

— LOT BOUNDARY

559 ANAMBAH ROAD GOSFORTH CONCEPT & STAGE 1 DEVELOPMENT APPLICATION SKETCHES NOTIFICATION PLAN			
DRAWING NUMBER MKR00884-00-SK020	SHEET No. 	ORIG. SIZE A1	REVISION 1

EXTERNAL STAIR NOTES:

To comply with Clause 11 of AS1428.1(2009)
Including:
-Minimum 1000mm unobstructed width;
-Handrails to both sides
-Appropriate handrails extensions top and bottom of the stairway
-TGSi's to top and bottom of the stairway (to AS 1428.4.1 2009)
-Opaque risers
-No overhanging treads
-Luminance contrasting strips at the stair nosings, with a minimum slip resistance rating of X:R10 when dry, and W:R11 when wet

RAMP NOTES:

To comply with Clause 10.3 of AS1428.1(2009)
Including:
-Maximum gradient of 1:14
-Minimum 1000mm unobstructed width
-Handrails to both sides
-Appropriate handrail extensions top and bottom of the ramp
-TGSi's to top and bottom of the ramp (to AS1428.4.1:2009)
-have a minimum slip resistance rating of X:R10 when dry, and W:R11 when wet

THRESHOLD NOTES:

Provide seamless transition between indoor and outdoor areas.
A construction tolerance of 3mm for vertical differences is allowable, or 5mm where edges are rounded of bevelled.
Where there is a change in level, a maximum rise of 35mm is permitted with the installation of a threshold ramp per Clause 10.5 of AS 1428.1(2009)
-Recess Low Profile Sliding door track into floor for compliance.
Tactile Ground surface Indicators (TGSIs)

SANITARY COMPARTMENT NOTES:

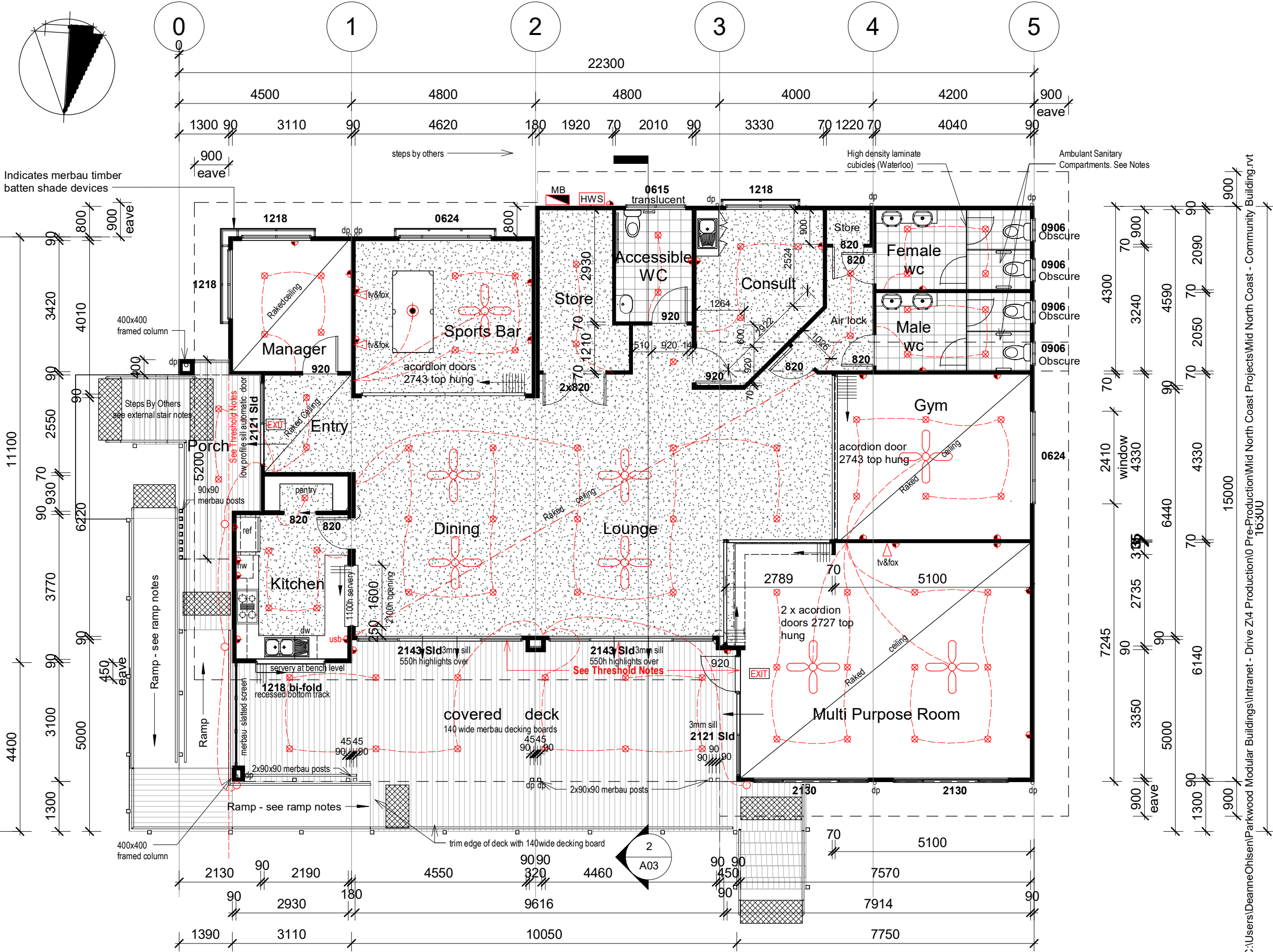
Sanitary Compartment Suitable for person with ambulant disability required to each gender sanitary facility, per BCA Clause F2.4(c) and AS 1428.1(2009), including:
-Cubicle width of 900-920mm
-Grabrails both sides
-Clear Space of 900mm x 900mm between WC pan and door swing
-Clear Space of 900mm x 900mm external to the cubicle, clear of the door swing
-Coat hook to be located between 1350-1500 AFFL
-Braille and Tactile signage to the cubicle door

Acordion Walls

-Supply and Installation of acordion doors.
'Hufcor' or similar
-Doors top supported, manually operated and fitted with single point suspension.
-No floor track used.
-Provide beam over for fixing of door track



Scale 1:100



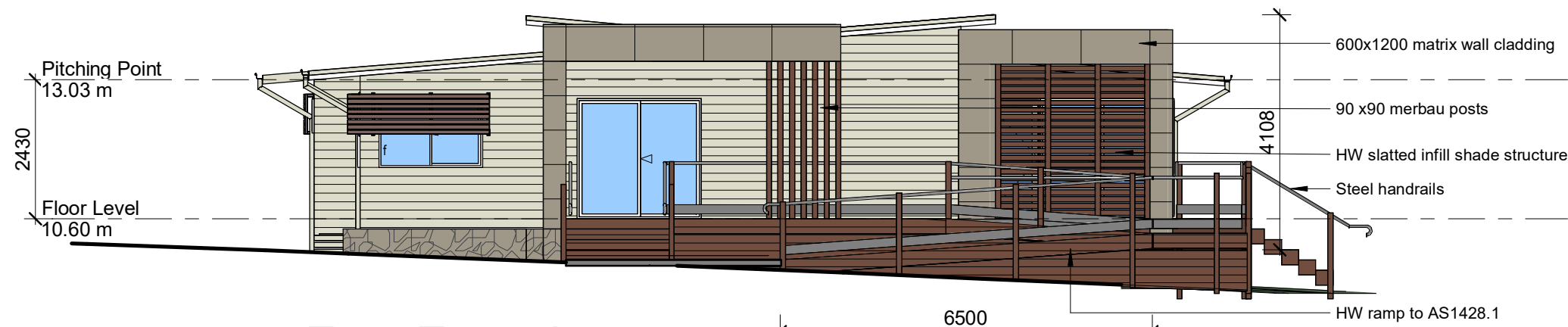
project title
Proposed Community Building
project address
Mid North Coast

client
Mid North Coast Projects (Daniel Collings)
drawing title
Floor Plan

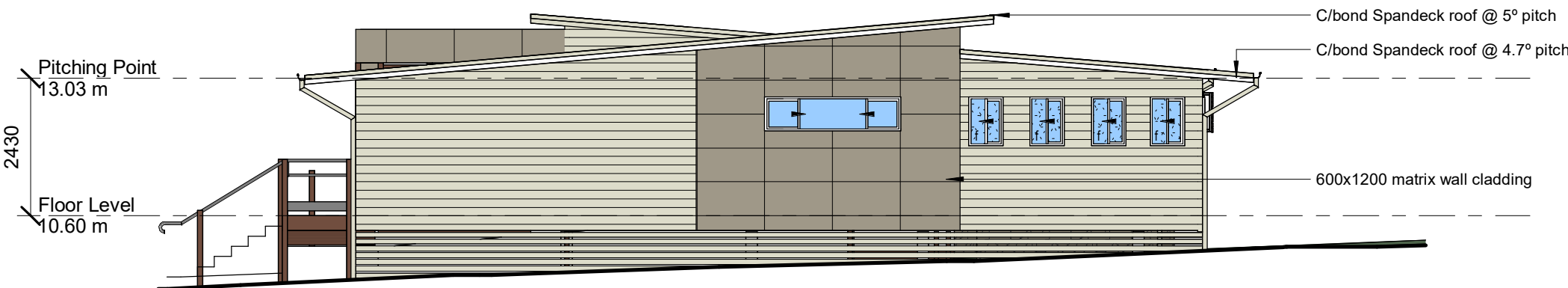
drawing number
A01
scale
1 : 100 @ A3
date
30 Aug 24
drawn
DO
amendment

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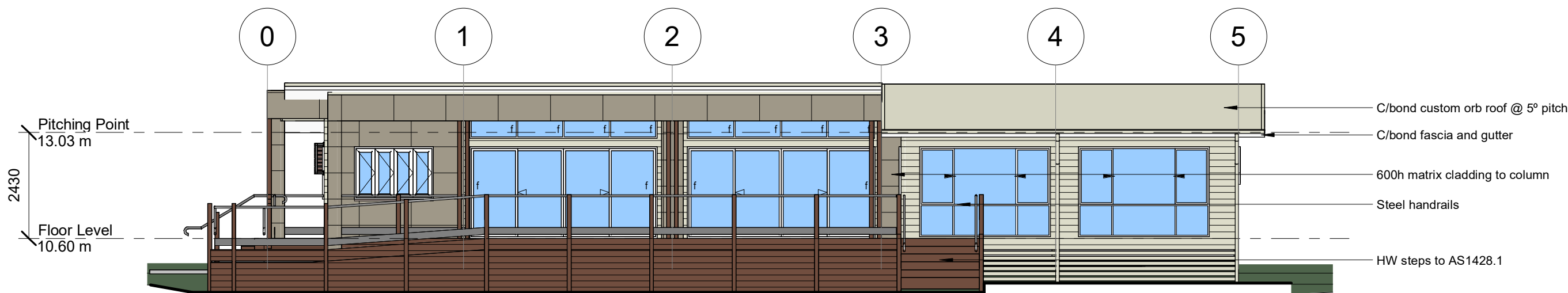




East Elevation
1 : 100



West Elevation
1 : 100



South Elevation
1 : 100



Scale 1:100

project title
Proposed Community Building
project address
Mid North Coast

client
Mid North Coast Projects (Daniel Collings)
drawing title
Elevations

drawing number
A02
scale
1 : 100 @ A3
date
30 Aug 24
drawn
Author
amendment

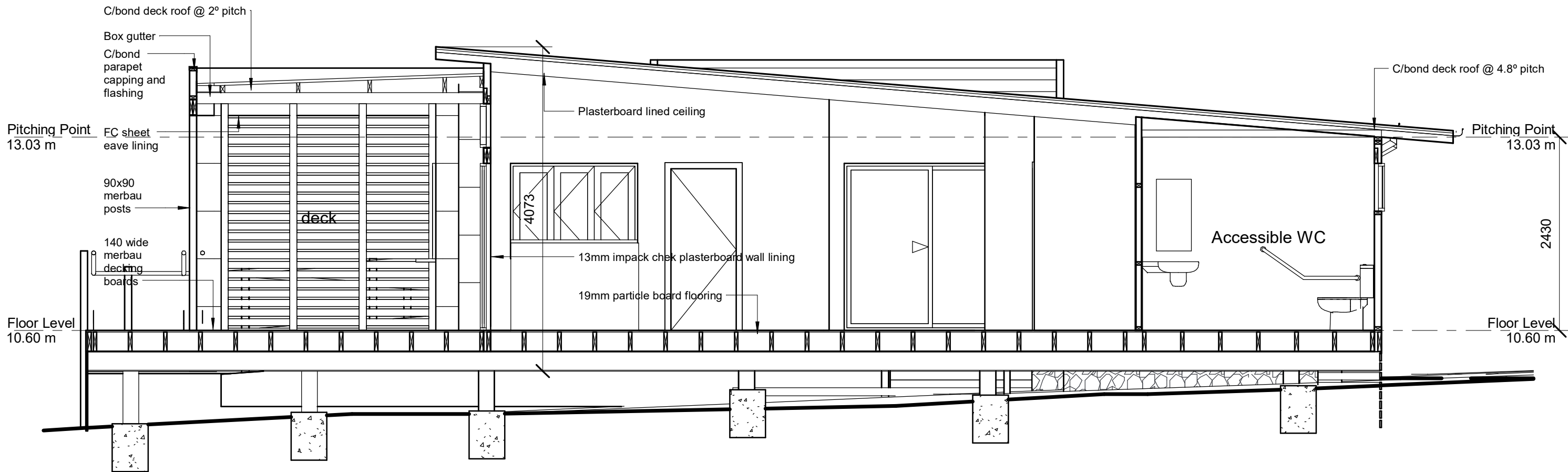
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North Elevation

1 : 100



Section 1

1 : 50

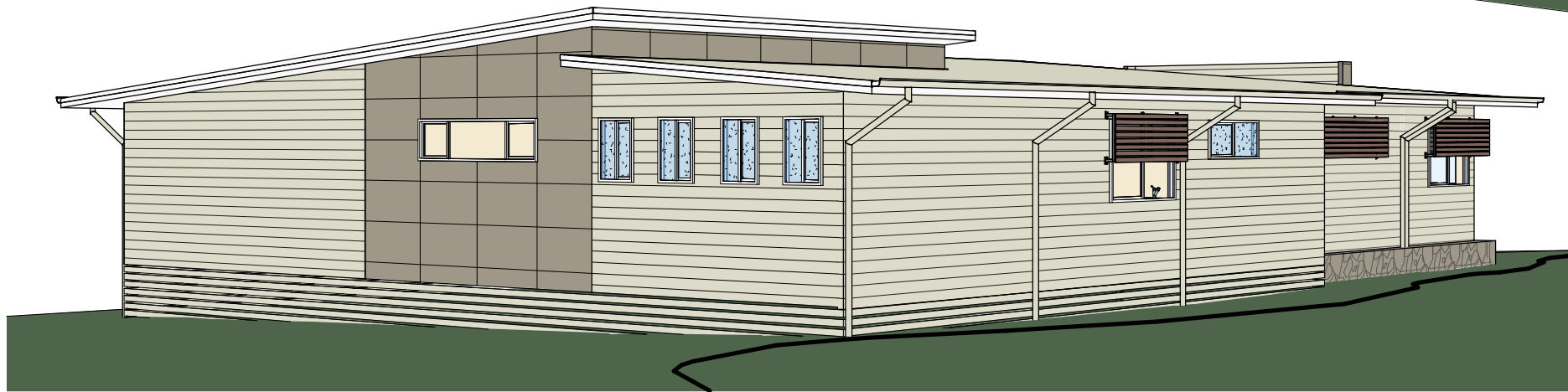
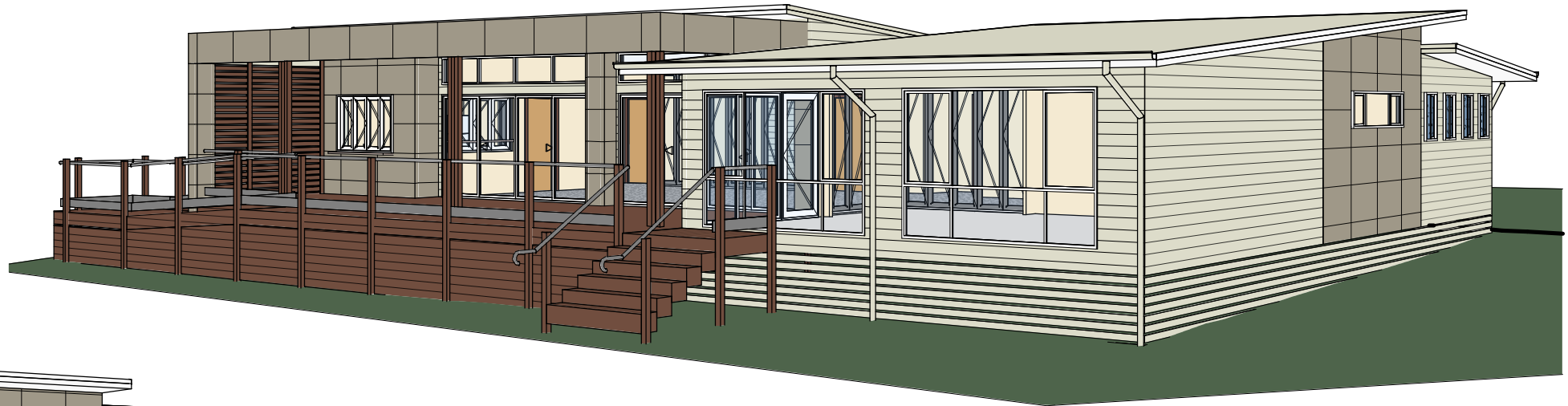
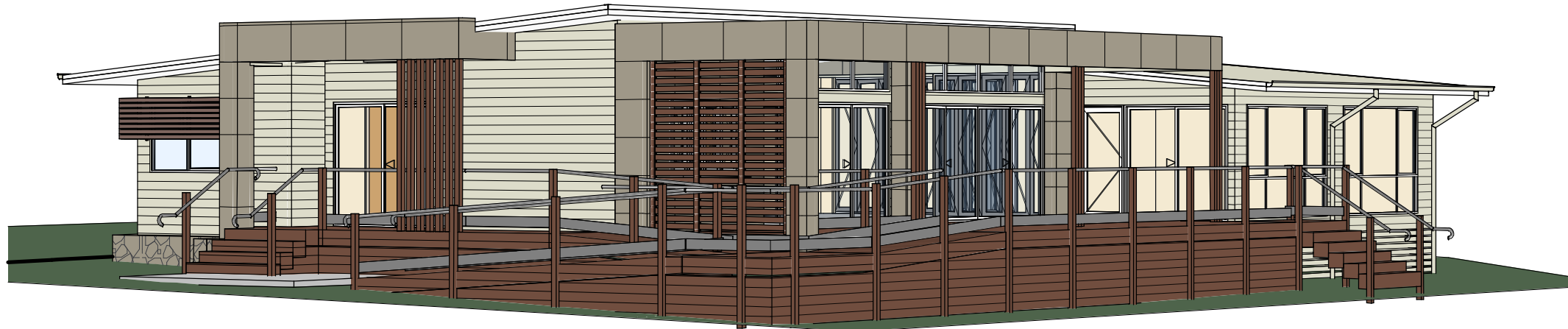
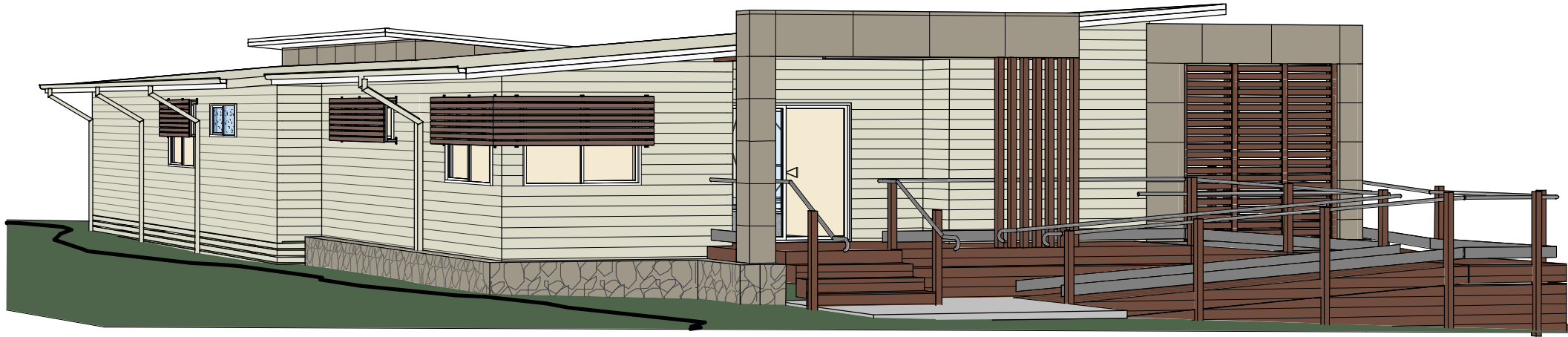
project title
Proposed Community Building
project address
Mid North Coast

client
Mid North Coast Projects (Daniel Collings)
drawing title
Elevation & Section

drawing number
A03
scale
As indicated @ A3
date
30 Aug 24
drawn
Author
amendment

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project title
Proposed Community Building

project address
Mid North Coast

client
Mid North Coast Projects (Daniel Collings)

drawing title
3D's

drawing number
A04

scale
@ A3

date
30 Aug 24

drawn
Author

amendment

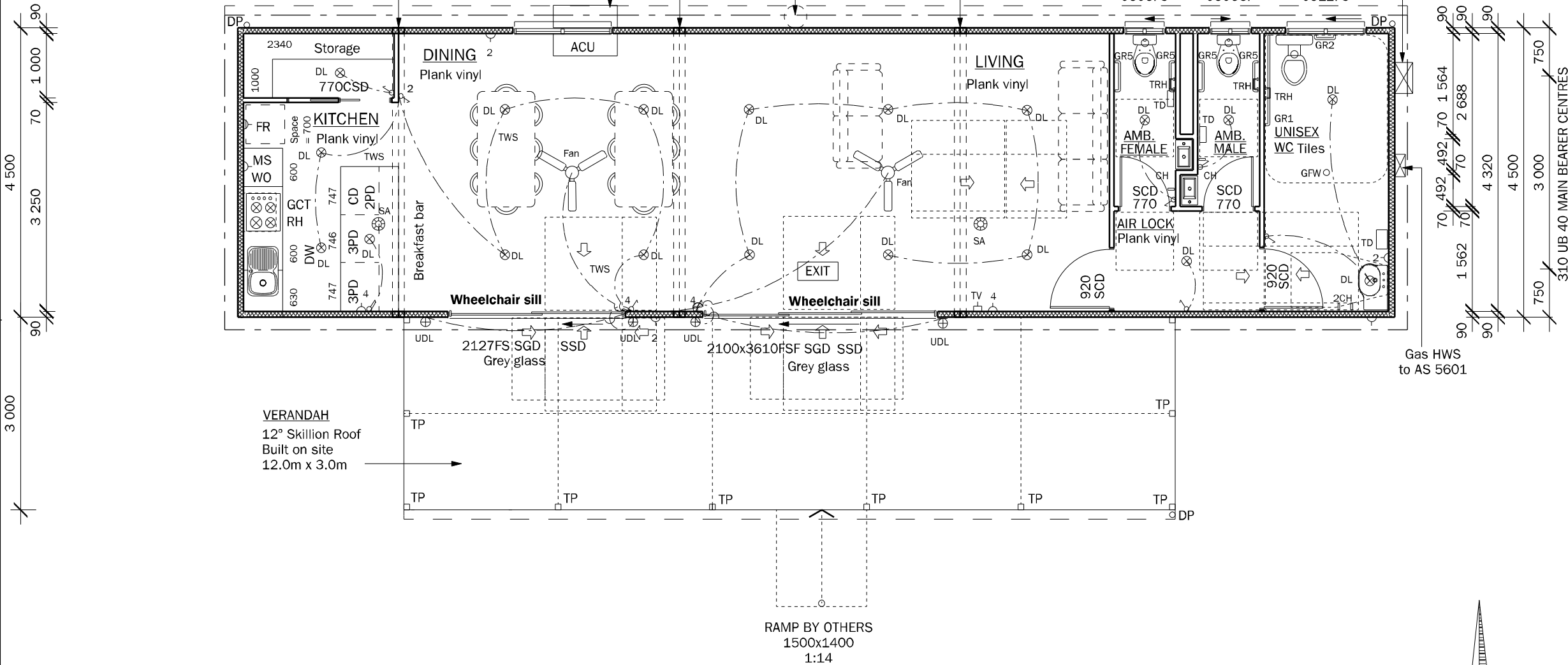
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Parkwood Modular Buildings - 7-11 Kangaroo Road Somersby, NSW 2250 - Ph: 02 4340 4077 - Fax: 02 4340 4088 - www.parkwood.com.au

LEGEND 12° Skillion Roof - 200 overhangs - 2400 min. CATHEDRAL ceilings - flat ceilings to WC's - Sisalation Foil Metal Roof MD to roof - 130mm Pink Batts R2.5 to Ceiling - 90mm Pink Partition 32 R2.7 to external walls
** 25mm thick Kooltherm K10 FM Soffit Board to underside of floor joists **

ACU Air Conditioner Unit
CBW Centre window Between Walls
CD Cutlery Drawer
CH Clothes Hook
CSD Cavity Sliding Door
DD Downpipe Dropper
DL Down Light
DP Downpipe
DR Drawer
FR space for Fridge
GCT Gas Cooktop
GFW Graded Floor Waste
GR1 Grab Rail, 900mm horizontal, 700mm angle
GR2 Grab Rail, 300mm horizontal
GR5 Grab Rail, 450mm horizontal, 450mm vertical
HWS Hot Water System
MS Microwave Shelf
PD Pot Drawer



RH Rangehood
SA Smoke Alarm
SCD Self Closing Door
SF Slider / Fixed sash
SGD Sliding Glass Door
SSD Security Screen Door
TD Towel Dispenser
TO Telephone Outlet
TP Tall Post
TRH Toilet Roll Holder
TWS Two Way Switch
UDL Up Down Light
WO Wall Oven
EXIT maintained Exit light

EMERGENCY LIGHTING & EXIT SIGNS:
EMERGENCY LIGHTING AND MAINTAINED EXIT SIGNS TO BE PROVIDED IN ACCORDNANCE WITH NCC PART E4 AND AS 2293.1.

NOTE - FIRE RESISTANCE:
Glendale Homes to provide interconnected smoke alarms to form a building occupant warning system, in accordance with NCC Spec. E2.2A and AS 1670.1
Client to provide all other items and services necessary to comply with fire regulations.

NOTE - SLIP RESISTANCE:
Surfaces of stair treads, ramps and landings to have a slip resistance classification as per NCC Table D2.14 and comply with the requirements of AS 4586.

WELDING SHOP NOTE
JOISTS UPGRADED TO SUIT FLOOR
LIVE LOADS - TBA



GLENDALE HOMES PTY LTD ABN 26010 805 633

Dickson Road, Caboolture, Queensland, 4510

Phone : 07 54951266 Fax : 07 54956702

Email : general@glendalehomes.com.au

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GENERAL NOTES:
1 DIMENSIONS TO BE CHECKED BY BUILDER
2 NGL TO FFL = 700 MAX.
3 TIMBER FRAME
4 TOILET DOOR TO HAVE LIFT-OFF HINGES
5 ROOF LINE
6 GUTTER LINE
7 TRANSPORT WIDTH = 5060
8 TRANSPORT HEIGHT = 3971
9 BUILDING CLASSIFICATION = CLASS 9b

WATER SUPPLY REQUIREMENTS:
WHERE REQUIRED BY LOCAL GOVERNMENT, RAINWATER TANKS TO COMPLY WITH THE QUEENSLAND DEVELOPMENT CODE (QDC) MP 4.2 - RAINWATER TANKS AND OTHER SUPPLEMENTARY WATER SUPPLY SYSTEMS

WET AREAS: ALL WET AREAS TO BE IN ACCORDANCE WITH NCC PART 3.8.1

GAS HWS: GAS HOT WATER SYSTEMS, WHERE INSTALLED, TO BE FITTED IN ACCORDANCE WITH REQUIREMENTS OF AS 5601

GLAZING: ALL GLAZING IN BUILDING TO COMPLY WITH THE REQUIREMENTS OF AS1288 "GLASS IN BUILDINGS - SELECTION & INSTALLATION"

SUSTAINABLE BUILDING REQUIREMENTS:
MINIMUM 3-STAR WELS RATED SHOWER ROSE.
MINIMUM 3-STAR WELS RATED TAPWARE TO KITCHEN SINKS, BASINS AND LAUNDRY TUBS.
MINIMUM 4-STAR WELS RATED DUAL FLUSH TOILET. MIN. 80% (___% ACHIEVED) OF FLOOR AREA SERVED BY ENERGY EFFICIENT LIGHTING TO COMPLY WITH THE QUEENSLAND DEVELOPMENT CODE (QDC) MP 4.1 - SUSTAINABLE BUILDINGS

TERMITE RESISTANCE: ALL PRIMARY BUILDING ELEMENTS TO COMPRISE ONLY TERMITE RESISTANT MATERIALS, AS PER NCC PART 3.1.3 AND AS 3660. TERMITE BARRIER SYSTEM IS ACHIEVED BY SUB-FLOOR COLUMN DESIGN. REFER TO DRAWING EF-004 AND ENGINEER'S CERTIFICATE. BUILDING TO BE SITUATED TO ALLOW FOR ADEQUATE VISUAL INSPECTION. WHERE PERIMETER SKIRTING IS INSTALLED, A MANHOLE MUST BE PROVIDED FOR ACCESS.

CLIENT:
THIRDI COMMUNITIES

ADDRESS:
559 ANNAMBAH RD
GOSFORTH NSW 2320

APPROVED FOR CONSTRUCTION BY DATE:
CUSTOMER OR AUTHORISED AGENT:

DESIGN:
CUSTOMER'S PROPOSED CENTRE
TIMBER FRAME

BUILDING DESIGN RATING: ASSUMED SITE RATING:
N3 (W41N) N3 (W41N) CUSTOMER TO CONFIRM

LIVING AREA: TOTAL AREA:
81.00 m2 117.00 m2

FLOOR PLAN

CONSULTANT: DRAWN: DATE:
RICHARD LS 05-02-25

SCALE: DO NOT SCALE DRAWINGS. SHEET:
1:75 DIMENSIONS TAKE PRECEDENCE A3

DRAWING No: 2502-02 PAGE: 01

ISSUE: CHASSIS NUMBER:
A .



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Dickson Road, Caboolture, Queensland, 4510

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CUSTOMER OR AUTHORISED AGENT:

DATE:

DESIGN:

CUSTOMER'S PROPOSED CENTRE
TIMBER FRAME

BUILDING DESIGN RATING:
N3 (W41N)

ASSUMED SITE RATING:
N3 (W41N) CUSTOMER TO CONFIRM

LIVING AREA:
81.00 m2

TOTAL AREA:
117.00 m2

ELEVATION END

CONSULTANT:
RICHARD

DRAWN:
LS

DATE:
05-02-25

SCALE:
1:75

DO NOT SCALE DRAWINGS.
DIMENSIONS TAKE PRECEDENCE

SHEET:
A3

DRAWING No.:
2502-02

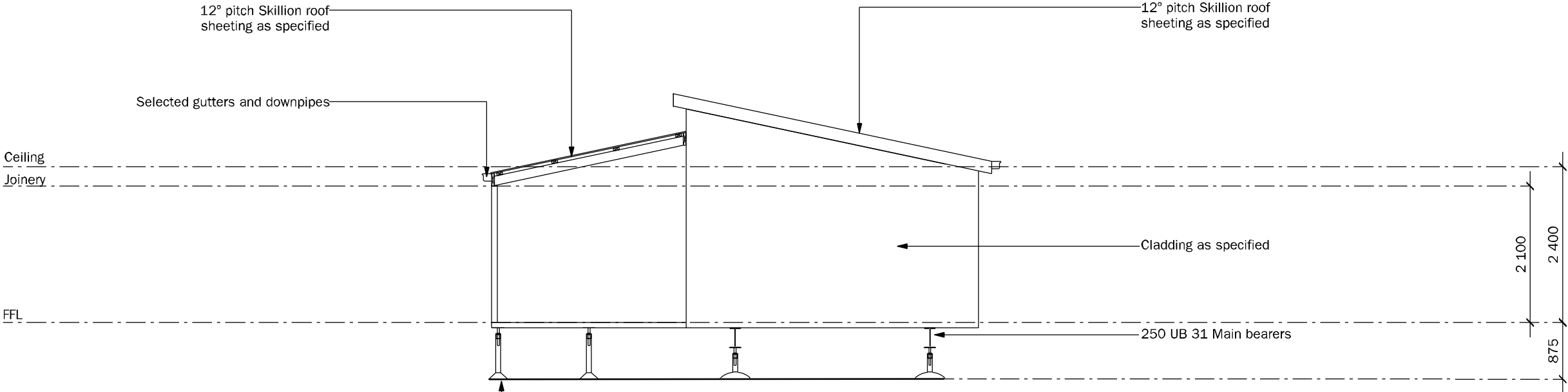
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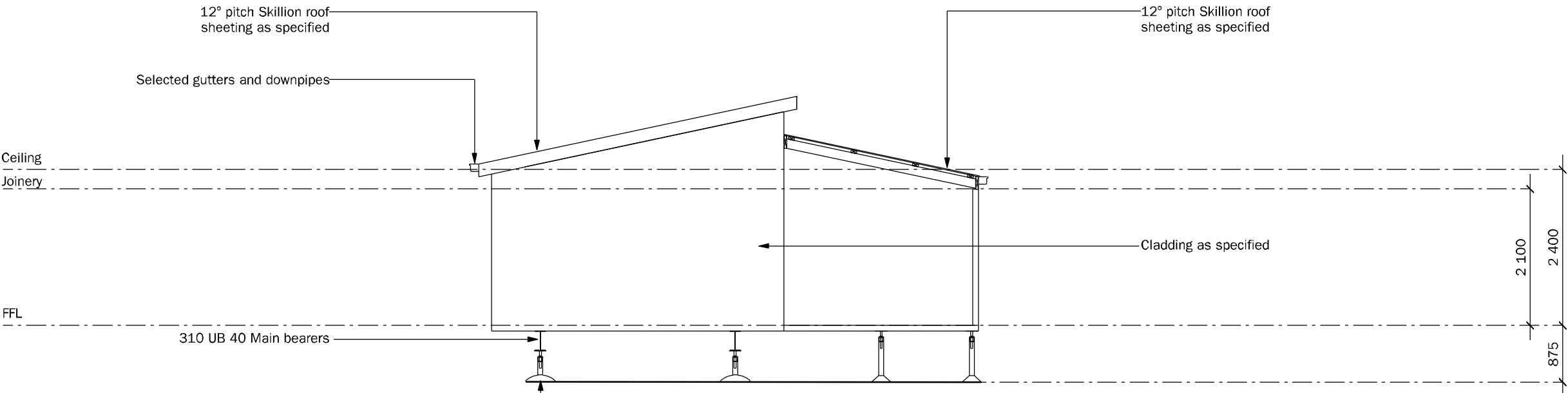


Adjustable steel columns,
and concrete footings, as
per FOOTINGS PLAN and
Glendale drawing EF-004

ELEVATION END

NOTE

If perimeter is to be enclosed, a
manhole must be provided between
skids for termite inspection



Adjustable steel columns,
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per FOOTINGS PLAN and
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ELEVATION END

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CLIENT:
THIRDI COMMUNITIES

ADDRESS:
•
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GOSFORTH NSW 2320**

APPROVED FOR CONSTRUCTION BY DATE:
CUSTOMER OR AUTHORISED AGENT:

DESIGN:
**CUSTOMER'S PROPOSED RESIDENCE
TIMBER FRAME**

BUILDING DESIGN RATING: N3 (W41N)	ASSUMED SITE RATING: N3 (W41N) CUSTOMER TO CONFIRM
LIVING AREA: 81.00 m2	TOTAL AREA: 117.00 m2

ELEVATION SIDE

CONSULTANT: RICHARD	DRAWN: LS	DATE: 05-02-25
SCALE: 1:75	DO NOT SCALE DRAWINGS. DIMENSIONS TAKE PRECEDENCE	SHEET: A3
DRAWING No: 2502-02	PAGE: 02	
ISSUE: A	CHASSIS NUMBER: .	

