



85 Carrington Street, Horseshoe Bend

Heritage Impact Statement

Report prepared for Bourne + Blue Architecture

Final Report, 12 March 2025



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Acknowledgement of Country

I acknowledge the traditional custodians of all the lands on which I live and work. I recognise their continuing connection to land, waters and culture. I pay my respects to their elders past and present.



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Report Register

The following report register documents the development of this report.

Job No.	Issue No.	Notes/Description	Issue Date
85 Carrington Street, Horseshoe Bend Heritage Impact Statement	1	Draft Report	10 March 2025
85 Carrington Street, Horseshoe Bend Heritage Impact Statement	2	Final Report	12 March 2025

Executive Summary

Bourne + Blue Architecture has engaged Lisa Trueman Heritage Advisor (LTHA) to provide heritage advice and to prepare a Heritage Impact Statement (HIS) for the proposed alterations and additions at 85 Carrington Street, Horseshoe Bend (the site). This report has been prepared to accompany a development application (DA) for alterations and additions to the existing dwelling on the site.

The property at 85 Carrington Street, Horseshoe Bend (Lot 28, DP 1310419) contains a Victorian Georgian detached single storey house which has a primary presentation to Carrington Street. The property is identified as heritage item No. 94, under Schedule 5 of the Maitland Local Environmental Plan 2011. The site is also located within the Central Maitland Heritage Conservation area (HCA) and is in close proximity to several locally listed heritage items.

The State Heritage Inventory provides the following statement of significance for the site.

“Historic: Record of early Victorian period of town’s growth of workers housing in Horseshoe Bend area. Aesthetic: Intact example of Victorian Georgian cottage style representative and townscape value.”

This Heritage Impact Statement has been prepared as a stand-alone document to accompany a DA to Maitland City Council. This report identifies the site’s heritage context and contains an analysis of its current physical characteristics to inform an assessment of the impacts of the proposal on the heritage values of the site.

The proposed works include the construction of a single storey addition located at the rear of the original house. The proposed addition sits behind and below the original roof form and will not be visible from the public domain. The addition will contain a combined kitchen and living area opening to the rear of the property, and an addition to an existing bedroom to create a wardrobe and ensuite bathroom. The proposal includes alterations to the internal layout at



ground floor level to provide for improved amenity and spaces, the modification of the existing outhouse to create an outdoor dining area, and the construction of a garage at the side of the dwelling, behind the front setback.

The proposed development has been designed with heritage input throughout the design process, and with regard to the relevant heritage provisions in MLEP 201 and MDCP 2011. The proposal is consistent with Council's controls in relation to alterations and additions to heritage items. The original, significant form and setting will be retained as viewed from Carrington Street. The rear addition is located behind the main roof, with a skillion roof so that it will not be visible from the street. Minor change is proposed to the side facades of the house to enclose two external bedroom openings, both in areas restricted from view by the front verandah. Internal works have generally been located in areas that have already changed, and internal primary rooms and original elements will remain intact and unaltered.

The addition has been designed with a clearly contemporary form and neutral colour palette in order to distinguish it as new work and in accordance with Burra Charter principles. The proposed addition will not alter the scale of the heritage item when viewed from the street, nor will it alter the established scale of the streetscape.

In conclusion, the proposed development will not result in any adverse impacts on the significance or setting of the heritage item or the heritage items in the vicinity and is consistent with the heritage controls within the MLEP 2011 and MDCP 2011. Should the application be approved, it is recommended that Council apply its standard conditions of consent relating to heritage.

Contents

Contents v

1.	Introduction	8
1.1	Background.....	8
1.2	Site Identification.....	8
1.3	Heritage Context.....	9
1.4	Statutory Context	11
1.4.1	Heritage Act 1977	11
1.4.2	Environmental Planning and Assessment Act 1979	12
1.4.3	Maitland Local Environmental Plan 2011.....	12
1.4.4	Maitland Development Control Plan 2011	12
1.5	Proposed Development	15
1.6	Methodology	15
1.7	Terminology	15
1.8	Limitations.....	17
1.9	Authorship.....	17
2.	Historical Overview.....	19
2.1	Indigenous history.....	19
2.2	Development of Maitland and Horseshoe Bend.....	20
2.3	The Subject Site.....	22
	As to Lot 26:	25
	As to part Lot 27	30
2.4	Sources.....	34
3.	Physical Analysis.....	36



3.1	Introduction	36
3.2	Carrington Street Context	36
3.3	Site Description	36
3.3.1	Exterior	36
3.3.2	Interior	38
3.4	Site Photographs	39
4.	Description of Proposal	58
4.1	Introduction	58
4.2	Proposed Works	58
4.3	Heritage Advice and Design Input.....	59
4.4	Development Application Documents	59
5.	Heritage Impact Assessment.....	61
5.1	Introduction	61
5.2	Maitland Local Environmental Plan 2011	61
5.3	Maitland Development Control Plan 2011 (MDCP2011).....	63
5.4	Summary Statement of Heritage Impact	75
6.	Conclusion	77
	List of Appendices	79
	Appendix A	80
	Appendix B	81

INTRODUCTION



1. Introduction

1.1 Background

Bourne + Blue Architecture has engaged Lisa Trueman Heritage Advisor (LTHA) to provide heritage advice and prepare a Heritage Impact Statement (HIS) for proposed works to the heritage listed property located at 85 Carrington Street, Horseshoe Bend (the site). This report has been prepared to accompany a development application (DA) for proposed alterations and additions to the site.

The site is listed as a heritage item under Schedule 5 of the Maitland Local Environmental Plan 2011 (MLEP2023). This HIS has been prepared as a standalone document to accompany a DA to the City of Maitland (Council). This report identifies the sites heritage context and contains an analysis of its current physical characteristics to inform an assessment of significance. It also provides a description of the proposal and an assessment of its likely impact on the heritage values of the site.

1.2 Site Identification

The site is located at 85 Carrington Street, Horseshoe Bend within the Maitland Local Government Area. (Figure 1.1). The site is located on the northern side of Carrington Street and is identified as Lot 28, DP 1310419. Property information is provided in Table 1.1.

The site is located on the northern side of Carrington Street, in close proximity to the Hunter River. The surrounding area is characterised by residential development consisting of detached dwelling houses from the late nineteenth to mid twentieth century. Several smaller houses from the early phase of development of the area remain, including the subject property.



Figure 1.1: Subject site (Source: Six Maps, NSW Spatial Services)

Address	Lot Number	Land Zoning	Maximum building height
85 Carrington Street	Lot 26, DP 737873	R1: General Residential	8.5m

Table 1.1 Property Information.

1.3 Heritage Context

The site is listed as a heritage item under the Maitland Local Environmental Plan 2011 (MLEP2011) (Item I94). The site is also located within the Central Maitland Heritage Conservation area (HCA) and is in close proximity to several locally listed heritage items as outlined in Table 1.2 below.



Figure 2: Heritage Map showing the heritage context of the subject site (Source: NSW State Heritage Inventory with LTHA overlay).

Item Name	Address	Significance	Item No.
Terrace	45 Carrington Street	Local	192
"Lemarne", villa	78-80 Carrington Street	Local	193
Two storey house	111 Carrington Street	Local	195
Two storey house	7 Radford Street	Local	196
Brick cottage	9 Robins Street	Local	197
Slab cottage	21 Russell Street	Local	198

Table 1.2 Heritage items within the vicinity

The Maitland City Wide Development Control Plan 2011 provides the following statement of significance for the Central Maitland Conservation Area.

"Central Maitland has historic significance of exceptional value recording an early settlement of the Hunter Valley which grew to be a major centre in the region – larger than Newcastle. It also became one of the largest settlements in NSW during the middle of the nineteenth century. Its historic role is reflected in the excellent examples of Commercial, Civic and Ecclesiastical buildings and in the rarer and more modest surviving examples of early housing."



The Heritage Conservation Area's aesthetic significance is derived from the intactness of its streetscapes, its landmark buildings and strong edge definition of river and flood plain. Regent Street contains an exceptional collection of mansions and large residences of the late Victorian and Federation periods.

The area is of social significance for its continuing roles as a regional centre for administration, cultural activities and several religious denominations."

The State Heritage Inventory (SHI) provides the following statement of significance for the site.

"Historic: Record of early Victorian period of town's growth of workers housing in Horseshoe Bend Area. Aesthetic: Intact example of Victorian cottage style representative and townscape value."

The full SHI datasheet for the property is attached to this report at Appendix B.

1.4 Statutory Context

In NSW, items of heritage significance are afforded statutory protection under the following New South Wales Acts:

- Heritage Act 1977 (Heritage Act)
- Environmental Planning and Assessment Act 1979 (EPA Act).

1.4.1 Heritage Act 1977

The Heritage Act is a statutory tool designed to conserve the state's environmental heritage. It is used to regulate the impacts of development on the state's heritage assets. The Heritage Act describes a heritage item as 'a place, building, work, relic, moveable object or precinct'. The site is not listed on the State Heritage Register (SHR) and there are no SHR items in its vicinity.

1.4.2 Environmental Planning and Assessment Act 1979

The EPA Act is administered by the NSW Department of Planning, Industry and Environment and provides for environmental planning instruments to be made to guide the process of development and land use. The EPA Act also provides for the protection of local heritage items and conservation areas through listing on Local Environmental Plans (LEPs) which provide local councils with the framework required to make planning decisions.

1.4.3 Maitland Local Environmental Plan 2011

The MLEP 2011 is the principal environmental planning instrument applying to the land. Schedule 5 of the MLEP identifies heritage items and HCAs. The subject site is listed as a heritage item within the MLEP. Therefore, Clause 5.10 (Heritage Conservation) of the MLEP applies.

The objectives of Clause 5.10 are as follows:

- (a) to conserve the environmental heritage of Maitland,
- (b) to conserve the heritage significance of heritage items and heritage conservation areas, including associated fabric, settings, and views,
- (c) to conserve archaeological sites,
- (d) to conserve Aboriginal objects and Aboriginal places of heritage significance.

1.4.4 Maitland Development Control Plan 2011

The *Maitland Development Control Plan 2011* Part C.4 (Heritage Conservation) provides specific development objectives and controls for conservation areas, heritage items and development in the vicinity of heritage items. Part C.4.3 General Requirements for Alterations and Additions contains specific controls for heritage items.

The objectives of *Part C.4.3 General Requirements* of the MDCP 2011 state that heritage items be respected and appropriately managed, and the existing character of the street and the surrounding locality be maintained and enhanced.



Part C.4.3 Heritage Conservation - General Requirements for Alterations and Additions

The City offers a significant amount of heritage and cultural landscapes. It is important to ensure that any development both on or near a heritage item or within a heritage conservation area is carefully considered. The provisions outlined in this Section guide development to ensure that the City's existing rich heritage and culture heritage is respected and appropriately managed.

Objectives

To assist owners and developers who are contemplating carrying out development that may impact on a heritage listed property or conservation area.

To promote an attractive living and working environment for the community of Maitland, which builds on its particular identity.

Sympathetic Design

To ensure that new alterations and additions respect the architectural character and style of the building and area concerned.

To maintain and enhance the existing character of the street and the surrounding locality.

To enhance the public appreciation of the area.

Siting, Setback and Orientation

To maintain and enhance the existing character of the street and the surrounding area.

To ensure that new alterations or additions respect established patterns of settlement (ie pattern of subdivision and allotment layout, landscaped settings, car parking and fencing.)

To provide an appropriate visual setting for heritage items and heritage conservation areas.

To ensure that the relationship between buildings and their sites which contribute to the character of the area are not disturbed or devalued.

Size and Scale

To ensure that new alterations and additions respect the character of the building and surrounding area.

Roof Form and Shapes

To retain characteristic scale and massing of roof forms within Conservation Areas and on heritage items when designing alterations and additions.

Materials and Colours

To ensure that materials and colours used in alterations and additions respect the significance and character of the existing building and surrounding area.

Design of New Detail and Opening

To ensure that the character and pattern of new door and window openings in alterations or additions is compatible with the appearance of the original buildings and the area as a whole.

Evidence for Authentic Reconstruction

To ensure that reconstruction reveals the known significance of the place (i.e. from physical and/or documentary evidence).

The building itself may offer clues as to items previously removed such as evidence of handrails in posts, or marks in the footpath where verandah posts were removed.

As stated in the Burra Charter, 'Reconstruction is limited to the completion of a depleted entity and should not constitute the majority of the fabric of the place'.

Removal of Unsympathetic alternations and Additions

To ensure that contributions of all periods to a place are respected.

To ensure that removal of any fabric only occurs when it is of slight significance, and the fabric which is to be revealed is of much greater significance.

Services and New Technologies

To minimise any obtrusive effect of new building services and technical equipment in Conservation Areas and on heritage items.

Landscaping

To maintain the rhythm of gardens, open spaces and tree planting in a heritage Streetscape.

To ensure that planting does not compromise important views into or out of conservation areas.

To maintain the landscape character of the locality in any new development.

Garages, Carports and Sheds

To ensure that garages, carports and sheds do not detract from the character of the area and/or heritage item due to inappropriate location, design and materials.

1.5 Proposed Development

The proposal involves alterations and additions to the existing heritage listed dwelling. The proposed works include the construction of a single storey addition located at the rear of the dwelling. The proposed addition is to be concealed behind and below the original roof form and will contain a combined kitchen and living area opening to the rear garden, and an addition to an existing rear bedroom to create a wardrobe and ensuite bathroom. The proposal also includes the creation of two internal staircases to provide internal access to the existing raised bedrooms located on the rear corners of the dwelling, and the infill of the existing external access stairs from the side verandahs. The proposed interior works include the conversion of the existing kitchen to a bathroom and laundry.

The proposal also includes the partial demolition the existing outbuilding that contains a laundry and storeroom, and the demolition of an existing detracting concrete block shed and construction of a new double garage with attached storeroom at the side of the property, to the rear of the house. The proposal also involves repair and conservation works to the heritage listed dwelling.

1.6 Methodology

The approach, methodology, assessment procedures, and recommendations of this report have been prepared in accordance with the *Australia ICOMOS Burra Charter, 2013* and the guideline document 'Guidelines for preparing Statements of Heritage Impacts' prepared by the Office of the Environment and Heritage, 2023.

1.7 Terminology

The terminology used in this report is consistent with the NSW Heritage Manual, prepared by the Heritage Office (now Heritage Division), and the Burra Charter.



Place means site, area, land, landscape, building or other work, group of buildings or other works, and may include components, contents, spaces, and views.

Cultural significance means aesthetic, historic, scientific, social, or spiritual value for past, present or future generations. Cultural significance is embodied in the place itself, its fabric, setting, use, associations, meanings, records, related places, and related objects. Places may have a range of values for different individuals or groups.

Fabric means all the physical material of the place including components, fixtures, contents, and objects.

Conservation means all the processes of looking after a place so to retain its cultural significance.

Maintenance means the continuous protective care of the fabric and setting of a place and is to be distinguished from repair. Repair involves restoration or reconstruction.

Preservation means maintaining the fabric of a place in its existing state and retarding deterioration.

Restoration means returning the existing fabric of a place to a known earlier state by removing accretions or by reassembling existing components without the introduction of new material.

Reconstruction means returning the place to a known earlier state and is distinguished from restoration by the introduction of new material into the fabric.

Adaptation means modifying a place to suit the existing use or a proposed use.

Use means the functions of a place, as well as the activities and practices that may occur at the place.

Compatible use means a use which respects the cultural significance of a place. Such a use involves no, or minimal, impact on cultural significance.

Curtilage is defined as the area of land surrounding an item that is required to retain its heritage significance. The nature and extent of the curtilage will vary and can include but is not limited to lot boundaries and visual catchments.



Setting means the area around a place, which may include the visual catchment.

Related place means a place that contributes to the cultural significance of another place.

1.8 Limitations

This report does not include an assessment of the historical archaeological potential or First Nations cultural values of the site. It is limited to an assessment of the existing buildings on the sites and their current setting. This report is limited to addressing the assessment of built heritage impacts only.

1.9 Authorship

This report has been prepared by Lisa Trueman (Director and Heritage Advisor), Leonie Masson (Historian) and Kirrily Sullivan (Heritage Consultant).

HISTORICAL OVERVIEW



2. Historical Overview

2.1 Indigenous history

Maitland is located on the traditional Country of the Wonnarua people. At the time of European colonisation there were an unknown number of Aboriginal people living on their traditional Country, travelling across the land for fishing, hunting and gathering, conducting ceremonies and rituals at sacred places, and trading with neighbouring groups. Surviving accounts from settlers, surveyors and the Colonial Administration suggest numbers in the region of at least 500 people in and around the study area when Europeans arrived.

The European settlers profoundly interrupted the Aboriginal people's relationship with their land, erecting fences, building homes, cutting down trees and other vegetation, and stocking the country with hooved animals which damaged the soil. The Europeans simultaneously brought deadly diseases which killed many Aboriginal people in the initial years of their arrival.

Violence spread across the Hunter Valley as Europeans settled on the land in increasing numbers in the 1820s. The Australian have an account of an attack in March 1827 on Mr Campbell's farm at Wollombi Creek when a group of Aboriginal people attempted to steal maize. The servants on the farm were reported to have killed between 10 and 12 Aboriginal people.¹ This was not an isolated incident with deaths on both sides.

Blanket returns for Maitland/Wallis Plains suggest that the local population of Aboriginal people fluctuated during the 1820s to 1840s which a maximum of 100 blankets handed out as late as 1841, decline to 20 in 1844. Aboriginal people did not disappear, but their presence was hidden by decades of Government control and regulation through the Aborigines Protection Board.

¹ 'No title', *The Australian*, 24 March 1827, p 3, Trove, National Library of Australia, viewed 13 September 2024 <<http://nla.gov.au/nla.news-article37074361>>.



Today Aboriginal people comprise 7.1% of the population of Maitland. Many of the Wonnarua living in the Maitland area are members of the Mindaribba Local Aboriginal Land Council.

2.2 Development of Maitland and Horseshoe Bend

Between 1797 and the early 1800s, escaped convicts made their way through the area, and military were engaged in surveying the waterways of the Lower Hunter. More permanent intrusion into Aboriginal Country followed the establishment of the penal settlement at Newcastle in 1804 when convict gangs were sent out to locate and exploit the rich stands of cedar and timber in the Hunter Valley. A base camp was established about 1810 at the confluence of the Hunter River and Wallis Creek (near Maitland). Soon after, Governor Macquarie ordered five individuals (four convicts and one free man) to settle on 30-40 acres grants at Patersons Plains on both sides of the Patersons River (present Woodville).

After Macquarie's visit to the district in 1818, he instructed James Wallis, Commandant at Newcastle, to establish a farming settlement at Wallis Plains. A small group of settlers took up blocks in the district, accompanied by a small military detachment to prevent incursions and attacks by the local Aboriginal people who were fiercely defending their rights to access across their traditional Country, for fishing, hunting and gathering. Surveyors arrived to survey land grants, moving up the valley. Small grants were surveyed at Paterson Plains and Wallis Plains.

In 1823 a wharf was erected at Wallis Plains in the Horseshoe Bend meander near the present High Street and a cattle yard and grain store were established at the wharf. Soon after regular passenger and goods boat service commenced operation between Wallis Plains and Newcastle. By 1828 there were approximately 1600 residents living in the district, of which 72% were ex-convicts.

The removal of the penal settlement from Newcastle to Port Macquarie in the 1820s opened up the Lower Hunter for further free settlement. Some emancipated convicts were granted small acreages on the flats of the Lower Hunter at what was then known



as Patersons Plains, along Paterson Creek. Alongside the influx of free settlers taking up large holdings of rich alluvial land along the Hunter River and its branches including Wallis Creek, were trades people, artisans, labourers, small businesses, trade and industry. This heralded the establishment of the townships of East and West Maitland, and the attendant services and infrastructure.

In 1829 the town of Maitland was formally surveyed on the hills to the east of Wallis Plains comprising the high land on the southern side of Wallis Creek with road connections to Morpeth and Newcastle. (East) Maitland was proclaimed in 1833. Until the construction of Newcastle to Maitland railway (opened January 1857) transport to and from Maitland was by ships plying between Morpeth, Newcastle and Sydney. The construction of the Great North Road between Richmond and Wallis Plains in 1832 also encouraged the growth of Hunter Valley villages.

Land originally leased and then granted to Molly Morgan (Mary Hunt) in the 1820s was known as West Maitland by the mid-1830s. Maitland was officially renamed East Maitland, and Wallis Plains renamed West Maitland in 1835. West Maitland developed at a rapid rate and was the location of the main commercial centre in the district. It was the location of several churches of every denomination including a synagogue, numerous shops and warehouses in High Street, and later in the 1890s, a Courthouse was built. Post offices, schools and a Town Hall were established in West Maitland over the coming years.

Horseshoe Bend was one of the earliest settled areas in Maitland. Sometimes referred to as 'The Bend' and so named for the shape of the river when Europeans first settled there. Crown land was sold here from the early 1840s.

As the centre of the Hunter Valley's agriculture heartland, Maitland boomed during the 1870s and 1880s overtaking East Maitland and Morpeth as the commercial centre of the Lower Hunter. A travelling reporter wrote of Maitland in 1871:

Maitland has an imposing and populous appearance, seen from the G.N. Railway.... To a visitor from Sydney, Maitland probably does not present a



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*very crowded or bustling aspect. But to a man coming out of the bush, it presents a most lively appearance.*²

After a succession of floods, culminating in the Great Flood of 1893 development moved to higher ground in West Maitland. Horseshoe Bend experienced one of the worst impacts of the flooding. At this time the Old Channel was cut off and gradually reclaimed over time, firstly used as a garbage tip and later infilled to form extensive playing grounds.

In more recent times, Maitland has developed beyond a satellite city of Newcastle with new residential estates spreading between the two cities. The Maitland Local Government Area stretches over 393 km² with a population of 90,226 people. The two largest industries in the LGA are health care and social assistance and retail trade.

2.3 The Subject Site

No. 85 Carrington Street, Horseshoe Bend is located on Lot 26 DP 737873 and Lot 27 DP 663657, being originally Lot 26 and part of Lot 27 of a subdivision of five acres (2.02 ha) granted by purchase to Charles Robins in June 1835 (Portion 112 of the Parish of Maitland, County of Northumberland). Accordingly, the following history of the property is divided after 1854 into the respective allotments, 26 and part Lot 27. Charles Robins purchased two adjoining five-acre allotments in the Parish of Maitland in June 1835, paying 15 pounds and fifteen shillings for each allotment.³ These are identified as Portions 111 and 112 of the Parish of Maitland.

On 12 March 1836 Robins conveyed the two allotments by lease and release to farmer Edmond Collins of Water View near Maitland.⁴ A week later Collins conveyed the land to John Terry Hughes and John Hoskins. They were real estate investors, buying up large areas of land in New South Wales. However, during the 1840s Depression Hughes & Hosking became insolvent and their landholdings were progressively sold

² Jottings by the Way - West Maitland. No. 1—MAITLAND AS IT IS', *Australian Town and Country Journal*, 16 December 1871, p 16, Trove, National Library of Australia, viewed 31 August 2024 <<http://nla.gov.au/nla.news-article70470831>>.

³ OST Register Serial 38 Pages 123 and 140, NSW Land Registry Services.

⁴ OST Deed Bk J No 446, NSW Land Registry Services.

by their trustees to satisfy their debtors. Consequently, the two allotments at Maitland were conveyed in December 1848 by John Stirling, Chairman of the Bank of New South Wales. In May 1851 the bank sold same to John Skinner of West Maitland for £160.⁵

Skinner subdivided the two five-acres lots forming 30 allotments which were advertised for auction sale in April and May 1854 in Government Road (present Carrington Street), Horseshoe Ben Road, Robins Street and Portland Street. The depth of lots varied from 66 to 77 feet. Lot 26 was conveyed on 27 May 1854 to Thomas Abbott, Chief Constable at Dungog for 70 pounds and five shillings.⁶ Lots 27 and 28 were conveyed in December the same year to John T Waraker for 136 pounds.⁷

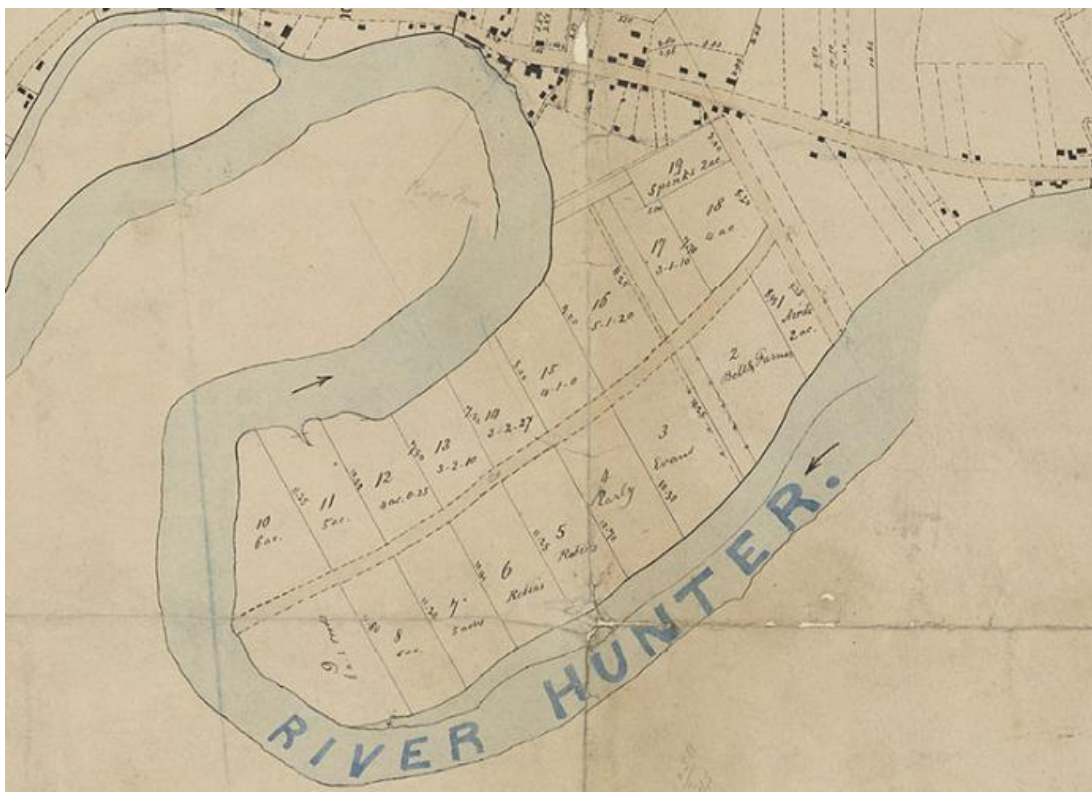


Figure 3: Extract from Plan of Maitland, between 1844 and 1855, showing owners of 19 lots at Horseshoe Bend, including Lots 5 & 6 purchased by Robins (Source: State Library of NSW, Digital Order c007730001)

⁵ OST Deed Bk 21 No 725, NSW Land Registry Services.

⁶ OST Deed Bk 37 No 335, NSW Land Registry Services.

⁷ OST Deed Bk 37 No 562, NSW Land Registry Services.



Figure 4: Extract from 1858 Plan of West Maitland showing subdivision pattern at Horseshoe Bend. Carrington Street is named Government Road on this plan. (Source: City of Maitland Collections)

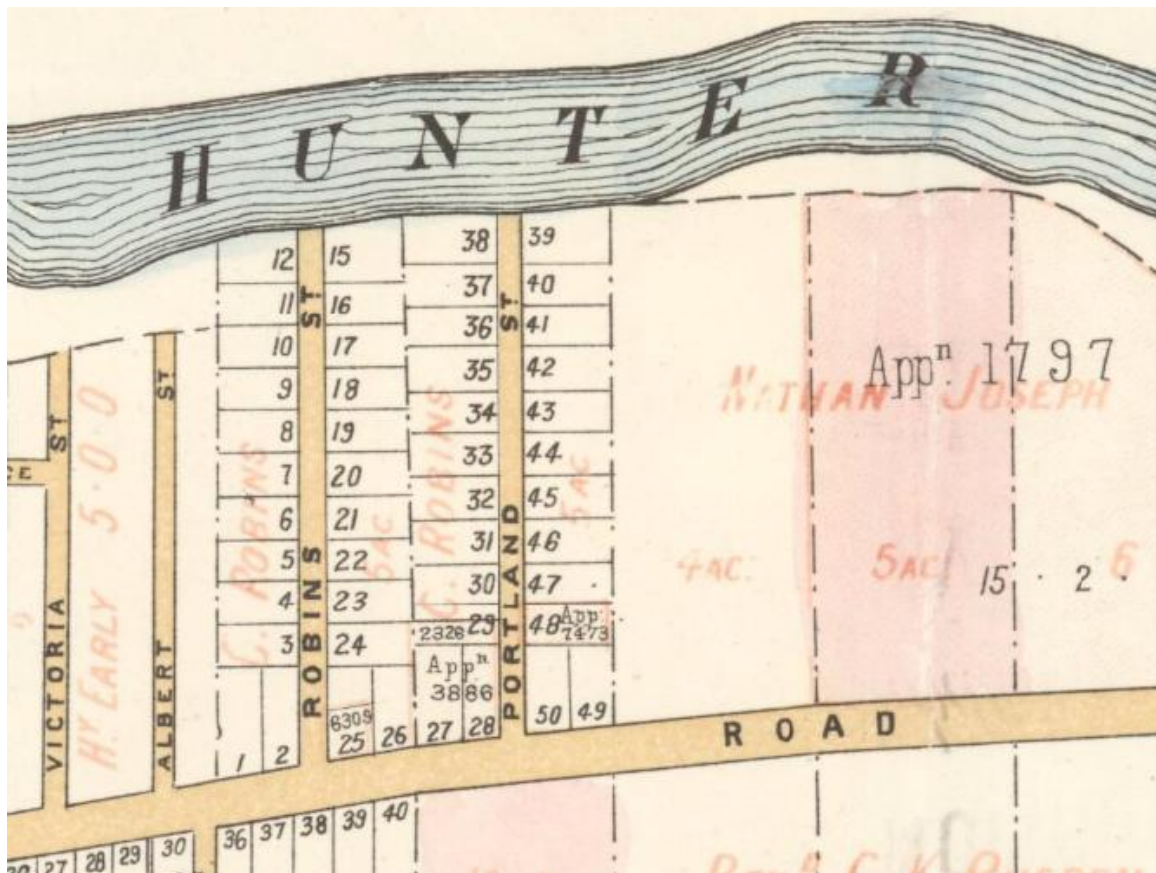


Figure 5: Extract from Map of the Town of Maitland, 1893 (Source: National Library of Australia, Call No. MAP RM 5146)

As to Lot 26:

Abbott owned Lot 26 until December 1866 when it was sold to Richard Ewens of Horseshoe Bend, clerk for 100 pounds and six shillings.⁸ Ewens built a cottage on this land by May 1869 as there was a to let advertisement for 'the superior verandah cottage in James Street, Horseshoe Bend opposite Mr Tucker's, so long occupied by Mr E Ewens'.⁹ This indicates Ewens had vacated the rental property and had relocated to a new cottage in the area (the subject site). Further evidence of the date of construction of the subject dwelling by 1869 was furnished in the local newspaper in January 1871 which carried an advertisement for the auction sale of a weatherboard cottage at the corner of Robins Street and the Government Road 'next to Mr R Ewens' property'.¹⁰

The 1872 Greville's Directory contains the following entry: 'Richard Ewens, clerk, Government Road, Maitland West'. The Ewens family lived in the original cottage throughout the rest of the 1870s and 1880s. In 1888 they commissioned local architect John W Pender to design alterations and additions to the cottage residence and he invited tenders to builders for the erection of the works.¹¹ The tender was awarded to Frederick and Thomas Cooper.¹² The additions comprised a verandah on three sides and two elevated rooms at the rear. The rooms are believed to have provided shelter for people and goods during floods as the Ewens experienced flooding in the area on six occasions between March 1890 and March 1894.¹³

⁸ OST Deed Bk 105 No 813, NSW Land Registry Services.

⁹ 'Advertising', *The Maitland Mercury and Hunter River General Advertiser*, 22 May 1869, p 3, Trove, National Library of Australia, viewed 18 August 2024 <<http://nla.gov.au/nla.news-article18737204>>.

¹⁰ 'Advertising', *The Maitland Mercury and Hunter River General Advertiser*, 26 January 1871, p 1, Trove, National Library of Australia, viewed 18 August 2024 <<http://nla.gov.au/nla.news-article18751441>>.

¹¹ 'Advertising', *The Maitland Mercury and Hunter River General Advertiser*, 24 April 1888, p 8, Trove, National Library of Australia, viewed 18 August 2024 <<http://nla.gov.au/nla.news-article18963968>>.

¹² Index of Projects by the Pender Practice, Part 1 (2005), University of Newcastle Living Histories.

¹³ Hunter, Cynthia 2001, *Horseshoe Bend Maitland*, Maitland City Council.



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According to the 1891 Census R Ewens was the principal householder of a property at Maitland occupied by one male (himself) and two females (one being his wife Mary, nee O'Halloran). Mary was an O'Halloran prior to her marriage. In January 1891 Richard Ewens retired from D Cohen and Co after 36 years of service as the head of clerical staff/chief accountant. He was tendered a farewell function and was given a silver tea service and salver paid for by subscriptions of his colleagues at the company. D Cohen spoke glowingly of Ewens 'many good qualities in whose honor they met, and to his facility to the firm'.¹⁴ He retired from the firm on a 'handsome pension'.¹⁵

Richard's wife died at 'Clare Cottage', Carrington Street, Horseshoe Bend in December 1894 following a brief illness. She was the subject of an obituary in the *Maitland Weekly Mercury* on 15 December 1894 (p. 4). She died aged 57 years and was born in Clare, Ireland and emigrated to Australia when she was very young. The house was thus named in honour after her place of birth and childhood home of Clare, Ireland. She was an active member of the Maitland community before her death as the Treasurer of the Sacred Heart Society, a member of the Altar Society and 'always and active and zealous church worker'.¹⁶ Two years later Richard died on 25 January 1896 aged 65, partly brought on by excessive summer temperatures. The funeral procession left his late residence in Carrington Street.

*He was a native of England, and came to the colony half a century ago, over forty years of which were spent in West Maitland, where he lived to earn the respect and esteem of all who knew him. Until a few years ag, he had been an accountant at for the form of Messrs D Cohen and Co...For many years Mr Ewens was treasurer of the West Maitland School of Arts, and Warden of St Johns Guild and ...an energetic worked in the interest of St John's Cathedral.*¹⁷

¹⁴ 'Local News', *Maitland Mercury and Hunter River General Advertiser*, 13 January 1891, p 5, Trove, National Library of Australia, viewed 7 February 2025 <<http://nla.gov.au/nla.news-article18990356>>.

¹⁵ 'Country news', *The Sydney Morning Herald*, 13 January 1891, p 5, Trove, National Library of Australia, viewed, 7 February 2025 <<http://nla.gov.au/nla.news-article13792832>>.

¹⁶ 'Local News of the Week', *The Maitland Weekly Mercury*, 15 December 1894, p 4, Trove, National Library of Australia, viewed 18 August 2024 <<http://nla.gov.au/nla.news-article126611830>>.

¹⁷ 'Local and General Items', *The Maitland Daily Mercury*, 25 January 1896, p 2, Trove, National Library of Australia, viewed 18 August 2024 <<http://nla.gov.au/nla.news-article123932735>>.

Ewens named his brother-in-law and sister-in-law, Daniel and Annie O'Halloran of the Terminus Hotel Quirindi, executors and trustees of his estate. They instructed local auctioneer OK Young to sell by auction the whole of the household furniture 'at the residence of the Late Mr Ewens, Carrington Street' on 14 February 1896.¹⁸ The following month Clare Cottage, Carrington Street, Horseshoe Bend, was advertised to let in March 1896 as 'commodious and every convenience'.¹⁹ It is not known who occupied the house from this date.

Daniel died in 1901 at Quirindi where he was still running the Terminus Hotel. Daniel was formerly an employee of D Cohen and Co and is likely to have worked with Richard Ewens prior to his retirement. According to an obituary in the Newcastle Morning Herald and Miners' Advocate Daniel had been in poor health for several months before his death.²⁰

Following the death of Daniel O'Halloran, responsibility for Richard Ewens estate passed to Annie O'Halloran. In April 1913 she sold Lots 26 (and 24) to Richard William Bourke of West Maitland, carrier.²¹ It appears he moved into 85 Carrington Street as in August 1915 the Maitland Daily Mercury reported that Leslie Bourke, the son of Richard Bourke of Horseshoe Bend had enlisted in the infantry.²² Three years later in December 1918 Richard Bourke held a 'very successful euchre party' at his house in Carrington Street in aid for funds for a Christmas tree for the orphans at Campbell's Hill.²³ Richard and members of his family are listed in surviving electoral rolls from 1930 to at least 1937 at 85 Carrington Street. Bourke wrote to the council in November

¹⁸ 'Advertising', *The Maitland Daily Mercury*, 13 February 1896, p 4, Trove, National Library of Australia, viewed 7 February 2025 <<http://nla.gov.au/nla.news-article123926618>>.

¹⁹ 'Advertising', *The Maitland Weekly Mercury*, 14 March 1896, p 1, Trove, National Library of Australia, viewed 18 August 2024 <<http://nla.gov.au/nla.news-article132406637>>.

²⁰ 'Death of Mr Daniel O'Halloran', *Newcastle Morning Herald and Miners' Advocate*, 11 June 1901, p 8, Trove, National Library of Australia, viewed 7 February 2025 <<http://nla.gov.au/nla.news-article136092760>>.

²¹ OST Deed Bk 998 No 669, NSW Land Registry Services.

²² 'Local and general news', *The Maitland Daily Mercury*, 5 August 1915, p 4 (Edition 2), Trove, National Library of Australia, viewed 18 August 2024 <<http://nla.gov.au/nla.news-article121710663>>.

²³ 'Euchre Party', *The Maitland Daily Mercury*, 14 December 1918, p 6, Trove, National Library of Australia, viewed 18 August 2024 <<http://nla.gov.au/nla.news-article123432188>>.



1937 complaining about the condition of the footpath at the entrance to the property. He offered to provide the materials necessary to construct a concrete strip providing the council provide the labour, which suggestion council agreed to.²⁴ The following year JP Idstein sold 87 and 89 Carrington Street for RW Bourke to HD Atkinson.²⁵

In May 1939 the property of RW Bourke was advertised for auction sale on 24 May 1939 as follows:

An Allotment, having a frontage of 104ft. x 132ft. (more or less) to Carrington Street, West Maitland, upon which is erected a substantially built Brick Cottage, containing all necessary rooms, with Front and Return Verandahs, Out-sheds, etc. This being Mr. Bourke's residence, same is recommended as a comfortable and convenient home. Also vacant Allotment at rear of above, having a frontage to Robin Street of 66ft. x 136ft. (more or less). Also an Allotment in Robin Street (adjoining Morgan's Nursery), having a frontage of 66ft. x 132ft. (more or less), upon which is erected a Small W.B. Cottage, at present tenanted.

Mr. Bourke, owing to ill-health, is retiring from business and intends leaving for Sydney. Very easy terms will be offered to purchaser if required, viz: 25 per cent. cash deposit, balance payable as rent.

Figure 6: Auction sale advertisement (Source: The Maitland Daily Mercury, 5 May 1939, p. 10)

Richard William Bourke agreed to sell 85 Carrington Street in August 1939 to Jane Barry of West Maitland, widow with £500 of the £550 purchase price to be paid to the mortgagee Bank of Australasia.²⁶ The sale to Barry was reported in the local newspaper after the auction sale.²⁷

The following month a clearing out sale was held at RW Bourke's Carrington Street property on 21 June 1939 including furniture, lorry and goodwill of business.²⁸ P Rutter announced in July that he had taken over the general carrying business of R Rourke.

²⁴ 'Electricity charges', *The Maitland Daily Mercury*, 1 December 1937, p 4, Trove, National Library of Australia, viewed 7 February 2025 <<http://nla.gov.au/nla.news-article126514667>>.

²⁵ 'No title', *The Maitland Daily Mercury*, 28 July 1938, p 2, Trove, National Library of Australia, viewed 7 February 2025 <<http://nla.gov.au/nla.news-article125711503>>.

²⁶ CT Vol 5003 Fol 112, NSW Land Registry Services.

²⁷ 'News of the Day', *The Maitland Daily Mercury*, 25 May 1939, p 4, Trove, National Library of Australia, viewed 18 August 2024 <<http://nla.gov.au/nla.news-article126380074>>.

²⁸ 'Advertising', *The Maitland Daily Mercury*, 20 June 1939, p 10, Trove, National Library of Australia, viewed 18 August 2024 <<http://nla.gov.au/nla.news-article126389926>>.

CLEARING-OUT SALE
ON THE PREMISES, **CARRINGTON** STREET, WEST MAITLAND
WEDNESDAY, 21st JUNE, 1939, commencing 12 o'clock sharp.

FRANK L. SMITH, under instructions from Mr. R. W. Bourke, will sell by Auction as above:

The whole of his Household Furniture and Effects, including Upright Grand "Beale" Piano, 9 Pcs. Antique Carved Solid English Walnut Drawing Room Suite.

TRADESMAN'S TOOLS, ETC.

Green River Screw Plate (Full Set), "Dawn" Patent 5in. Bench Vise, "Buffalo" Drilling Machine and Drills, Small Anvil, Bolt Cutter, Bench Screw, 2 Lorry Jacks, 1 Double Screw House Jack, a large and varied assortment of Carpenters', Engineers' and Garden Tools; Floor Cramps, etc. **ALSO—**

"Chevrolet" 2 Ton Motor Lorry, in good order. The Goodwill of Carrying Business as conducted by Mr. Bourke for the past 48 years. This is an exceptional opportunity for an energetic man to acquire a good business with an assured income. Full list see last Friday's "Mercury."

Owing to illness, Mr. Bourke is retiring from business, and having sold his Home, is leaving for Sydney, consequently everything is for definite sale.

TERMS CASH AT SALE.

FRANK L. SMITH, Auctioneer, West Maitland. Phone 187. 3585

Figure 7: Auction sale advertisement. (Source: The Maitland Daily Mercury, 14 June 1939, p. 10)

Jane Barry died in January 1941. At the time of her death Jane was the licensee and occupier of the Commercial Hotel, High Street, a hotel managed for many decades managed by successive generations of the Barry family. She was survived by five children, May (Mrs Lester), Lester and Ernest and Misses Ivy and Flo (Florence) Barry. By 1943, 85 Carrington Street (Lot 26 and part lot 27) was occupied by Flo, Ivy and Lester Barry.

The property passed to Florence Barry about 1948. She lived in the property until her death. Lot 26 (85 Carrington Street) was sold in September 1986 to Daphne Enid Ott



of Bellevue Hill, Stephen Peter Troy of East Maitland and Kendall Raymond Troy of Bellevue Hill for \$46,500.²⁹

85 Carrington Street was advertised for sale in March 2022 and sold later the same year.

As to part Lot 27:

Lots 27 and 28 of Skinner's subdivision were sold in December 1854 to Rev John Thomas Waraker for £136.³⁰ Waraker owned the two allotments until 1861 when he sold to the Hon David Jones of the City of Sydney for £140.³¹ The land passed the following year by the trustees of Jones to Saul Lyons of City of Sydney.³² In January 1875 Lyons placed a notice in the local newspaper warning against trespassers on his land at Horseshoe Bend which was leased to John Alford of West Maitland.³³ This was still an issue in December when he advertised a second time that there was still trespassing and cattle grazing on his land 'recently leased to Mr John Alford' and threatening to prosecute trespassers and impound cattle.³⁴

In February 1875 Saul Lyons lodged an application to convert the land to Torrens title. At this date the land was in the occupation of a tenant, John Alford of Willow Cottage, West Maitland and the value of the land (including all improvements) was £59.³⁵ The following year Lyons conveyed the land to Richard Ewens, owner and occupant of the adjoining land to the west (Lot 26).³⁶ Following Ewens death in 1896, Lots 27 and 28 passed by transmission in 1913 to his trustee/executrix Annie Veronica O'Halloran.

²⁹ OST Deed Bk 3681 No 68, NSW Land Registry Services.

³⁰ OST Deed Bk 37 No 562, NSW Land Registry Services.

³¹ OST Deed Bk 66 No 232, NSW Land Registry Services.

³² OST Deed Bk 72 No 412, NSW Land Registry Services.

³³ 'Advertising', *The Maitland Mercury and Hunter River General Advertiser*, 14 January 1875, p 3, Trove, National Library of Australia, viewed 18 August 2024 <<http://nla.gov.au/nla.news-article18791066>>.

³⁴ 'Advertising', *The Maitland Mercury and Hunter River General Advertiser*, 21 December 1875, p 3, Trove, National Library of Australia, viewed 18 August 2024 <<http://nla.gov.au/nla.news-article18801527>>.

³⁵ 'Advertising', *The Maitland Mercury and Hunter River General Advertiser*, 21 December 1875, p 3, Trove, National Library of Australia, viewed 18 August 2024 <<http://nla.gov.au/nla.news-article18801527>>.

³⁶ CT Vol 443 Fol 107, NSW Land Registry Services.

In conjunction with Lot 26, Lots 27 and 28 were conveyed the same year to Richard William Bourke of West Maitland, carrier. He occupied the land and Clare Cottage as detailed above in respect of Lot 26 above. In 1935 Bourke sold off part of the site to Atkinson, retaining the residue of Lots 27 and 28 as shown below in Figure 8, below. According to the block plan there are various structures on the land, including the projection of Clare Cottage onto Lot 27. In 1938 when Bourke announced his intention to sell his business and move to Sydney, he sold further portions of Lots 27 and 28 to Atkinson.³⁷

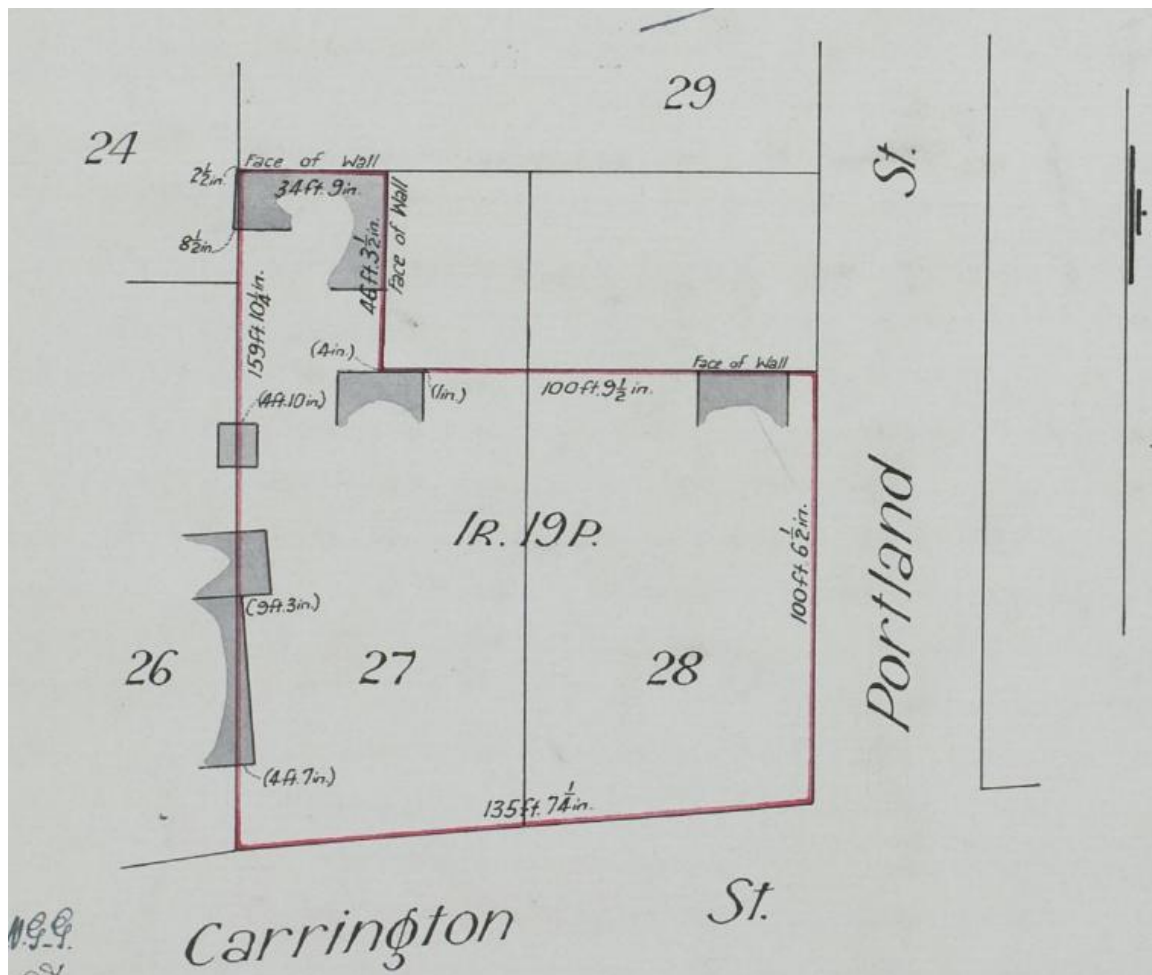


Figure 8: Richard William Bourke's Land, 1936. (Source: NSW Land Registry Services, CT Vol 4791 Fol 56)

³⁷ CT Vol 4791 Fol 56, NSW Land Registry Services.

Bourke retained the residue of Lot 27 as shown in the block plan below (Figure 9). In July that portion of land was conveyed with Lot 26 to Jane Barry of West Maitland.³⁸

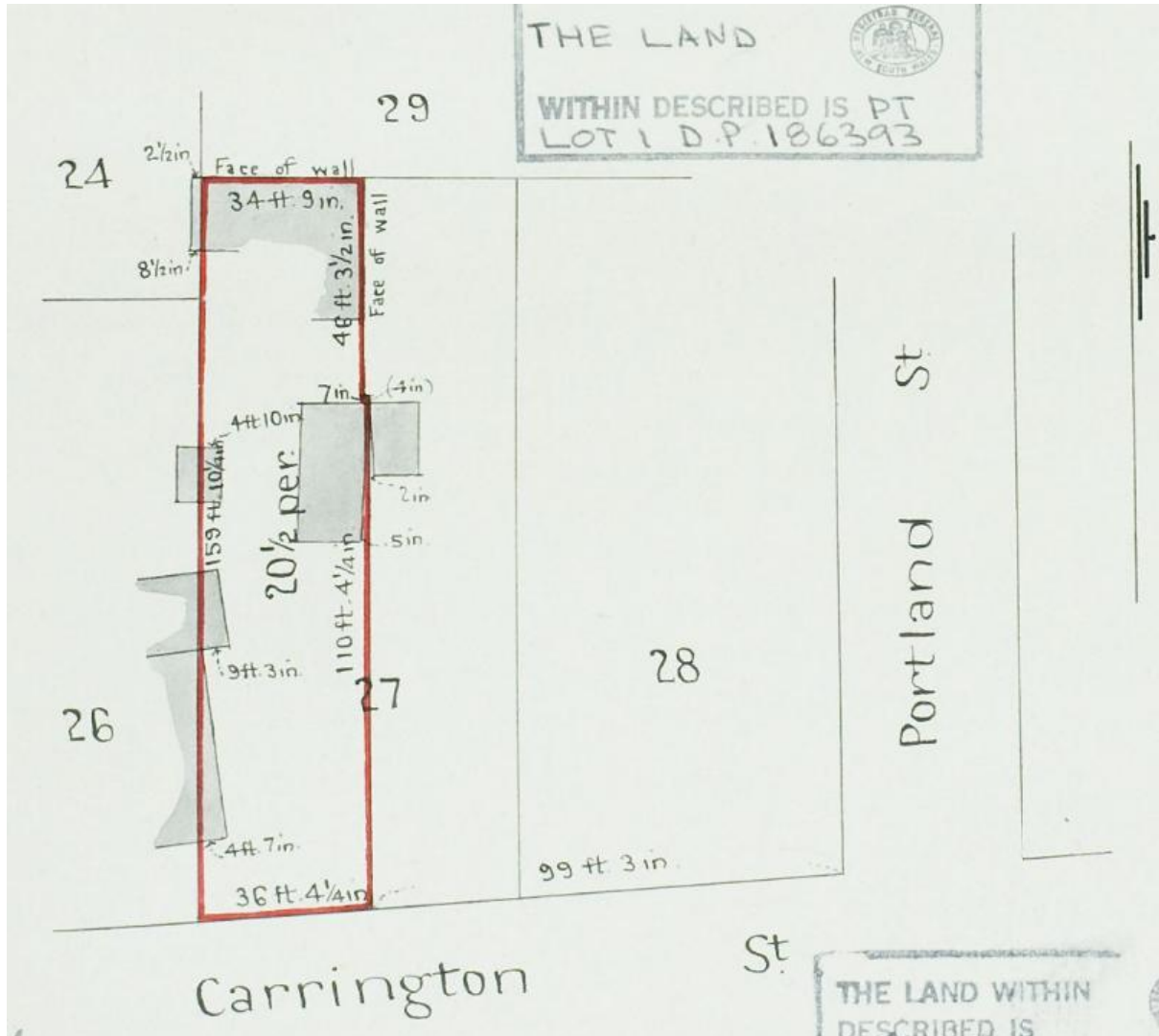


Figure 9: Block plan of the eastern portion of the subject site, being part of Lot 27, 1939. (Source: NSW LRS Vol 5003 Fol 112)

Jane Barry died in January 1941. At the time of her death Jane was living at the Commercial Hotel, High Street, a hotel for many decades managed by successive generations of the Barry family. She was survived by five children, May (Mrs Lester),

³⁸ CT Vol 5003 Fol 112, NSW Land Registry Services.



Lester and Ernest and Misses Ivy and Flo (Florence) Barry. By 1943, 85 Carrington Street (Lot 26 and part Lot 27) was occupied by Flo, Ivy and Lester Barry.

That portion of the subject site comprising part of Lot 27 passed by transmission in 1948 to John Harding of Wahroonga, surveyor and May Harding as joint tenants. They promptly conveyed the property to Florence Barry.³⁹ She appears to have lived at 85 Carrington Street until her death. The property was conveyed by transmission in October 1986 to Daphne Enid Ott, Stephen Peter Troy and Kendall Raymond Ott.⁴⁰ 85 Carrington Street was advertised for sale in March 2022 and sold later the same year to the present owners.

³⁹ CT Vol 5003 Fol 112, NSW Land Registry Services.

⁴⁰ CT Vol 5003 Fol 112, NSW Land Registry Services.

2.4 Sources

- Hunter, Cynthia 2001, *Horseshoe Bend Maitland*, Maitland City Council
- Newcastle Morning Herald and Miners' Advocate*, 11 June 1901, p. 8.
- The Australian*, 24 March 1827, p. 3.
- The Maitland Daily Mercury*, 25 January 1896, p. 2.
- The Maitland Daily Mercury*, 13 February 1896, p. 4.
- The Maitland Daily Mercury*, 5 August 1915, p. 4.
- The Maitland Daily Mercury*, 14 December 1918, p. 6.
- The Maitland Daily Mercury*, 1 December 1937, p. 4.
- The Maitland Daily Mercury*, 28 July 1938, p. 2.
- The Maitland Daily Mercury*, 25 May 1939, p. 4.
- The Maitland Daily Mercury*, 20 June 1939, p. 10.
- The Maitland Mercury and Hunter River General Advertiser*, 22 May 1869, p. 3.
- The Maitland Mercury and Hunter River General Advertiser*, 26 January 1871, p. 1.
- The Maitland Mercury and Hunter River General Advertiser*, 24 April 1888, p. 8.
- The Maitland Mercury and Hunter River General Advertiser*, 13 January 1891, p. 5.
- The Maitland Mercury and Hunter River General Advertiser*, 14 January 1875, p. 3.
- The Maitland Mercury and Hunter River General Advertiser*, 21 December 1875, p. 3.
- The Maitland Weekly Mercury*, 14 March 1896, p. 1.
- The Maitland Weekly Mercury*, 15 December 1894, p. 4.
- The Sydney Morning Herald*, 13 January 1891, p. 5.
- University of Newcastle Living Histories, 2005, Index of Projects by the Pender Practice, Part 1.



PHYSICAL ANALYSIS

3. Physical Analysis

3.1 Introduction

This section provides a description of the subject dwelling and surrounds. All photographs were taken by Lisa Trueman or Bourne + Blue Architects unless otherwise noted.

3.2 Carrington Street Context

The site is located on the north side of Carrington Street between Robins Street and Portland Street. Carrington Street is the main street of Horseshoe Bend, an established rural town on the eastern outskirts of Central Maitland. The rural township streetscape is characterised by its wide, tree-lined street located between the Hunter River and the New England Highway, which provides access to Newcastle to the east and the Upper Hunter to the northwest. The streetscape contains low density houses which are generally small scale and single storey. Many are located on large semi-rural lots with several outbuildings. Dwellings are from varying time periods dating from Victorian to the late twentieth century. The various building typologies are predominantly Victorian cottages and Federation-style timber cottages.

3.3 Site Description

3.3.1 Exterior

The site consists of a freestanding dwelling in the Victorian Georgian style. The property is accessed via a gate located on the southern boundary, which leads to the front yard. The front-yard contains mature trees and plantings, and a brick pathway which leads to the main entrance of the dwelling.

The single-storey dwelling is constructed primarily of brick and timber. The original dwelling is square in form, constructed from brick with a corrugated iron roof and three brick chimneys.



The symmetrical facade features a wide verandah, with centrally located entry door and a set of single pane double sash windows located on either side, each with timber shutters. The bull-nose verandah returns along the eastern and western facades of the dwelling. The verandah features symmetrically placed slender cast iron posts with composite capitals and octagonal bases. An iron lace frieze with a circular pattern sits on top of the posts, supporting a separate white and Indian red striped corrugated iron bull-nose roof. The verandah is timber floored.

The exterior features several stylistic elements typical of the Victoria Georgian style, including a rectangular form, spreading verandah form with posts resembling colonnades, corrugated iron roof, bullnose verandah and windows with large panes of glass. The face brick work, probably originally exposed, has been painted at a later date. The chimneys are brick. The east and west facades feature six-panelled double hung sash windows to the front rooms and French doors provide access from the verandah to the secondary rooms.

The northwest and northeast corners of the dwelling have small, elevated timber wings each containing a single room. These rooms are accessed via a small set of stairs at the termination of the return verandah on the east and west facades. The wings are visible from the front of the house and are early but not original additions. They have corrugated iron roofing and -panelled double hung sash windows to match the original dwelling. The wing to the northeast has a brick chimney.

The rear of the dwelling faces north and contains a series of later additions, creating a mix of roof heights and types. The additions include a bathroom wing which extends lengthways into the backyard and a kitchen with a door opening to the rear of the site. A verandah enclosed to create a sunroom connects the bathroom with the kitchen.

The backyard is heavily vegetated, and consists of various landscape elements, including large trees and plantings. A paved brick patio extends across the back of the dwelling. The remainder of the site is covered with lawn. There is a simple shed constructed of concrete 'besser blocks' in the rear northeast corner of the property.

An original timber outbuilding is located adjacent to the house at the rear, divided into separate laundry and storage spaces. The rectangular building has a simple gabled roof of corrugated iron. The laundry room contains substantial metal laundry tubs and brick fireplace with



chimney in the northeast corner. The outbuilding is clad in fibre cement weatherboards and the floor and subfloor are in very poor condition. The chimney and fireplace are in poor condition with significant cracking. There is a two paned double hung sash window on the eastern wall of the laundry.

3.3.2 Interior

The interior layout of the dwelling comprises of a central hallway, which runs from the entry door through to the back door of the dwelling. The original four room dwelling remains intact, with the master bedroom, living room, second bedroom and dining room accessed from the original central hallway. The interior doors to these rooms appear to be original cedar four panel doors with deep reveals and architraves in place. Each of the four principal rooms contain original fireplaces with timber surrounds.

The hallway features a corbelled arch at the midway point, and terminates at the rear of the original dwelling, with an intact cedar door frame with original cedar three panel fan light and architraves to match the front entry door.

An extension to the central hallway provides access to a small bedroom addition, a sunroom, and a kitchen. The sunroom and the kitchen lead to the paved brick patio which extends across the rear of the dwelling. The sunroom provides access to the bathroom.

Two additional bedrooms are located in the side wings of the dwelling but are not accessible internally. Each of these bedrooms is square in shape and accessible via a small set of six stairs from the termination of the return verandah on either side of the dwelling.

The interiors are generally intact but contain some modified fittings, fixtures, and finishes. Original features that remain include double hung sash windows, cedar doors and architraves, and timber fireplaces.

3.4 Site Photographs

All site photographs were taken by Lisa Trueman and Bourne + Blue Architects in 2024 unless otherwise noted:



Figure 3.1 Site viewed from Carrington Street



Figure 3.2 Entry path and front door



Figure 3.3 Site entrance from driveway



Figure 3.4 Southern elevation



Figure 3.5 South elevation and view to street



Figure 3.6 Southern elevation



Figure 3.7 Front Garden and fencing



Figure 3.8 Southwest verandah corner



Figure 3.9 Primary façade & window



Figure 3.10 Western façade & verandah



Figure 3.11 Primary facade & front door

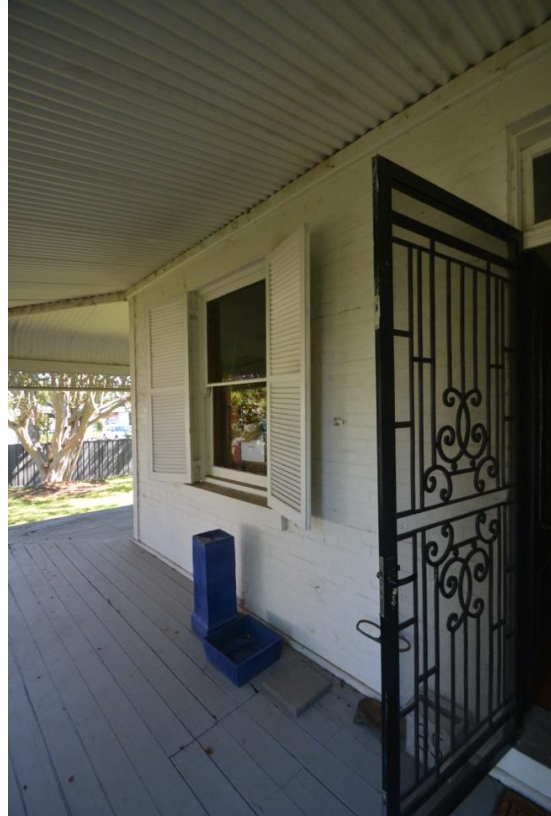


Figure 3.12 Primary facade & front door



Figure 3.13 Primary facade & verandah



Figure 3.14 Southwest corner of verandah



Figure 3.15 West facade verandah



Figure 3.16 West facade verandah



Figure 3.17 East elevation window detail



Figure 3.18 East verandah & bedroom entry



Figure 3.19 West verandah & bedroom entry



Figure 3.20 West verandah & bedroom entry stair



Figure 3.21 West verandah door detail



Figure 3.22 South elevation window detail



Figure 3.23 Western facade



Figure 3.24 Primary facade and entry



Figure 3.25 Primary facade verandah



Figure 3.26 West facade power box



Figure 3.27 West verandah bedroom entry stair



Figure 3.28 Northeast corner of house

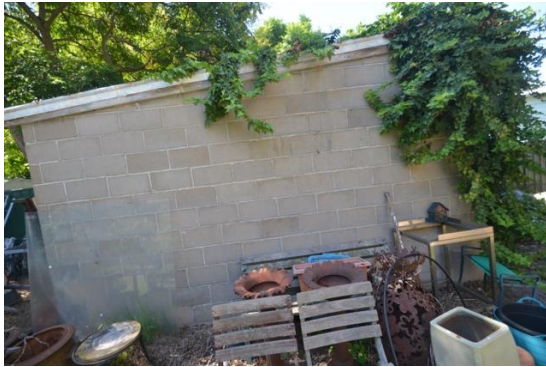


Figure 3.29 West elevation of rear shed



Figure 3.30 Site from rear northeast corner



Figure 3.31 Laundry (red) outhouse



Figure 3.32 Outhouse and northeast of house



Figure 3.33 Laundry building



Figure 3.34 North elevation detail



Figure 3.35 North elevation



Figure 3.36 North elevation



Figure 3.37 North elevation



Figure 3.38 Roofs of shed, bedroom & house



Figure 3.39 Roof of sunroom and bathroom



Figure 3.40 Roof of bathroom



Figure 3.41 Roofs of rear elevation



Figure 3.42 Wall detail on northern elevation



Figure 3.43 North elevation bathroom wall



Figure 3.44 Northwest corner of bathroom



Figure 3.45 North elevation



Figure 3.46 West elevation



Figure 3.47 Crawlspace under main house



Figure 3.48 Crawlspace under main house



Figure 3.49 Crawlspace under main house

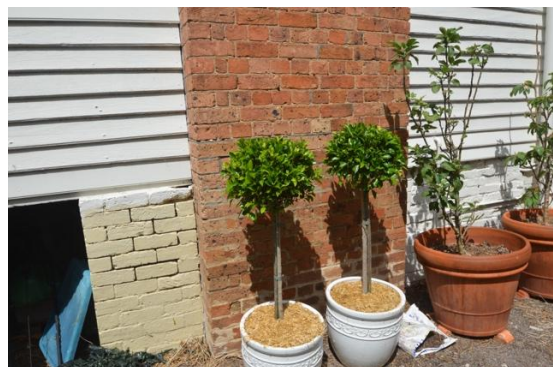


Figure 3.50 North elevation chimney detail



Figure 3.51 rear garden



Figure 3.52 Side boundary fence



Figure 3.53 Subfloor east side wing



Figure 3.54 North elevation detail



Figure 3.55 Crawlspace under main house



Figure 3.56 Crawlspace under main house



Figure 3.57 Crawlspace under main house



Figure 3.58 Laundry interior

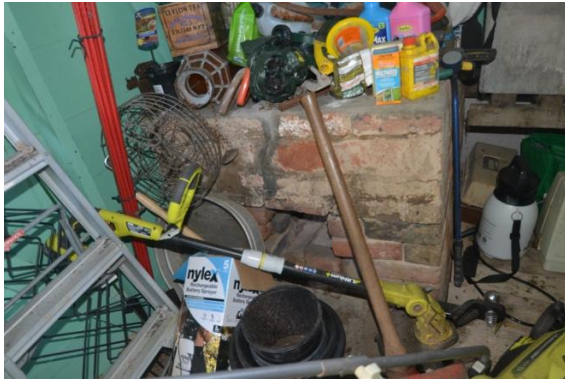


Figure 3.59 Laundry interior and fireplace



Figure 3.60 Laundry interior



Figure 3.61 WC adjoining main bathroom



Figure 3.62 Sunroom



Figure 3.63 Sunroom

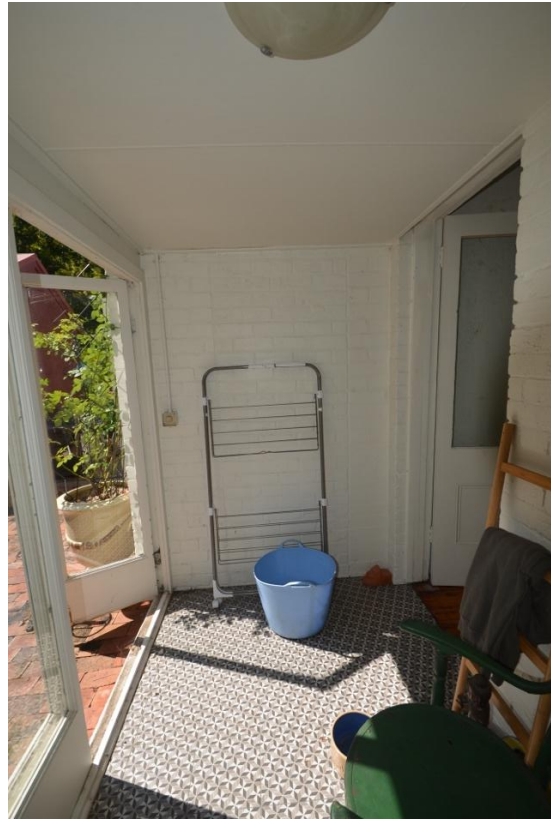


Figure 3.64 Sunroom

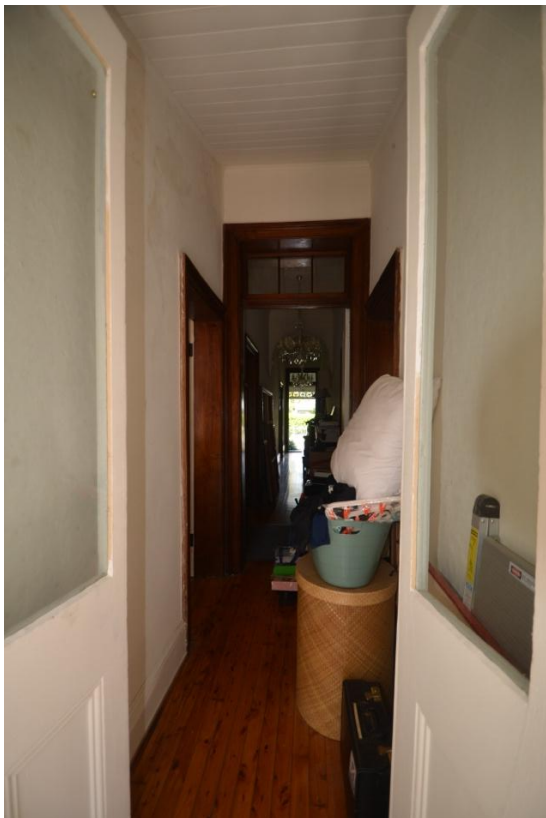


Figure 3.65 Central hallway



Figure 3.66 Central hallway



Figure 3.67 Kitchen



Figure 3.68 Kitchen



Figure 3.69 Bedroom 5



Figure 3.70 Bedroom 5 window



Figure 3.71 Interior door and architraves



Figure 3.72 Central Hallway



Figure 3.73 Bedroom 2



Figure 3.74 Bedroom 2

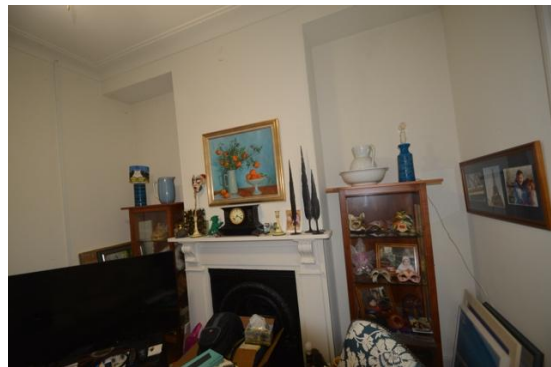


Figure 3.75 Bedroom 2



Figure 3.76 Bedroom 2



Figure 3.77 Dining Room



Figure 3.78 Central Hallway ceiling detail



Figure 3.79 Bedroom 1



Figure 3.80 Bedroom 1

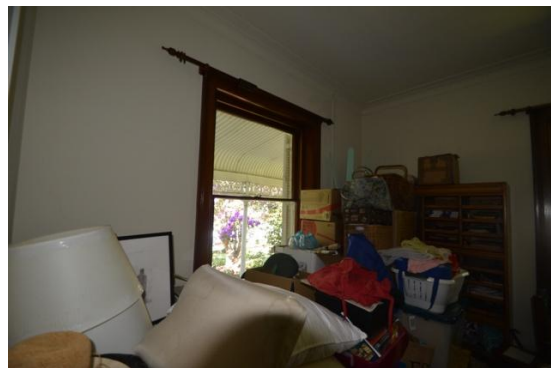


Figure 3.81 Bedroom 1



Figure 3.82 Bedroom 1



Figure 3.83 Bedroom 1



Figure 3.84 External stair to Bedroom 4



Figure 3.85 Ceiling detail above stair to Bed 4



Figure 3.86 External stair to Bedroom 4



Figure 3.87 Bedroom 4



Figure 3.88 Bedroom 4



Figure 3.89 Bedroom 4



Figure 3.90 West verandah near Bed 3 access



Figure 3.91 Bedroom 3



Figure 3.92 Bedroom 3



Figure 3.93 Bedroom 3

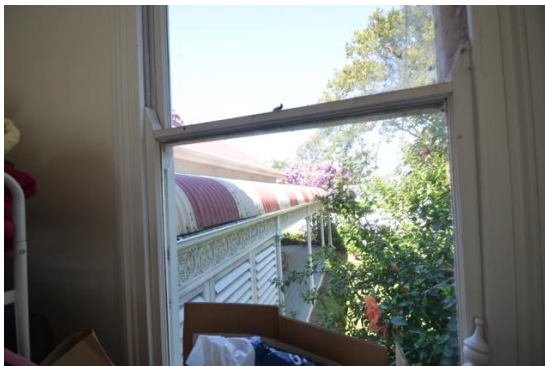


Figure 3.94 Bedroom 3



Figure 3.95 External brick wall detail

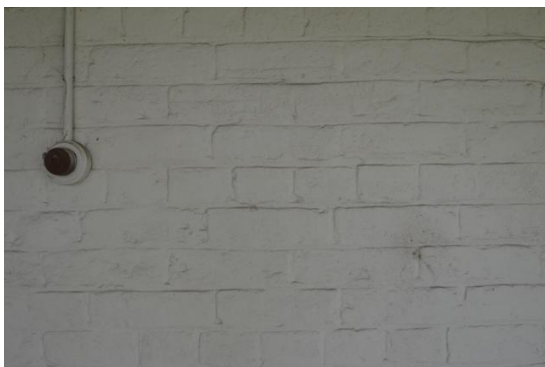


Figure 3.96 External brick wall detail



Figure 3.97 External brick wall detail



Figure 3.98 External brick chimney detail



Figure 3.99 Garden and neighbouring property in background



Figure 3.100 Garden and neighbouring property in background

DESCRIPTION OF PROPOSAL

4. Description of Proposal

4.1 Introduction

The proposed works are outlined generally below. The Development Application documentation and drawings referenced are included at Appendix B.

4.2 Proposed Works

The proposal involves alterations and additions to the existing heritage listed dwelling. The proposed works include the retention and conservation of the original house and early wings and the consolidation of non-original spaces at the rear. A new single storey addition will contain a combined kitchen and living area opening to the rear garden. The rear addition is to be concealed behind and below the original roof form. Works also include a small addition to an existing bedroom wing to create a wardrobe and ensuite bathroom and two internal staircases to provide internal access to the two bedrooms located in the elevated side wings, and the infill of the existing external access from the side verandahs. The proposed interior works include the conversion of the existing kitchen to a bathroom and laundry. The proposal also includes the partial demolition the existing outbuilding, and the demolition of an existing detracting concrete block shed and construction of a brick and weatherboard twin gabled roofed garage with attached storeroom at the rear of the property. Conservation and repair work will be undertaken to the house as required.

Additional proposed works to the interior are generally listed below:

- Conversion of the existing kitchen to a combined bathroom and laundry, and new stairs to allow for internal access to bedroom 4.
- Conversion of existing bedroom 5 to create a hallway and stairs to provide internal access to bedroom 3.
- Infill of existing stairs and doors providing access from the verandah to bedrooms 3 and 4.

4.3 Heritage Advice and Design Input

Lisa Trueman was engaged early in the project to provide heritage advice into the design of the alterations and addition to ensure that the heritage value of the site was retained and conserved within the proposal. This included a site inspection with the owner and project architect prior to design commencing and heritage input throughout the development of the design. Accordingly, the project has been guided by heritage from its inception to ensure that the heritage values of the site are retained and conserved in the design.

4.4 Development Application Documents

The following documentation is relevant to the proposed development application. These documents are provided at Appendix B:

Drawing No.	Prepared By	Drawing Name	Issue Date
DA01	Bourne + Blue Architecture	Site Plan	February 2025
DA02	Bourne + Blue Architecture	Level 1	February 2025
DA03	Bourne + Blue Architecture	Existing	February 2025
DA04	Bourne + Blue Architecture	Demolition	February 2025
DA05	Bourne + Blue Architecture	Elevations	February 2025
DA06	Bourne + Blue Architecture	Elevations	February 2025
DA07	Bourne + Blue Architecture	Sections	February 2025
DA09	Bourne + Blue Architecture	Colour Selections	February 2025

HERITAGE IMPACT ASSESSMENT



5. Heritage Impact Assessment

5.1 Introduction

This section provides an assessment of the heritage impacts of the proposal in relation to the relevant statutory and non-statutory provisions of the City of Maitland. The general provisions relating to heritage, which arise from the Maitland Local Environmental Plan 2011 and the Maitland Development Control Plan 2011, are set out and have been addressed in this section of the document.

5.2 Maitland Local Environmental Plan 2011

Clause 5.10 Heritage Conservation of the MLEP 2011	
1) Objectives	Analysis
<ul style="list-style-type: none"> A) to conserve the environmental heritage of Maitland, B) to conserve the heritage significance of heritage items and heritage conservation areas, including associated fabric, settings, and views, C) to conserve archaeological sites, D) to conserve Aboriginal objects and Aboriginal places of heritage significance. 	<p>The site contains a single-storey Victorian Georgian cottage listed as a heritage item within Schedule 5 of the MLEP2011. The proposal involves alterations and additions to the existing dwelling, including a single-storey addition located at the rear of the original dwelling, alterations to the internal layout, and new garage at the side of the dwelling, set behind the front building line. The proposal will conserve the existing building by retaining significant scale, form, fabric, spaces, settings, and views. The rear addition has been located behind the original roof form to ensure that the significant scale and form of the dwelling is retained. The proposal will result in a positive outcome for the heritage item by ensuring that significant fabric is conserved while improving amenity conducive to the requirements of a modern family home. The proposal will ensure that the dwelling can continue to be used in the future while also retaining its associated cultural significance and heritage value.</p>

Clause 5.10 Heritage Conservation of the MLEP 2011	
2) Requirement for Consent	Analysis
<p>Development consent is required for any of the following—</p> <p>(a) demolishing or moving any of the following or altering the exterior of any of the following (including, in the case of a building, making changes to its detail, fabric, finish or appearance)—</p> <p>(i) a heritage item,</p> <p>(ii) an Aboriginal object,</p> <p>(iii) a building, work, relic, or tree within a heritage conservation area,</p> <p>(b) altering a heritage item that is a building by making structural changes to its interior or by making changes to anything inside the item that is specified in Schedule 5 in relation to the item,</p> <p>(c) disturbing or excavating an archaeological site while knowing, or having reasonable cause to suspect, that the disturbance or excavation will or is likely to result in a relic being discovered, exposed, moved, damaged, or destroyed,</p> <p>(d) disturbing or excavating an Aboriginal place of heritage significance,</p> <p>(e) erecting a building on land—</p> <p>(i) on which a heritage item is located or that is within a heritage conservation area, or</p> <p>(ii) on which an Aboriginal object is located or that is within an Aboriginal place of heritage significance,</p> <p>(f) subdividing land—</p> <p>(i) on which a heritage item is located or that is within a heritage conservation area, or</p> <p>(ii) on which an Aboriginal object is located or that is within an Aboriginal place of heritage significance.</p>	<p>The proposal involves alterations and additions to a heritage item. Development consent for the proposed works is sought from Maitland City Council through a development application, as required by the MLEP2011.</p>

Clause 5.10 Heritage Conservation of the MLEP 2011	
4) Effect of proposed development on heritage significance	Analysis
The consent authority must, before granting consent under this clause in respect of a heritage item or heritage conservation area, consider the effect of the proposed development on the heritage significance of the item or area concerned. This subclause applies regardless of whether a heritage management document is prepared under subclause (5) or a heritage conservation management plan is submitted under subclause (6).	It is understood that Council will refer the development application to its internal Conservation Planner for assessment, as required by this clause.
(5) Heritage Assessment	Analysis
The consent authority may, before granting consent to any development. on land on which a heritage item is located, or on land that is within a heritage conservation area, or on land that is within the vicinity of land referred to in paragraph (a) or (b), require a heritage management document to be prepared that assesses the extent to which the carrying out of the proposed development would affect the heritage significance of the heritage item or heritage conservation area concerned.	This Heritage Impact Statement has been prepared by a recognised heritage specialist and is to be submitted as part of a development application.

5.3 Maitland Development Control Plan 2011 (MDCP2011)

The MDCP 2011 provides guidance for all properties within the Maitland Local Government Area. Part C.4 of the MDCP 2011 addresses ***Heritage Conservation*** and the relevant controls have been extracted below.

C.4 General Provisions	
Requirements	Analysis
<p>General Requirements:</p> <p>The content and range of issues to be addressed in a development application will depend on the heritage significance of the site and the impact the proposed development is likely to have. As a general rule, the greater the significance of the item or the potential impacts of the proposal, the more detail should be provided.</p> <p>(a) Plan details:</p> <p>In addition to the standard requirements for all development applications (such as the preparation of a site plan) the following additional plan details should be shown where work is proposed on a heritage item:</p> <p>Plans, sections and elevations - drawn to scale, showing the extent of the proposed works by colouring or hatching. These drawings should show how the alterations or additions will affect existing buildings, structures and features, and must include a schedule of external finishes, materials and colours.</p> <p>1. Development Process</p> <p>1.1 Heritage Impact Statement (HIS): Clause 5.10(5) in the Maitland LEP 2011 provides for a consent authority to request the preparation of a Heritage Impact Statement (HIS) to assist in the assessment of a development application.</p> <p>1.2 Heritage Conservation Management Plan (CMP): Clause 5.10(6) in the Maitland LEP 2011 provides for a consent authority to further require the submission of a Heritage Conservation Management Plan before granting consent to the</p>	<p>All documentation required by the DCP is provided as part of the development application.</p>

C.4 General Provisions

application, where the findings from the HIS warrant this additional conservation outcome.

1.3 Character Assessment: A Character Assessment is required where, in the opinion of Council, the proposed works do not warrant the preparation of a formal HIS. A Character Assessment may be prepared by the applicant/owner.

1.4 Engineering Assessment: An Engineering Assessment will be required where it is asserted that the works proposed to a heritage item are required because part or all of the item is beyond repair or unstable. Works include alterations and additions to, and partial or total demolition of, a heritage item.

1.5 Schedule of Works: A Schedule of Works will be required for any alterations and additions to a heritage item. The Schedule of Works must itemise the proposed work to the item, cross-referenced to appropriate drawings, and include a schedule of external finishes, materials and colours.

1.6 Archaeological Assessment: An Archaeological Assessment will be required with a development application for any proposal which will disturb the surface of an Archaeological Site or Potential Archaeological Site.

1.7 Archival or Photographic Record: An Archival or Photographic Record may be required to document the existing structure if part or parts of the heritage item are proposed to be altered.

1.8 Historic Photographs or drawings: Historic photographs or drawings may be required, where available, particularly when the intention is to restore the item back to its former or original state.

C.4 General Provisions	
1.9 Other specialist reports: Other specialist reports may be required for particular proposals (e.g. historian).	
Controls	Analysis
<p>3.1 Sympathetic Design</p> <p>a. An alteration or addition must consider the characteristics of the existing building, and buildings in the surrounding area, and sit comfortably in this context.</p> <p>b. New work should generally not precisely mimic the design and materials of the building, but be recognisable as new work on close inspection.</p> <p>c. Mock historical details should not be applied as they will not be of any heritage value themselves, and can confuse our understanding between the 'new' and the 'old'.</p> <p>d. Alterations and additions should blend and harmonise with the existing building in terms of scale, proportion and materials.</p> <p>e. Alterations and additions should not require the destruction of important elements such as chimneys, windows and gables.</p> <p>3.2 Siting, Setback & Orientation</p> <p>a. Generally alterations or additions should occur at the rear of the existing building to minimise visual impact on the street frontage of the building, particularly where the additions and alterations involve a listed heritage item or a building which contributes to the heritage character of the Conservation Area.</p>	<p>Sympathetic Design</p> <p>The proposed development has been designed with heritage advice that is based on the understanding of the history and significance of the heritage item. The proposal, which retains the original significant form and fabric associated with the site, ensures the retention and reinforcement of the attributes that contribute to the heritage significance of the item. The proposed additions have been designed to sympathetically respond to the significance of the heritage item as well as the character of the surrounding area.</p> <p>The proposed development does not involve the destruction of important elements, including chimneys, windows or gables within the original dwelling.</p> <p>Siting, Setback & Orientation</p> <p>The proposed additions will be located at the rear of the dwelling and will not alter the appearance of the site from the street.</p> <p>The proposed works do not include side additions.</p>

C.4 General Provisions

<p>b. Side additions should not compromise the ability for driveway access to the rear of the block.</p> <p>c. No new structures should be built forward of an established building line.</p> <p>d. An adequate area around the building including landscaping, fencing, and any significant trees should be retained.</p> <p>e. Larger additions can be successful when treated as a separate entity to retain the character of the original building in its own right.</p> <p>f. Front and side setbacks should be typical of the spacing between buildings located in the vicinity of the new development.</p> <p>g. The orientation pattern of buildings existing in the area should be maintained.</p> <p>h. Rear additions are generally best stepped back from side building lines.</p> <p>i. Where the wall of an existing residential building in a Conservation Area is located less than 900mm from a side boundary, additions may be permitted to be constructed at the same setback as the principal building only where:</p> <ul style="list-style-type: none"> i. they are small in scale and no greater than 20% of the existing building floor area; ii. there is no overhang of any part of the addition over the adjoining property; iii. there are no significant impacts on solar access to the adjoining property; iv. access for maintenance of the side wall of the addition can be provided wholly within the property boundaries. <p>j. An addition must be constructed in accordance with the National Construction Code of Australia including</p>	<p>The proposed works do not include new structures forward of the established building line.</p> <p>An adequate area, including landscaping, fencing and significant trees will be retained.</p> <p>The proposed addition is significantly smaller in size than the existing structure and will not detract from the character of the original building.</p> <p>The proposed works will not alter the existing front or side setbacks of the item.</p> <p>The proposed works will not alter the orientation pattern of the item.</p> <p>The rear proposed additions are stepped back from the side building line.</p> <p>Not applicable – the walls of the existing residential building are not less than 900mm from the side boundaries.</p>
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C.4 General Provisions

requirements relating to fire safety, structural stability and termite resistance.

k. Any addition greater than 20% of the existing building floor area must be not less than 900mm from the side boundary and comply with the above.

l. Extensions to the side elevation will not be appropriate if they alter established patterns of building and garden.

m. Additions to the side of a building should not remove or sever car access to the rear, where it is not sympathetically provided elsewhere.

n. Archaeological evidence should not be disturbed without consultation with Council and, where required, approval of Heritage NSW.

o. Where there has been known building sections which have been removed, and the building fabric has been substantially altered such that only its position on the site maintains its original context, further alterations which remove footprint evidence may not be appropriate.

3.3 Size & Scale

a. An alteration or addition should not be of a size or scale which overwhelms or dominates the existing building, substantially changes or destroys its identity or changes its contribution and importance in its surrounds.

b. New uses should be chosen which suit the size of the building, not requiring overwhelming changes.

3.4 Roof Form and Shapes

a. Roofs of extensions should be carefully designed so that they relate to the existing roof in pitch, eaves and ridge height.

The proposed works are more than 900mm from the side boundary.

The proposed rear addition will not alter established patterns of building and garden.

The proposed additions will not remove or sever car access to the rear.

No known building sections have been removed.

Size & Scale

The single storey addition will be located at the rear of the dwelling, behind the original roof. The addition will be contained within a skillion roof form to ensure that its height is minimised and the addition will not be visible from the street. The single storey scale of the dwelling, as it presents to the street, will remain unchanged.

Roof Form and Shapes

The roof of the proposed addition will be detached from all original roofing of the heritage item and has been designed to sit behind the original roof form. Its skillion form will read as a new element while being submissive in nature to original work.

C.4 General Provisions

- b. Additional rooms can be added to heritage buildings appropriately where roof forms have been carefully integrated into the existing.
- c. If it is important that the roof form remains unaltered, additional rooms can be added in a detached pavilion form placed at the rear or possibly the side. Roof pitch, ridge height, height of parapet and eaves on additions should relate to those of the original building.
- d. Providing the roof space is large enough, attic rooms should be contained in roof forms for non- – habitable uses such as a study or a library. The volume required for habitable uses such as bedrooms may mean unacceptable alteration to roof form.
- e. New roof elements such as dormer windows and skylights should not be located where they are visually prominent.
- f. Chimneys should be retained.
- g. Service utilities such as water heaters, air conditioning units, antennae, satellite dishes must not be located on the principal elevations of buildings.
- h. Use of roof materials should be the same as materials on the existing heritage building and those typically used in the Conservation Area.

3.5 Materials and Colours

3.5.1 General:

- a. Traditional combinations of materials used in heritage buildings should be considered when designing additions.
- b. It may not be appropriate or necessary to replicate the original combination of materials used in the original work. The use of a complementary material might make the increase in scale less noticeable and also enhance later understanding of the changes.
- c. The use of highly reflective materials should be avoided.

The roof of the proposed addition will not be visible when the dwelling is viewed from the street.

The proposed additions do not include habitable attic space.

The proposed additions do not include dormer windows. Skylights are proposed for the laundry, which is located in an existing, but not original, part of the building, and the new skillion roof over the kitchen. Both skylights are located at the rear and will not be visually prominent.

The proposed additions include the retention of all existing chimneys.

The proposed additions do not locate service utilities on the principal elevations.

The proposed roofing material for the additions will be sheet metal, to match the existing heritage item.

Materials and Colours

The proposed materials are weatherboard cladding and sheet roof and are consistent with the existing heritage item.

There is no proposed use of highly reflective materials.

C.4 General Provisions

3.5.2 Doors and Windows:

a. Timber windows should be retained in existing buildings. New doors and windows should be of materials characteristic to the existing building, locality or an approved alternative.

3.5.3 Roofing:

a. Original roof material should be matched in any addition in material and colour. If, however original roofing is expensive such as slate, corrugated iron is a suitable alternative to the rear.

b. Traditional stepped flashings, roof vents, gutter moulds, and rainwater heads should be used.

3.5.4 Brickwork:

a. New face brickwork should match the existing brick in colour and texture, and type of jointing and mortar colour.

b. Existing face brick or stone on heritage items or heritage buildings in a Conservation Area should remain unpainted and unrendered.

3.5.5 Imitation Cladding:

a. Timber board imitations are not acceptable for additions to heritage items or work visible from the street in Conservation Areas.

3.5.6 Colour Schemes:

a. Additions should employ colour schemes which do not detract from traditional colour schemes in the area. A number of good reference books on traditional colour schemes are available.

b. Colour schemes suitable to the period of the building should be used.

c. Unpainted brick or stone should remain unpainted.

3.5.7 Paving & Driveways:

Existing windows will be retained. One existing window in Bed 3 is damaged and requires repair. If the window is found to be incapable of repair, it will be replaced like-for-like replacement, using the same configuration and materials.

Proposed roof profile is to match existing. Colour as per Architectural drawings.

No face brickwork is proposed. New painted brickwork is proposed for the subfloor areas and the garage. The brickwork will be painted to match the colour of the house.

Proposed additions do not include timber board imitations.

Colour Schemes

The proposed colour scheme is consistent with a traditional colour scheme and has been developed in consultation with the heritage advisor.

The proposed colour scheme is appropriate for the period of the building.

C.4 General Provisions

- a. Preferred materials for driveways include wheel strips and gravel. Plain or stamped concrete should be avoided.
- b. Paired wheel strips over public footway areas are preferable to solid driveways.

3.6 Design of New Detail and Opening

- a. Alterations should avoid arbitrary changes to openings or other features which do not fit in with the symmetry or character of the original design.
- b. If the street front of the original building is symmetrical, the addition should avoid simply extending the original design across the addition.
- c. New detail and openings should be simple in character using colour and materials which complements the original fabric.

3.7 Evidence for Authentic Reconstruction

- a. The reinstatement of a lost feature should faithfully replicate or copy the original in design, materials, arrangement and position.
- b. Reconstruction should be identifiable as new work without at the same time making it intrusive.

3.8 Removal of Unsympathetic Alterations & Additions

- a. Additions which are obviously out of character with the original design may be removed, whereas it may be preferable to retain well integrated additions or substantial alterations to the existing building.

3.9 Services and Technologies

- a. Exhaust vents, skylights, air conditioning ducts and units, solar panels, TV antennae and satellite dishes should not be visible on the main elevation of the building or attached to chimneys where they will be obvious.
- b. In heritage areas they should be hidden from view as much as possible.

The proposed works do not include the painting of unpainted brick or stone.

Paving & Driveways

The proposed driveway incorporates wheel strips and is proposed to have a gravel finish.

Design of New Detail & Opening

The proposed additions do not make arbitrary changes to the existing openings within the original buildings. The infill of two external doors within the two rear bedrooms are not located within the original dwelling. The closing of both openings with cladding to match existing is an acceptable change to allow a cohesive floorplan with internally accessible bedrooms.

Evidence for Authentic Reconstruction

There is no evidence of original features having been removed or lost.

Removal of Unsympathetic Alterations & Additions

The proposed works include the removal of unsympathetic additions at the rear of the dwelling, including a bathroom and attached WC.

Services and Technologies

No service or technology units included within the proposed works will be visible on the main elevation of the building or attached to chimneys.

C.4 General Provisions

c. Essential changes to cater for electrical wiring, plumbing or other services should be limited to what is essential to permit the new use to proceed.

3.10 Landscaping

a. When designing new gardens, reference should be made to surviving plants which indicate the basic garden structure and can be worked into new designs.

b. When selecting suitable trees, the following should be considered: the varieties that already exist in the area; the size of the tree when mature; the potential of the chosen species to interfere with services, retaining walls and other structures.

c. Many heritage garden reference books are available to explain typical settings for houses of different styles and periods.

d. Hard surfaces should be kept to a minimum.

e. Screening of hard surfaced areas is encouraged.

f. Garden structures should be appropriate to main buildings in terms of scale, style and materials.

g. Original surfaces such as close jointed brick paving or stone flagging common to Victorian and Federation sites, and pebble aggregate, quarry tile or mosaic tile aprons common to later Californian Bungalow styles should be retained.

3.11 Fences

a. Original fences should be retained.

b. Fences should be located on the building line.

c. Fences should be simple with a level of detail comparable with the house.

d. Fencing should generally be open or transparent, or backed with a hedge, not solid.

e. Fences should be of a scale comparable with the street.

All services and technologies will be hidden from view as much as possible. Essential changes for the purposed of utilities will be limited to what is essential.

Landscaping

No existing significant trees will be removed as part of the proposed works. The driveway has been carefully designed to allow the retention of a mature camelia.

The proposed works include a driveway for vehicular access to the proposed garage, and a brick paved patio area at the rear of the house to replace an existing brick paved area. The combined hard surface areas are modest in size and kept to a minimum.

The proposed works do not include the removal of original brick paving or stone flagging.

Fences

The proposed works do not include alteration or replacement of existing fences.

C.4 General Provisions

f. Front fences should be of materials characteristic to the surrounding area, particular to the street and suitable to the era of the house. Examples include timber picket, low masonry and hedges.

g. Plain or colour treated metal fences are not considered to be appropriate for Conservation Areas or Heritage Items on any street frontage or side boundary.

3.12 Garages, Carports & Sheds

Garages and carports should preferably be detached and located at the rear or set well back at the side of a building behind the rear building line.

b. Garages should be set back a minimum of 500mm from the side and the rear boundary.

c. Garages and carports should make reference to any established historic patterns in the street.

d. The use of landscaping such as screening or planting and front fences may be useful tools in integrating the structure with its site.

e. If connected to the main dwelling, garages should be positioned well behind the principle building line (ie 5m) or be positioned behind the dwelling.

f. Colours and materials should blend into the surrounding landscape. Custom orb iron roof profile and timber board profile cladding wall are common materials used.

g. Garages should have simple hipped, gable or skillion roofs depending on the design of the existing main building.

h. Gable or hipped roof with skillion roofed attachment is the most appropriate double garage roof form.

i. Existing outbuildings should be maintained and reused wherever possible.

Garages, Carports & Sheds

The proposed works include a detached garage set well back at the side of the building, behind the rear building line of the original heritage item.

The proposed garage is more than 500mm from the side and rear boundary.

The location of the proposed garage is consistent with the established patterns in the street.

The proposed garage will not be connected to the main dwelling.

The colours and materials of the proposed garage will blend into the surrounding landscape with use of brick veneer construction and corrugated iron gable roof consistent with the existing dwelling. The brickwork will be painted cream.

The proposed garage will have a dual gabled roof to match the design of the existing dwelling. The scale and massing of the garage has been minimised by its articulation into two hipped roofs

C.4 General Provisions

- j. Simple open light construction carports are preferable to solid heavily detailed buildings.
- k. Tennis courts should not be sited so as to intrude on the setting of the main building. They will almost always be best located to the rear of the main building.
- l. The pitch of a garage or carport roof should, in most cases, be comparable or slightly lower than that of the main building – generally 25° – 30°.

The existing shed in the location of the proposed garage is an intrusive element and will be removed. The existing outbuilding containing the laundry and store is to be modified for reuse as an outdoor dining space. The retention of the external form will allow it to be understood as an early outhouse.

The proposed garage is a simple and submissive construction in terms of design, materiality and location so as not to visually compete with the existing heritage item.

The pitch of the gable roofs of the proposed garage is lower than that of the main building.

5.4 Summary Statement of Heritage Impact

The proposal is for alterations and additions to the existing single-storey Victorian Georgian cottage which is listed as heritage item within Schedule 5 of the MLEP 2011. The proposal involves alterations and additions to the existing dwelling. The proposed works include the consolidation of non-original spaces and a single storey addition at the rear of the existing dwelling. The addition is to be concealed behind and below the original roof form. Works also include an addition to an existing rear bedroom to create a wardrobe and ensuite bathroom. Two new small internal staircases will provide internal access to the existing bedrooms located in the elevated side wings, with the existing external access to the two bedrooms from the side verandahs to be infilled with cladding to match the house. The proposed interior works include the conversion of the existing kitchen to a bathroom and laundry. The proposal also includes the partial demolition the existing outbuilding, the demolition of an existing detracting concrete block shed and construction of a twin hipped roof brick garage with attached storeroom at the rear of the property.

The proposed development has been designed with heritage input throughout the design process, and with regard to the relevant heritage provisions in MLEP 2011 and MDCP 2011. The proposal is consistent with Council's controls in relation to alterations and additions to heritage items. The original, significant form and setting will be retained as viewed from Carrington Street. The rear addition is located behind the main roof, with a skillion roof so that it will not be visible from the street. No works are proposed to the front facade of the house and its significant external form and features. The modification of the external outhouse to create an outdoor living space while keeping its external form retains its ability to be understood as an early outhouse. Internal works have generally been located in areas that have already changed, and internal primary rooms and original elements will remain intact and unaltered. Conservation and repair works to the original fabric will be undertaken as necessary, in accordance with the Schedule of Works.

The addition has been designed with a clearly contemporary form and neutral colour palette in order to distinguish it as new work and in accordance with Burra Charter principles. The setback of the addition is such that it will not be visible from Carrington Street. The proposed

CONCLUSION



6. Conclusion

The proposed development has been designed with heritage input throughout the design process, and with regard to the relevant heritage provisions in MLEP 2011 and MDCP 2011. The proposal is consistent with Council's controls in relation to alterations and additions to heritage items. The original, significant form and setting of the heritage will be retained as viewed from Carrington Street. Original fabric and features will be retained and conserved, with change generally limited to areas that have already been altered.

The rear addition is located behind the main roof, with a skillion roof so that it will not be visible from the street. No works are proposed to the front facade of the house and its significant external form and features. The modification of the external outhouse to create an outdoor living space while keeping its external form retains its ability to be understood as an early outhouse. Internal works have generally been located in areas that have already changed, and internal primary rooms and original elements will remain intact and unaltered. The proposed garage is located behind the rear alignment of the heritage listed house and replaces a detracting concrete block structure.

The addition has been designed with a clearly contemporary form and neutral colour palette in order to distinguish it as new work and in accordance with Burra Charter principles. The setback of the addition is such that it will not be visible from Carrington Street. The proposed addition will not alter the scale of the heritage item when viewed from the street, nor will it alter the established scale of the streetscape.

In conclusion, the proposed development will not result in any adverse impacts on the significance or setting of the heritage item or the heritage items in the vicinity and is consistent with the heritage controls within the MLEP 201 and MDCP 2011.

Should the application be approved, it is recommended that Council apply its standard conditions of consent relating to heritage.



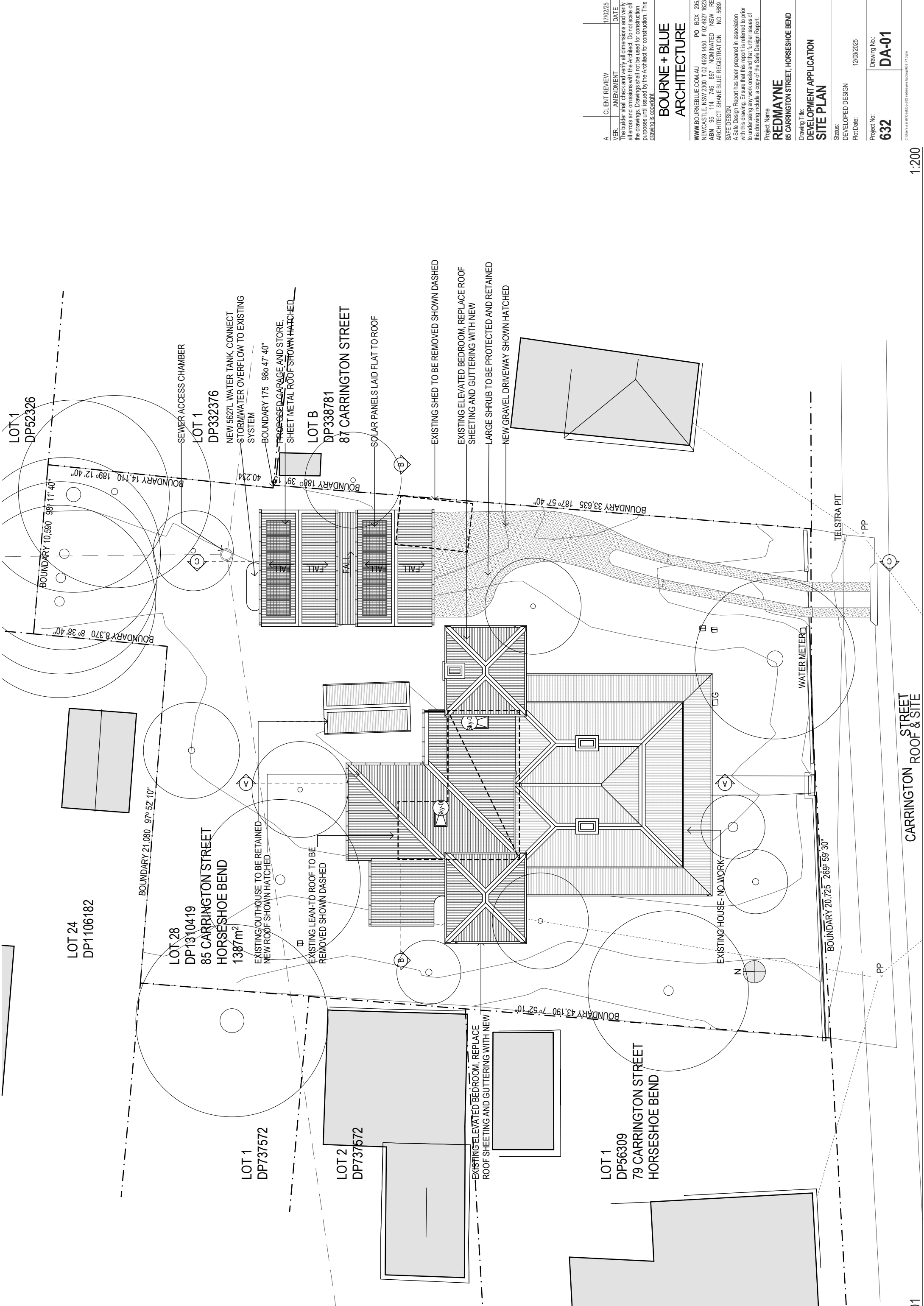
List of Appendices

Appendix A – Architectural Drawings

Appendix B – State Heritage Inventory Datasheet for 85 Carrington Street

Appendix C – Schedule of Works

Appendix A



A	CLIENT REVIEW	17/02/25
VER	AMENDMENT	DATE
The builder shall check and verify all dimensions and verify all errors and omissions with the Architect. Do not scale off the drawings. Drawings shall not be used for construction purposes until issued by the Architect for construction. This drawing is copyright.		

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ARCHITECT SHANE BLUE REGISTRATION NO. 5689

SAFE DESIGN
A Safe Design Report has been prepared in association with this drawing. Ensure that this report is referred to prior to undertaking any work on site and that further issues of this drawing include a copy of the Safe Design Report.

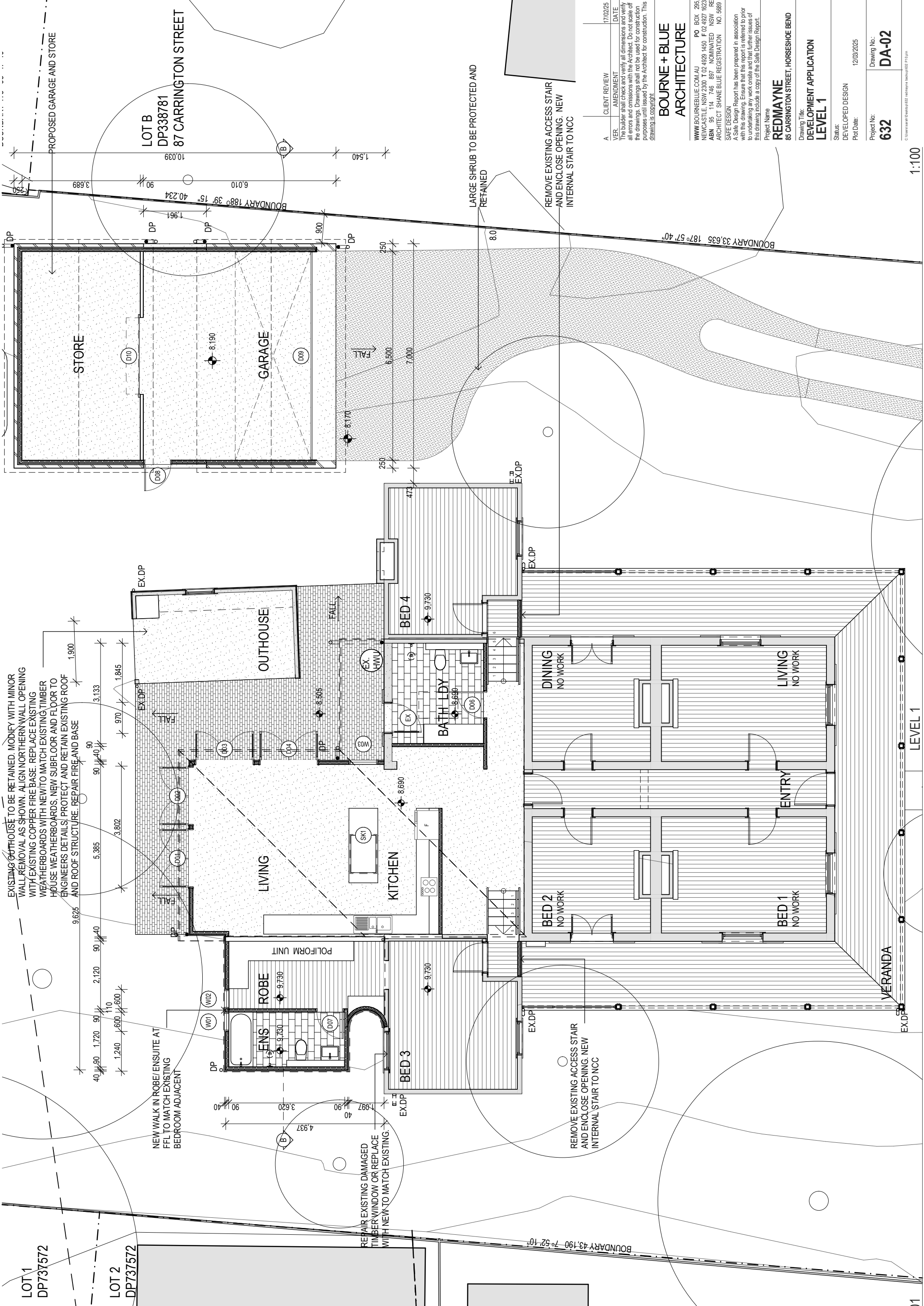
Project Name
REDMAYNE
85 CARRINGTON STREET, HORSESHOE BEND

Drawing Title:
DEVELOPMENT APPLICATION
SITE PLAN

Status:
DEVELOPED DESIGN
Plot Date: 12/03/2025

Project No.:
632
Drawing No.:
DA-01

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A	CLIENT REVIEW	17/02/25
VER	AMENDMENT	DATE
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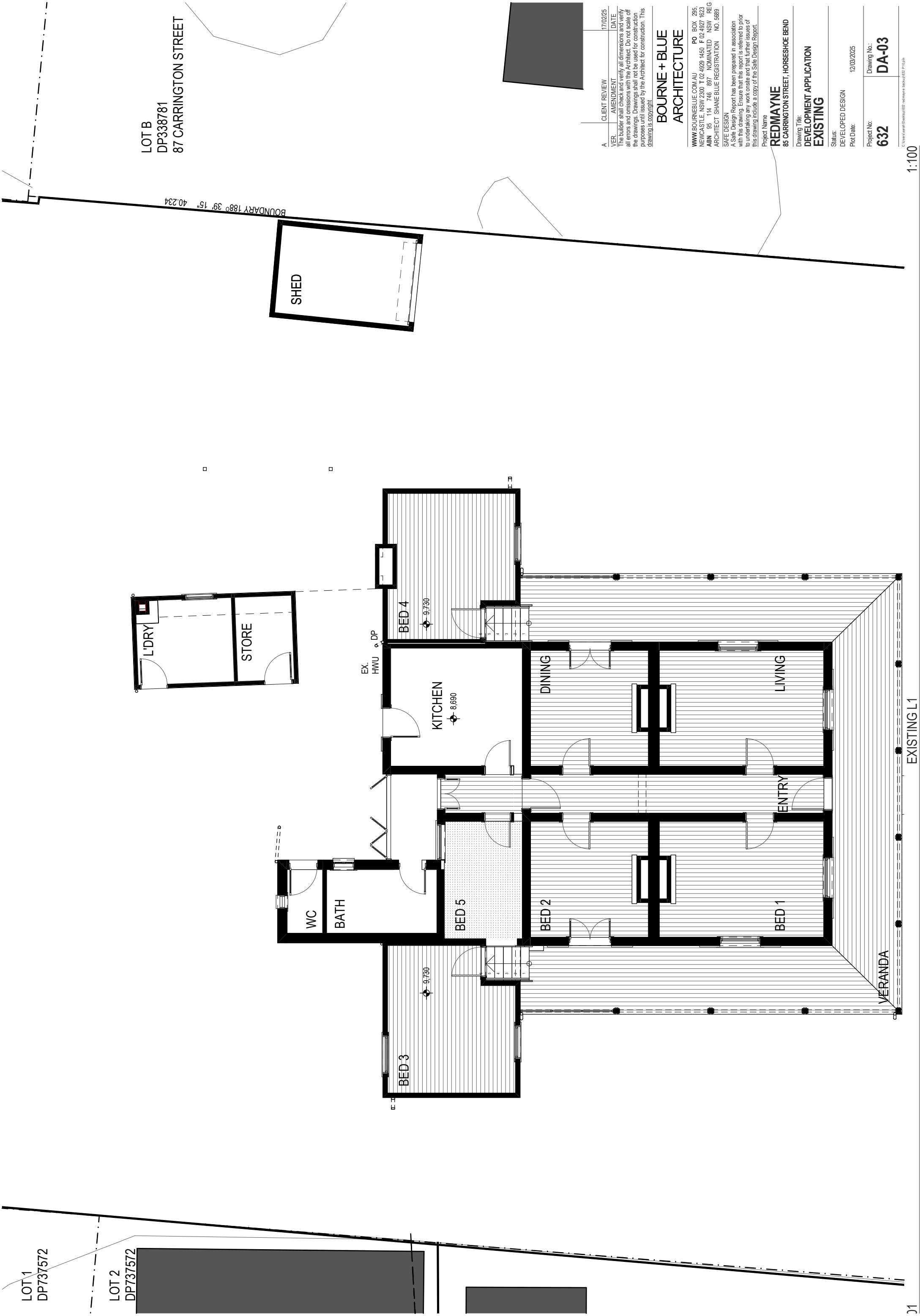
Project Name
REDMAYNE
85 CARRINGTON STREET, HORSESHOE BEND

Drawing Title:
**DEVELOPMENT APPLICATION
LEVEL 1**

Status:
DEVELOPED DESIGN
Plot Date: 12/03/2025

Project No.:
632
Drawing No.:
DA-02

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A	CLIENT REVIEW	17/02/25
VER.	AMENDMENT	DATE
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Project Name
REDMAYNE
85 CARRINGTON STREET, HORSESHOE BEND

Drawing Title:
DEVELOPMENT APPLICATION
EXISTING

Status:
DEVELOPED DESIGN
Plot Date: 12/03/2025

Project No.:
632
Drawing No.:
DA-03

REMOVE EXTERNAL/ INTERNAL WALLS TO
OUTHOUSE AS SHOWN DASHED. REMOVE
EXISTING FC WEATHERBOARDS. REMOVE
ALL SUBFLOOR/ FLOORING. PROTECT TIMBER
WALL FRAMING DURING CONSTRUCTION.

EXISTING WC/ BATHROOM TO BE
DEMOLISHED SHOWN DASHED

REMOVE EXISTING ROOF TO AREA
SHOWN DASHED

NEW OPENING TO EXISTING WALL
SHOWN DASHED

REMOVE EXTERNALLY ACCESSIBLE
STAIR SHOWN DASHED

EXISTING SHED TO BE DEMOLISHED
SHOWN DASHED

REMOVE EXTERNALLY ACCESSIBLE
STAIR SHOWN DASHED

LOT B
DP338781
87 CARRINGTON STREET

BOUNDARY 188° 39' 15" 40.234

SHED

BED 3

BED 5

KITCHEN

BED 4

BED 2

DINING

BED 1

LIVING

ENTRY

VERANDA

A CLIENT REVIEW 17/02/25

VER AMENDMENT DATE

The builder shall check and verify all dimensions and verify all errors and omissions with the Architect. Do not scale off the drawings. Drawings shall not be used for construction purposes until issued by the Architect for construction. This drawing is copyright.

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SAFE DESIGN
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Project Name

REDMAYNE
85 CARRINGTON STREET, HORSESHOE BEND

Drawing Title:

DEVELOPMENT APPLICATION
DEMOLITION

Status:

DEVELOPED DESIGN

Plot Date:

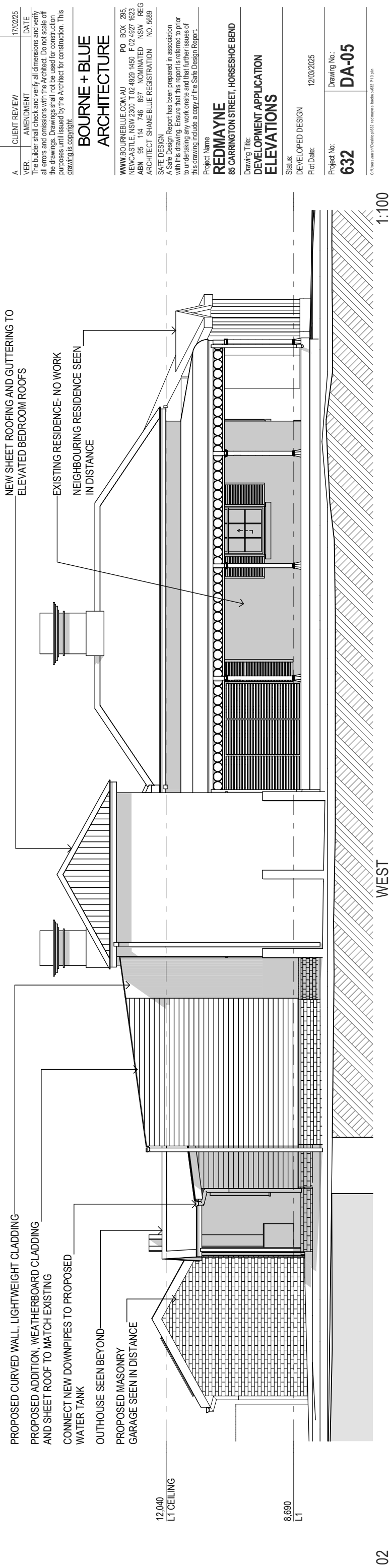
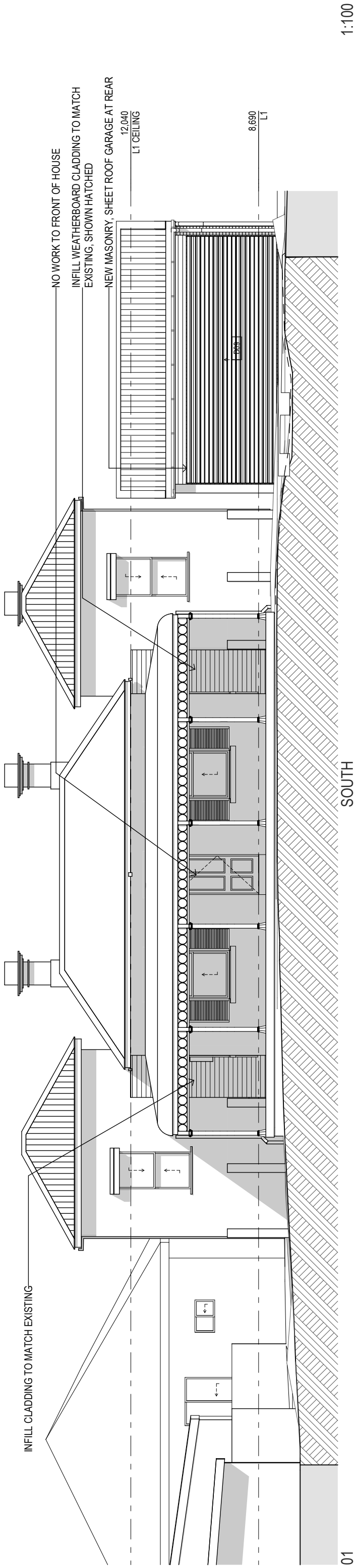
12/03/2025

Project No.:

632

Drawing No.:

DA-04



A	CLIENT REVIEW	17/02/25
VER.	AMENDMENT	DATE
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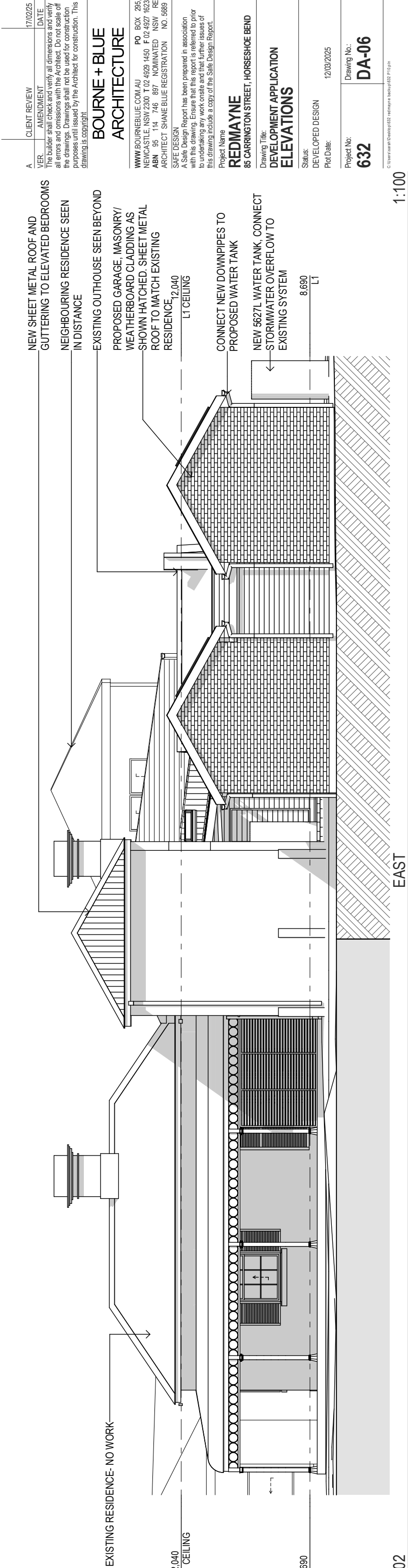
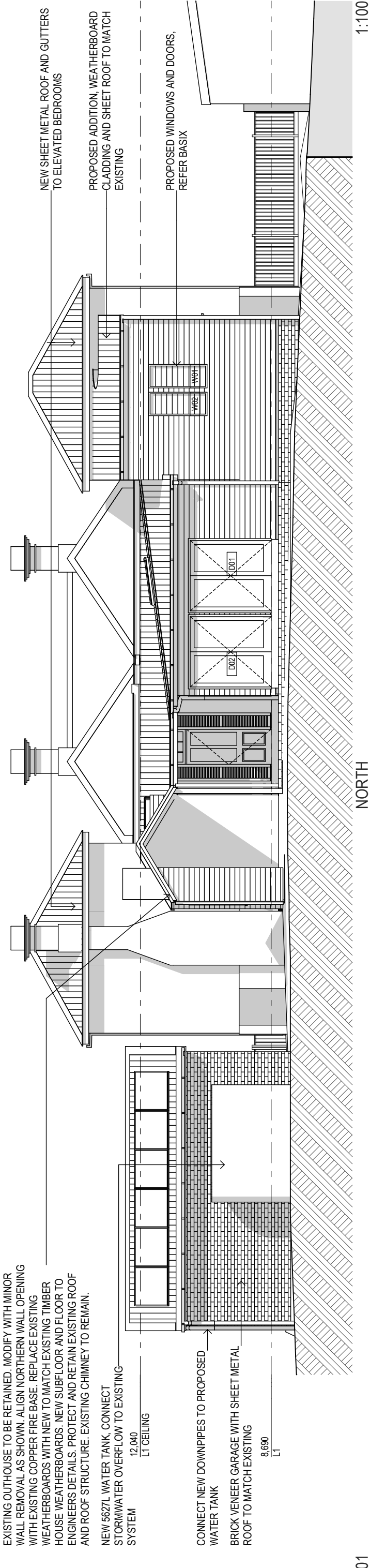
Project Name
REDMAYNE
85 CARRINGTON STREET, HORSESHOE BEND

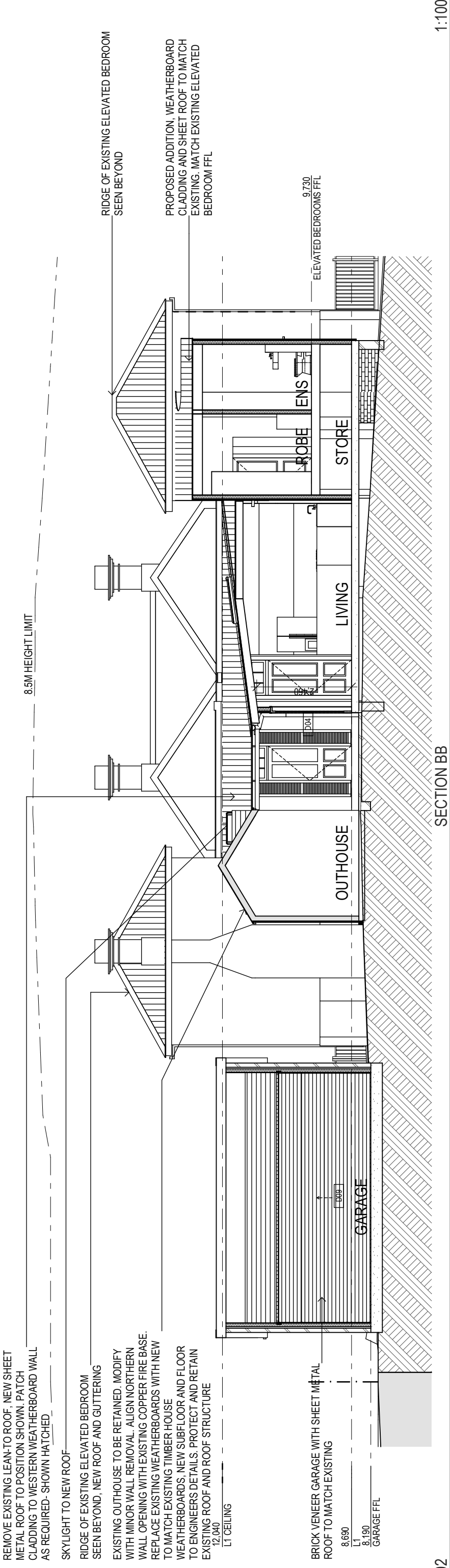
Drawing Title:
DEVELOPMENT APPLICATION
ELEVATIONS

Status:
DEVELOPED DESIGN
Plot Date: 12/03/2025

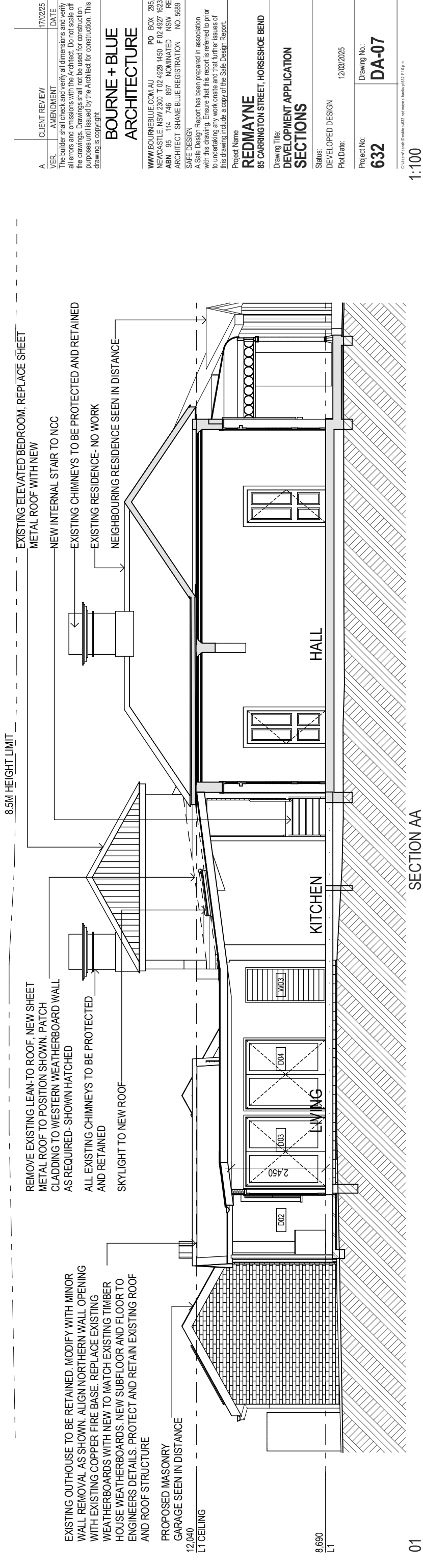
Project No:
632
Drawing No.:
DA-05

C:\Users\shane\OneDrive\632 redmayne\backlog\632 P11.gn





02



01

A	CLIENT REVIEW	DATE
VER.	AMENDMENT	17/02/25
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Project Name
REDMAYNE
85 CARRINGTON STREET, HORSESHOE BEND

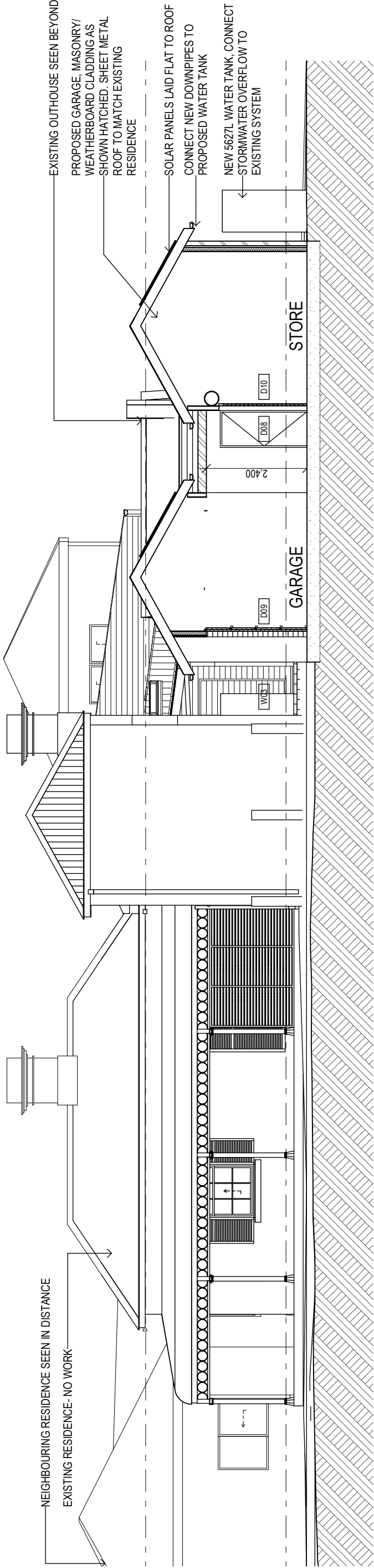
Drawing Title:
DEVELOPMENT APPLICATION
SECTIONS

Status:
DEVELOPED DESIGN
Plot Date: 12/03/2025

Project No:
632
Drawing No.:
DA-07

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8.5M HEIGHT LIMIT



Section C-C

1:100

A	CLIENT REVIEW	17/02/25
VER	AMENDMENT	DATE
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Project Name

REDMAYNE
85 CARRINGTON STREET, HORSESHOE BEND

Drawing Title:
**DEVELOPMENT APPLICATION
SECTIONS**

Status:
DEVELOPED DESIGN
Plot Date: 12/03/2025

Project No.:
632
Drawing No.:
DA-08

C:\Users\shane\OneDrive\632 redmayne\6-backup\632 P10.pptx



VER	AMENDMENT	DATE
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Project Name
REDMAYNE
85 CARRINGTON STREET, HORSESHOE BEND

Drawing Title:
DEVELOPMENT APPLICATION
COLOUR SELECTIONS

Status:
DEVELOPED DESIGN
Plot Date: 12/03/2025

Project No.:
632
Drawing No.:
DA-09



1:500



1:200



1:200

VER.	AMENDMENT	DATE
	The builder shall check and verify all dimensions and verify all materials and quantities against the drawings. Do not scale off the drawings. Drawings shall not be used for construction purposes until issued by the Architect for construction. This drawing is copyright	

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SAFE DESIGN
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Project Name
REDMAYNE
85 CARRINGTON STREET, HORSESHOE BEND

Drawing Title:
**DEVELOPMENT APPLICATION
NOTIFICATION**

Status: DEVELOPED DESIGN
Plot Date: 12/03/2025

Project No.: **632**
Drawing No.: **N-01**

Appendix B

Item Details

Name

Georgian house

SHR/LEP/S170

LEP #1993

Address

85 Carrington Street RUTHERFORD NSW 2320

Local Govt Area

Maitland

Local Aboriginal Land Council

Unknown

Item Type

Built

Group/Collection

Unknown

Category

Unknown

All Addresses

Addresses

Records Retrieved: 1

Street No	Street Name	Suburb/Town/Postcode	Local Govt. Area	LALC	Parish	County	Electorate	Address Type
85	Carrington Street	RUTHERFORD/NSW/2320	Maitland	Unknown			Unknown	Primary Address

Significance

Statement Of Significance

Historic: Record of early Victorian period of town's growth of workers housing in Horseshoe Bend area. Aesthetic: Intact example of Victorian Georgian cottage style representative and townscape value.

Criteria a)

Historical Significance

Record of early Victorian period of town's growth of workers housing in Horseshoe Bend area.

Criteria c)

Aesthetic/Technical Significance

Intact example of Victorian Georgian cottage style representative and townscape value.

Criteria g)

Representative

This item has representative value.

Integrity/Intactness

This item has integrity value.

Owners

		Records Retrieved: 0
Organisation	Stakeholder Category	Date Ownership Updated
No Results Found		

Description

Designer Builder/Maker

Physical Description

Updated

Style: Victorian Georgian. Exterior: Brick. Single storey symmetrical house, verandahs on sides, bullnose iron roof and hipped iron roof to main structure, large windows with shutters, tall Victorian chimneys.

Physical Condition

Updated

Modifications And Dates

Later additions to rear, verandah floor renewal.

Further Comments

Current Use

Former Use

Listings

Listings

		Records Retrieved: 3			
Heritage Listing	Listing Title	Listing Number	Gazette Date	Gazette Number	Gazette Page
Heritage study		1994		1	0127
Local Environmental Plan	Maitland Local Environmental Plan 2011	I94	12/16/2011 12:00:00 AM		
Local Environmental Plan		1993	9/3/1993 12:00:00 AM	098	0127

Procedures/Exemptions

Records Retrieved: 0

Section of Act	Description	Title	Comments	Action Date	Outcome
No Results Found					

History

Historical Notes or Provenance

Updated

Historic Themes

Records Retrieved: 1

National Theme	State Theme	Local Theme
4. Settlement	Towns, suburbs and villages	Unknown

Recommended Management

Management Summary

Management

Records Retrieved: 0

Management Category	Management Name	Date Updated
No Results Found		

Report/Study

Heritage Studies

Records Retrieved: 2

Report/Study Name	Report/Study Code	Report/Study Type	Report/Study Year	Organisation	Author
Maitland Heritage Survey Review			1994		Brian McDonald and Associates
Maitland Heritage Survey Review			1994		Brian McDonald & Associates

Reference & Internet Links

References

Records Retrieved: 0

Type	Author	Year	Title	Link
No Results Found				

Data Source



The information for this entry comes from the following source:

Data Source	Record Owner	Heritage Item ID
Local Government	Maitland City Council	2000273

Every effort has been made to ensure that information contained in the State Heritage Inventory is correct. If you find any errors or omissions please send your comments to info@maitland.nsw.gov.au

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Appendix C

SCHEDULE OF WORKS

PROPOSED ALTERATIONS 85 CARRINGTON STREET, HORSESHOE BEND

10th March 2025

ENTRY HALL

No work

BED 1

No work

LIVING ROOM

No work

BEDROOM 2

No work

DINING ROOM

No work

STAIR ACCESS WAY- (previously bed 5)

Floor: Existing floor to be removed (new concrete slab)

Walls: Existing walls to be retained to be patched where necessary and new paint finish. Walls/ windows/ doors to be removed shown on Architectural plans.

Timber trims: Protect and retain during construction- no proposed works to clear finished timber. New paint to existing painted surfaces.

Ceiling/ cornice Existing roof/ ceiling demolished as part of works. New framed roof with painted plasterboard finish

BED 3

Floor: Sand and polish existing timber floor

Walls: new paint finish, minor patch work if any required.

Doors/ timber trims: Protect and retain during construction- no proposed works to clear finished timber. New paint to existing painted surfaces including windows.

Ceiling/ cornice: new paint finish.

BED 4

Floor: Sand and polish existing timber floor

Walls: new paint finish, minor patch work if any required.

Doors/ timber trims: Protect and retain during construction- no proposed works to clear finished timber. New paint to existing painted surfaces including windows.

Ceiling/ cornice: new paint finish.

BATH /LDY (previously kitchen)

Floor: Remove timber framed floor where affected by new wet area. New slab to bath/ ldy.

Walls: minor patch work if any required, waterproof to NCC, tile. Walls/ windows/ doors to be removed shown on Architectural plans.

Doors/ timber trims: Existing timber external door with highlight to be protected and retained. Internal door to be protected and retained as internal door in new position. New paint finish once installed in new position.

New roof/ ceiling with paint finish.

OUTHOUSE

Protect and retain existing timber wall framing (where not affected by wall removal as per the plans) Remove existing fibrecement weatherboards and replace with new timber weatherboards in profile to match existing timber residence weatherboards.

All subfloor/ flooring to be removed as it is in poor condition. New concrete slab. Protect and retain existing copper fire/ chimney- repair existing brickwork as required.

Protect and retain existing timber roof framing and sheet metal roof. Protect and retain existing timber window.

Remove any services no longer required. New paint finish to weatherboards, window and timber framing where currently painted.

EXTERIOR

Paint to existing two elevated bedrooms (all existing exterior painted surfaces)

The front portion of the residence where no planned work- will not be painted as part of this work, but will be updated to match the colour scheme as per the altered sections of the residence as the owner's discretion.