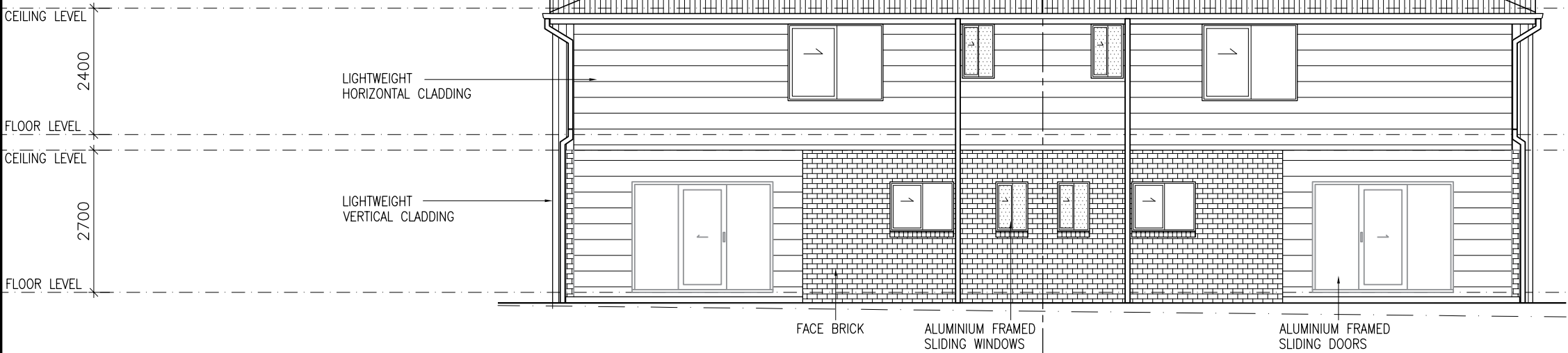
FIRE RATED SEPARATING WALL IN ACCORDANCE WITH NCC REQUIREMENTS CLAUSE 3.7.3 FRL 60/60/60 CLAUSE 3.8.6 SOUND REQUIREMENTS

ALL UPPER FLOOR WINDOW HEAD HEIGHTS @ DROP OFF UNLESS OTHERWISE NOTED

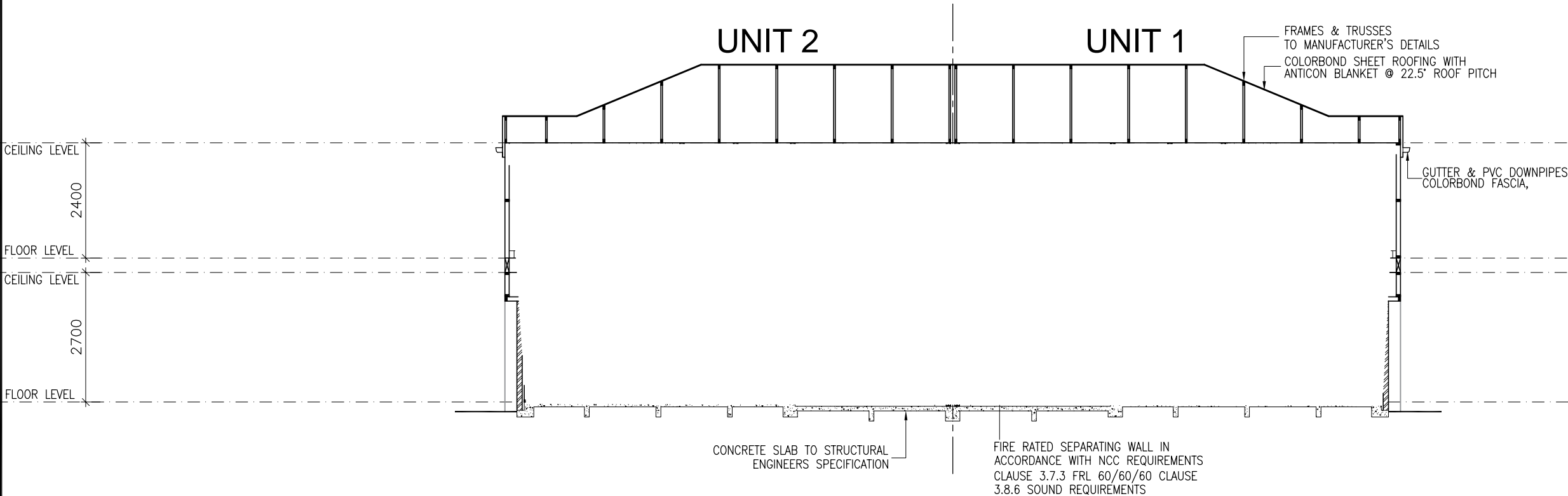
ALL LOWER FLOOR WINDOW HEAD HEIGHTS 2100H UNLESS OTHERWISE NOTED

SLAB TO BE MIN 300mm WAFFLE POD

COLOURS:  
ROOF- MONUMENT  
CLADDING- SURFMIST  
BRICK- MEDIUM DEFAULT COLOUR



NORTHERN ELEVATION



SECTION A-A

UNITS 1 & 2 SECTION



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CLIENT  
RED McDONALD

SITE ADDRESS  
LOT 25 DP 243010  
28 BLACKETT CLOSE, EAST MAITLAND 2320

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DESIGN  
CUSTOM

SHEET REV. JOB No.

**S 09 3**

**22/126**

SCALE  
1:100

\* WRITTEN DIMENSIONS TO TAKE PREFERENCE OVER SCALE

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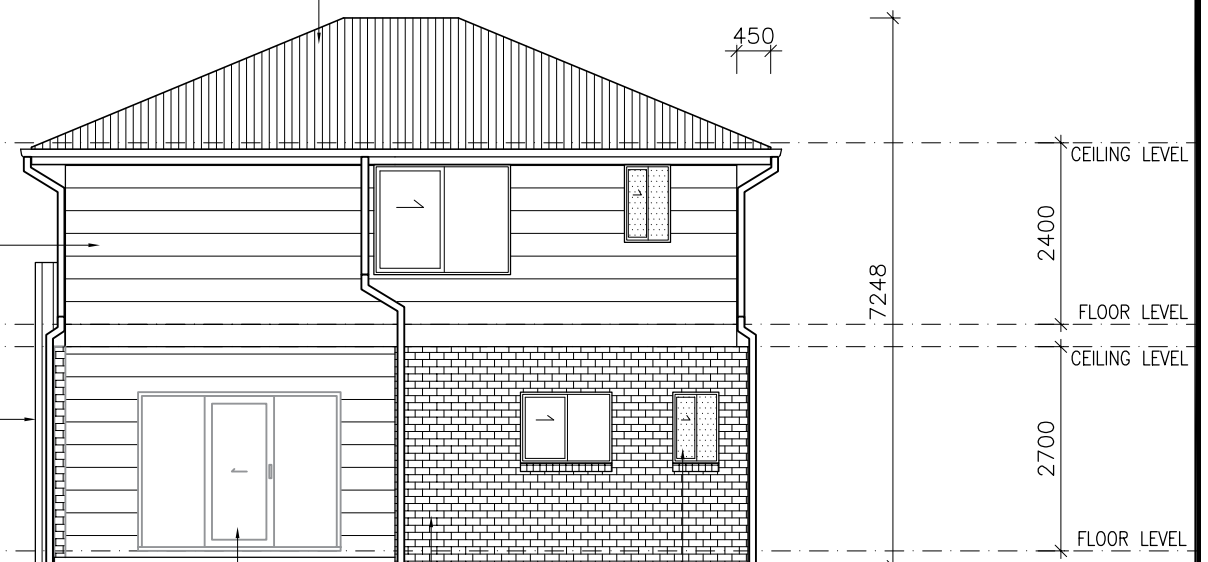
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REFER TO TABLE FOR CONSTRUCTION REQUIREMENTS

AJ - ARTICULATION/ CONTROL JOINTS

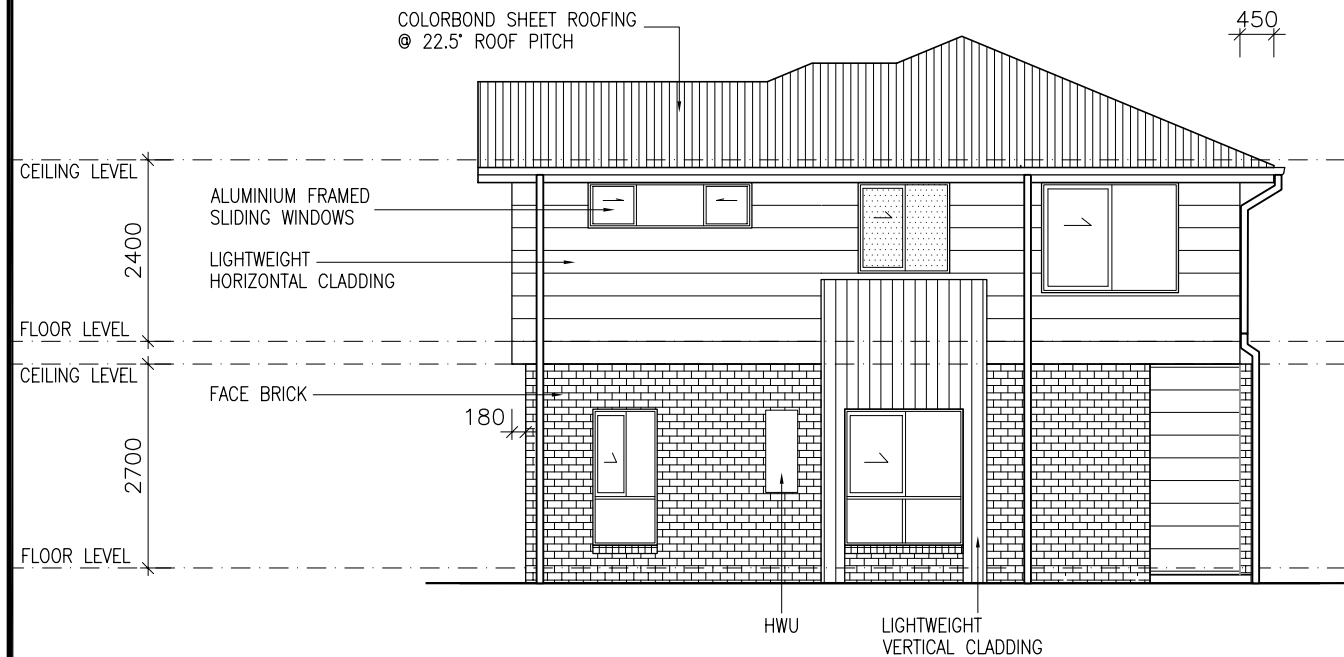
COLORBOND SHEET ROOFING  
@ 22.5° ROOF PITCH



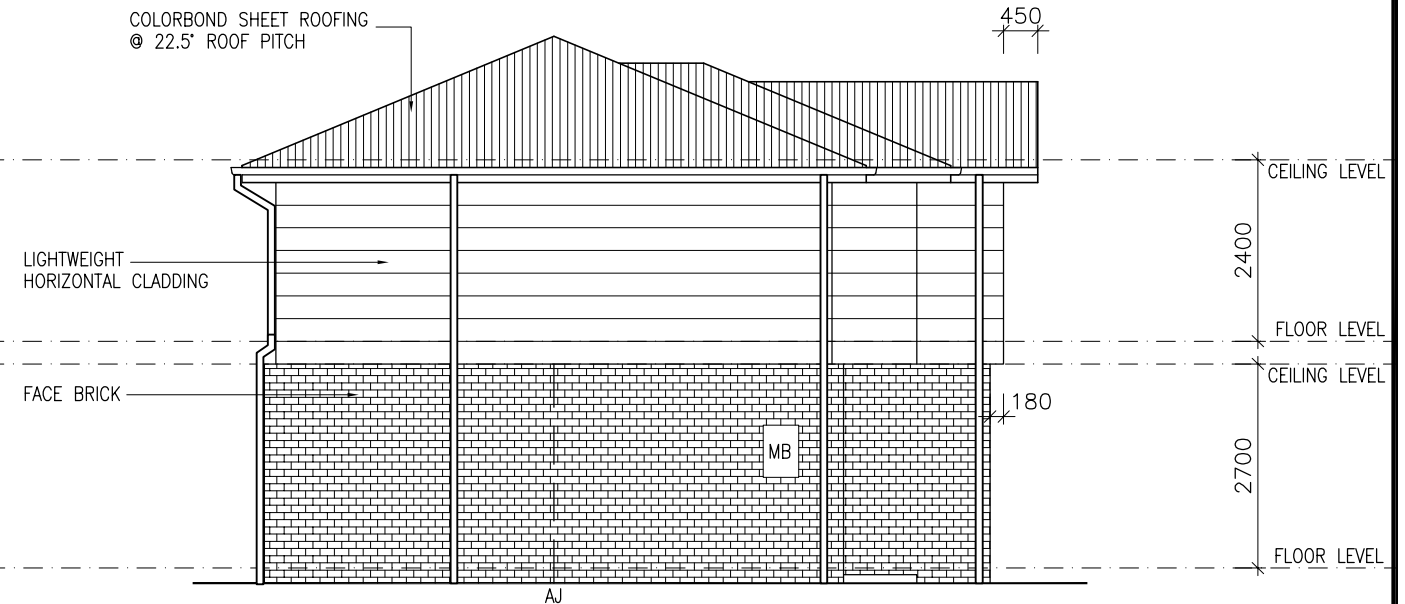
EASTERN ELEVATION



WESTERN ELEVATION



NORTHERN ELEVATION



SOUTHERN ELEVATION

UNIT 3 ELEVATIONS



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REV.	DRAWN	DATE	DESCRIPTION

CLIENT  
RED McDONALD

SITE ADDRESS  
LOT 25 DP 243010  
28 BLACKETT CLOSE, EAST MAITLAND 2320

DESIGN  
CUSTOM

SHEET  
**S 13**

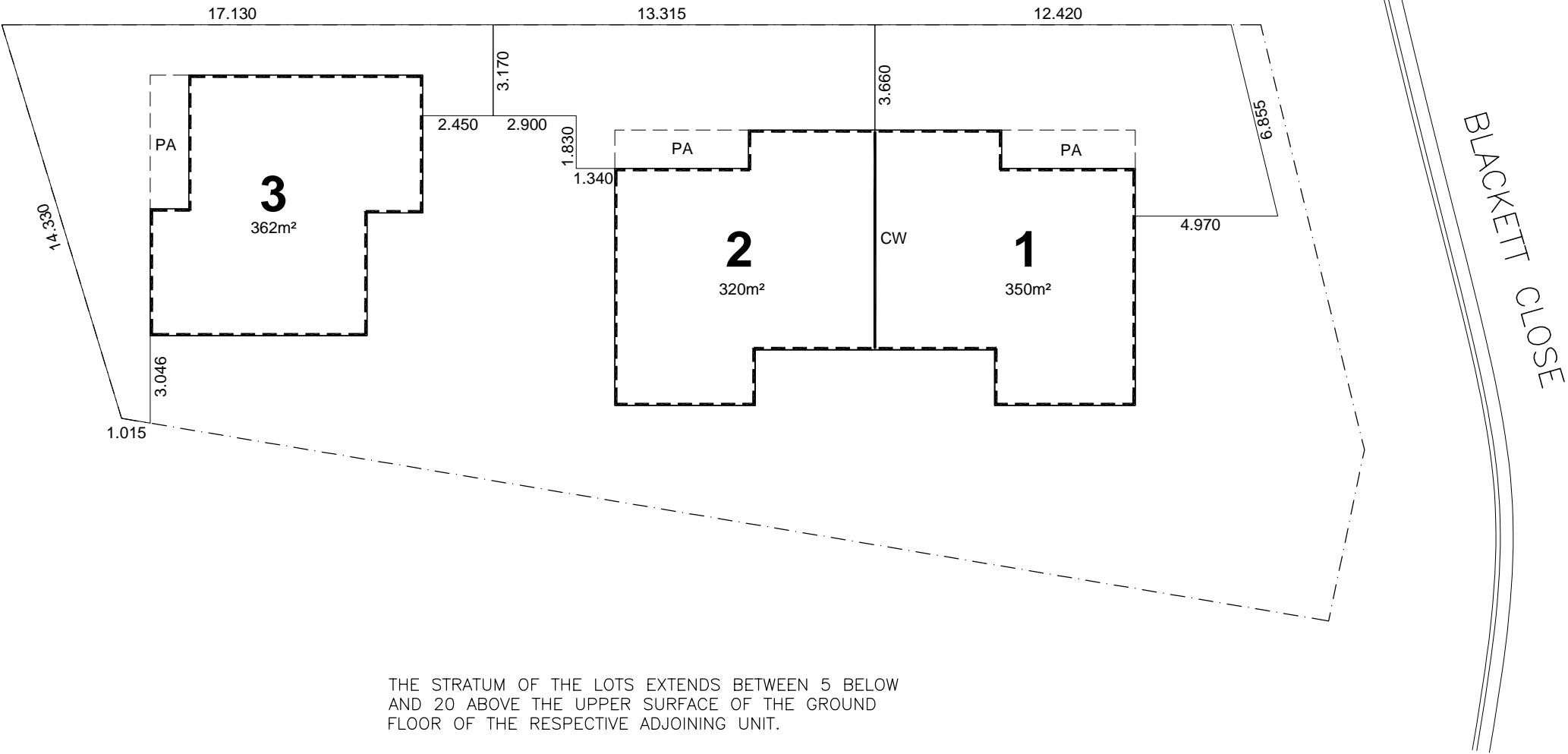
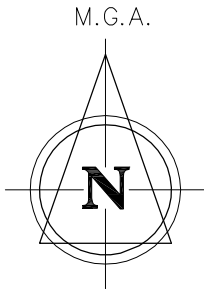
REV.  
**3**

JOB No.  
**22/126**

SCALE  
1:100



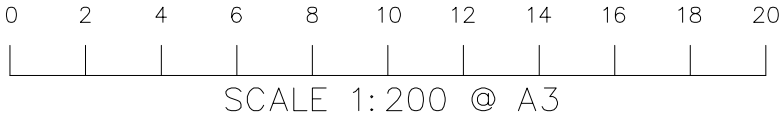
\* WRITTEN DIMENSIONS TO TAKE PREFERENCE OVER SCALE



FLOOR PLAN

CW DENOTES COMMON PROPERTY WALL  
PA DENOTES PATIO

DRAFT PLAN OF STRATA SUBDIVISION



THE STRATUM OF THE LOTS EXTENDS BETWEEN 5 BELOW AND 20 ABOVE THE UPPER SURFACE OF THE GROUND FLOOR OF THE RESPECTIVE ADJOINING UNIT.


THE EXTERNAL FENCING IS COMMON PROPERTY.

ANY SERVICE LINE WITHIN ONE LOT SERVICING ANOTHER LOT IS COMMON PROPERTY & ALL COMMON SERVICE LINES ARE COMMON PROPERTY.

THE DRIVEWAY, DRAINAGE LINES, PITS AND STRUCTURES ARE COMMON PROPERTY.

ALL AREAS HEREON ARE APPROXIMATE ONLY.

OFFSETS & LINE BOUNDARIES ARE MEASURED PERPENDICULAR FROM FACE AND WALL AND FROM VISIBLE CORNERS OF STRUCTURES UNLESS SHOWN OTHERWISE.

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