WALLACE INFRASTRUCTURE DESIGN PTY LTD

Prepared for

COMMERCIAL 7 PTY LTD
ATF COMMERCIAL 7 UNIT TRUST
34 WYNDELLA ROAD
LOCHINVAR NSW 2321

02 May, 2025

WATER & SEWER
SERVICING STRATEGY

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Important Note

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Document Status

Version	Purpose of Document	Orig	Review	Review Date
Ver.1	Preliminary Report	IM	AS	28 July, 2023
Ver.2.	Preliminary Report	IM	AS	01 February, 2024
Ver 3.	Preliminary Report (revised lot numbers)	DS	AS	29 April, 2025
Ver 4.	Preliminary Report (added Civil Plans)	DS	AS	02 May, 2025

Approval for Issue

Name	Signature	Date
Aaron Sanders	AS	02 May, 2025

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Terms and Abbreviations

AHD	Australian Height Datum
DA	Development Application
DN	Nominal Diameter
HWC	Hunter Water Corporation
RL	Reduced Level
WDG	Wallace Design Group Pty Ltd
WWPS	Wastewater Pump Station
WWTW	Wastewater Treatment Works

1.0 Introduction

Wallace Design Group Pty Ltd (WDG) has been engaged by COMMERCIAL 7 PTY LTD ATF COMMERCIAL 7 UNIT TRUST to prepare a water and sewer servicing strategy to support the future construction of a Manufactured Home Estate on Lot 225 DP246447 No.34 Wyndella Road, Lochinvar. This report addresses the provision of water and sewer services to the proposed development.

1.1 Location

The development site is Lot 225 DP246447 No.34 Wyndella Road, Lochinvar.

1.2 Development

The proposed development is the construction of 182 homes and 0.508 Ha of commercial area for Manufactured Home Estate connected to the Hunter Water Corporation (HWC) reticulated water and sewer systems.

1.3 Methodology

Hunter Water has been consulted as part of the Preliminary Servicing Advice Application, a servicing strategy proposal has been submitted with the aim of supplying with water and sewer services to the entire proposed development.

Hunter Water's Preliminary Servicing Advice Letter dated February 2024 has been received and added to Appendix 3.

2.0 Water

The proposed development is within the Maitland/Branxton Water Network and is supplied from the Lochinvar No.2 Reservoir. The closest adequate water connection point to the development is the DN300 CICL main which runs along the New England Highway to the South of the development site.

The lot does not have a frontage to an existing watermain and an extension of mains from the existing water supply system in the New England Highway will be required.

HWC has advised that the existing supply network and DN300 watermain has sufficient capacity to service the proposed development.

The existing network only has the capacity to supply the required pressures (minimum 20m) to **RL 52m AHD**. It is noted that available information indicates that elevations on the development site are above RL 70m AHD, therefore an internal booster pump will be provided to service the development above this level.

An extension of approximately 140m x 150mm watermain will be undertaken to provide a frontage to the development site.

A plan indicating the existing water infrastructure in the area and the HWC proposed watermain extension is attached at **Appendix 1.**

2.1 Design Water Demands

To estimate design flows, values from the Water Services Association of Australia (WSAA) Water Supply Code of Australia WSA03-2002-2.3 Hunter Water Edition Version 2.1 have been adopted. Theoretical loadings have been determined and are expressed in terms of equivalent tenements. An ET is the theoretical water demand for an average residential allotment. The criteria used to determine the theoretical water design flows are summarised below:

Residential

- Average Demand for new residential properties in the Maitland Council LGA - Units=130 kL/yr
- Average Day Demand (L/s) = 0.0042/ET
- Peak Day Demand (L/s) = ADD x PDD Factor x Diversity Factor
- Peak Day Factor – Domestic (Units) – 2.20
- Diversity Factor – 2.653 x $ET^{0.1067}$
- Extreme Day Demand (L/s) = PDD x 0.90
- Unaccounted Water = 15% of Average Day Demand

Design flows based on the potential lot yield are shown in **Table 1** below:

Table 1 Total Theoretical Water Loadings

Development Type	Estimated ET	Average Day Demand (l/s)	Peak Day Demand (l/s)	Unaccounted Water (l/s)
Manufactured Homes (equal to 182 units)	121	1.094	4.970	0.164
5,080sqm of Community Facilities	5	0.068	0.206	0.010
Construction of Homes	Fire Flows	N/A	10.00	N/A

3.0 Sewer

The proposed development is within the Farley WWTW sewer catchment area. HWC has advised that there is sufficient capacity in the WWTW to cater for the development.

The development site does not have a point of connection to the existing HWC sewer system. The nearest adequate point of connection is an existing 150mm sewer in Pennparc Drive adjacent to the boundary of the development site.

The existing sewers adjacent to the development site can be extended to provide a gravity point of connection to the lot. The proposed connection point would only partially drain the lot due to the topography of the site.

The construction of approximately 17m x 150mm sewermain connecting to the existing sewer system at MH between MS974 and MH J9436. The proposed point of connection would only drain a very small portion of the site and a private pump station will be provided to service the site.

A plan showing the existing sewer infrastructure and the proposed sewer infrastructure options is attached as **Appendix 2**.

It is noted that HWC advised that they are aware of future residential development to the West of Wyndella Road and when any development in this area proceeds it is likely that the development site would be provided with a gravity point of connection that would drain the entire site. The development would be required to decommission the private pump system and connect directly to the gravity main at that time.

The timing of the future works is unknown.

3.1 Design Sewerage Loading

Design flows for development have been estimated using values in the Water Services Association of Australia (WSAA) Sewerage Code of Australia Hunter Water Corporation Version 2.0 to determine theoretical loadings in equivalent tenements (ET). An ET is the theoretical sewage flow from an average residential lot.

The criteria used to determine theoretical sewer design flows are summarised below:

- Average Dry Weather Flow (ADWF) = 0.011l/s per ET
- Peak Dry Weather Flow (PDWF) = ADWF x ‘r’
- Storm Allowance = 0.058 l/s per ET (for gravity systems)
- Peak Wet Weather Flow (PWWF) = PDWF + SA

Note: ‘r’ factor is from an empirical relationship based on ET.

Table 2 Overall Sewer Loadings

Stage	Yield	ADWF	r	PDWF	SA	PWWF
	(ET)	(L/s)		(L/s)	(L/s)	(L/s)
Mobile Home Estate (equal to 182 units)	121	1.335	3.15	4.21	7.04	12.37
5,080sqm of Community Facilities	5	0.056	4.00	0.22	0.03	0.25

4.0 Developer Charges

HWC is reintroducing Developer Charges on 1 July 2024. The NSW Government has directed that developer charges will remain at 0% for financial year 2023-24, before a phased reintroduction at 25% in financial year 2024-25, 50% in financial year 2025-26, prior to full reintroduction from financial year 2026-27 onwards.

The draft developer charges for the Lochinvar area are listed below.

Water – $2,705/ET

Sewer - $2,086/ET

5.0 Conclusion

Based on the investigations conducted, it has been determined that the area possesses pre-existing water and sewer as well as electrical, and telecommunication infrastructure that can be extended to accommodate the proposed development. This infrastructure is deemed capable of adequately servicing each site within the manufactured home estate.

Hunter Water has confirmed that there is sufficient capacity in the local water supply network to service the proposed development. The preferred point of connection is the 300mm watermain along the New England Highway as shown on the water servicing plans in Appendix 1.

In addition, the local wastewater network can service the proposed development by connecting to the 225mm sewermain on Springfield Drive as shown on the water servicing plans in Appendix 2.

Please refer to Hunter Water's preliminary servicing letter in Appendix 3 for evidence of the confirmation of sufficient capacity for water and wastewater.

Appendix 1 Water Infrastructure

TITLE: MANUFACTURED HOME ESTATE
PROPOSED WATER

LOCATION: WYNDELLA ROAD
LOCHINVAR

DATUM: AHD
PROJECTION: MGA 56

DATE: 01/02/2024
PURPOSE: DUE DILIGENCE

VERSION (PLAN BY): IM

WALLACE INFRASTRUCTURE DESIGN PTY LTD (ABN 99 632 518 739)
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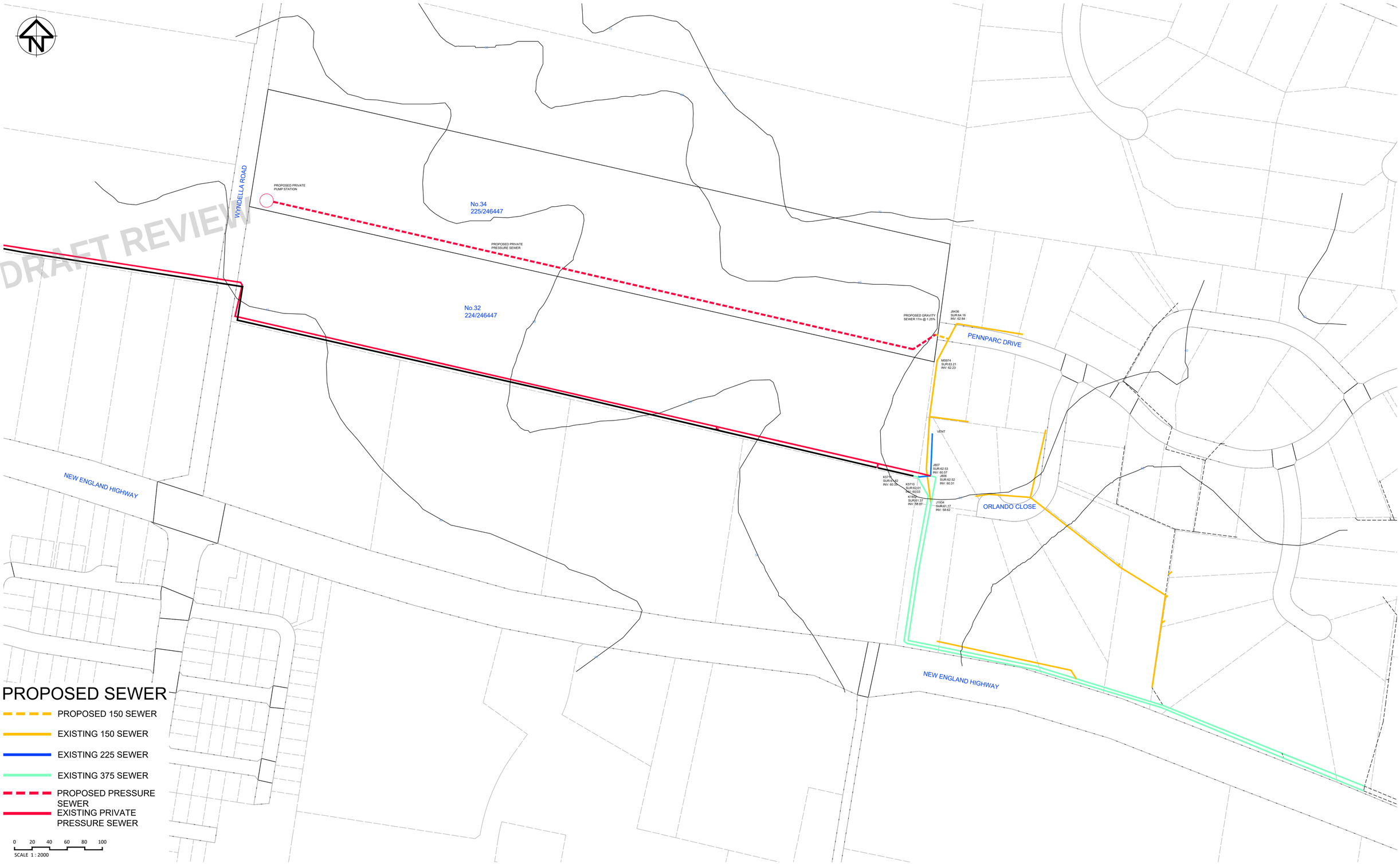
Appendix 2 Sewer Infrastructure



TITLE: MANUFACTURED HOME ESTATE
PROPOSED SEWER

LOCATION: WYNDELLA ROAD
LOCHINVAR

DATUM: AHD
PROJECTION: MGA 56

DATE: 01/02/2024
PURPOSE: DUE DILIGENCE

VERSION (PLAN BY): IM

WALLACE INFRASTRUCTURE DESIGN PTY LTD (ABN 99 632 518 739)
SUITE 1, 6 CHAPMAN STREET, CHARLESTOWN, NSW, AUSTRALIA, 2290
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Appendix 3 Hunter Water Preliminary Servicing Advice

Hunter Water Corporation
ABN 46 228 513 446

PO Box 5171
HRMC NSW 2310
36 Honeysuckle Drive
NEWCASTLE NSW 2300
1300 657 657
enquiries@hunterwater.com.au
hunterwater.com.au

26 February 2024

D T & G A HEIEN
C/- Wallace Infrastructure Design Pty Ltd
PO BOX 23
CHARLESTOWN NSW 2290

PRELIMINARY SERVICING ADVICE APPLICATION

Property Address:	34 WYNDELLA RD, LOCHINVAR NSW 2321
Lot & Plan number:	Lot 225 DP 246447
Development Description:	Preliminary Servicing Application for Development of Manufactured Housing
Hunter Water Reference:	2023-667

Hunter Water offers the following preliminary servicing advice for the provision of water and sewerage services for the development detailed above.

This advice is indicative only and based on Hunter Water's knowledge of its system performance and other potential developments in the area at the present time. This advice may change substantially over time due to a range of factors.

When you have development consent, you may submit a Development Application to Hunter Water. Hunter Water will then undertake detailed analysis of system capacity to determine the formal requirements for the development and then issue a Notice Letter.

Upon compliance with the Notice Letter, Hunter Water will issue of a Section 50 Compliance Certificate for the development.

Financial Requirements

A reimbursement contribution may be required towards the cost of any water and sewer infrastructure that is constructed by a third-party developer and utilised to serve this development. Reimbursements include GST and cannot be determined until the connection points are defined and a Development Application is submitted.

A Developer Charge is required to be paid

We are phasing in developer charges for water and wastewater services from 1 July 2023 (find out more here). For guidance, we have shown the charge for a single standard residential lot below. The final full developer charge for your development will be determined when a Development Application is submitted to Hunter Water.

Developer charges must be paid to Hunter Water prior to connecting to our networks. Further information on how developer charges are calculated is here.

Developer Charge Calculation Estimate

DSP Area	*DSP Charge*	***Calculation:*** *Utilisation (in ET) x DSP Charge/ET - Credit (if applicable) = Charge*
W.3: Maitland and Branxton Water Zone	*$2,666.02 per ET*	**1.00 ET** x DSP charge/ET = $2,666.02
S.10: Farley Wastewater Catchment	*$2,076.58 per ET*	**1.00 ET** x DSP charge/ET = $2,076.58
charge for a single standard residential lot for water and wastewater: $4,742.60		

Developer Charge Phased charges each Financial Year

Charges applicable each FY				
**The NSW Government has directed that developer charges will remain at 0% for financial year 2023-24, before a phased reintroduction at 25% in financial year 2024-25, 50% in financial year 2025-26, prior to full reintroduction from financial year 2026-27*				
	Charge applicable for period 01/07/23 - 30/06/24	Charge applicable for period 01/07/24 - 30/06/25	Charge applicable for period 01/07/25 - 30/06/26	Charge applicable for period 01/07/26 onwards
charge for a single standard residential lot for water and wastewater	$0.00	$1,185.65 *(plus CPI)*	$2,371.30 *(plus CPI)*	$4,742.60 *(plus CPI)*

Water Supply

There is sufficient capacity in the local water supply network to service the proposed development. The nominal water connection points for your development is the 300mm watermain along the New England Highway. You will need to extend watermains to provide the development site with a watermain frontage.

Please note, Hunter Water's network will not be capable of providing sufficient pressure for the higher elevations of the site and full firefighting coverage for the development. Also, a single supply connection will not provide security of supply in the event of a watermain failure.

Wastewater Transportation

There is sufficient capacity in the local wastewater network to service the proposed development. The nominal sewer connection points for your development is the existing 225mm sewermain in Springfield Drive.

You will need to engage the services of an Accredited Design Consultant to prepare a sewer servicing report to determine the overall servicing requirements for your development with reference to the WSAA Hunter Sewer Design Guidelines. The report will need to be submitted to Hunter Water for review and approval and assets should be then be designed and constructed in accordance with the report.

Delivery of Developer Works

Developer works will need to be delivered under Developer Works Deeds executed by the Developer and Hunter Water.

All developer works are to be designed by an Accredited Design Consultant and constructed by an Accredited Contractor.

Environmental Requirements

Hunter Water may require a Review of Environmental Factors (REF) to be submitted in accordance with the provisions of Environmental Planning and Assessment Act 1979 for the delivery of developer works. Hunter Water will assess the REF as a determining authority under provisions of Part 5 of the Act.

Entry Requirements

The proposed investigation works may require entry to another property. You will need to arrange for entry and have evidence of consent by way of a signed Entry Permit with the affected landowner.

These preliminary requirements are not commitments by Hunter Water and maybe subject to significant change prior to this development proceeding.

If you have any enquiries, please contact your designated assessment officer below.

Barry Calderwood – Account Manager Major Development
T: 02 4081 5826
E: barry.calderwood@hunterwater.com.au

Appendix 4 Civil Plan showing Development Layout & Lot number

CIVIL & STORMWATER WORKS for 34 WYNDELLA ROAD LOCHIVAR NSW 2321

WALLACE DESIGN GROUP

Prepared by
WALLACE INFRASTRUCTURE DESIGN PTY LTD

LOCATION PLAN
(NTS)

DRAWING NUMBER	DRAWING DESCRIPTION
C01.01	LEGEND, DRAWING SCHEDULE AND LOCATION PLAN
C02.01	GENERAL NOTES
C03.01	EROSION & SEDIMENTATION CONTROL PLAN
C03.02	EROSION & SEDIMENTATION CONTROL DETAILS
C04.01	GENERAL ARRANGEMENT PLAN
C04.02	BULK EARTHWORKS PLAN
C04.03	ROAD PLAN (1 OF 3)
C04.04	ROAD PLAN (2 OF 3)
C04.05	ROAD PLAN (3 OF 3)
C04.06	ROAD 1-8-2 AND 9 LONGITUDINAL SECTIONS (1 of 4)
C04.07	ROAD 1-8-2 AND 9 LONGITUDINAL SECTIONS (2 of 4)
C04.08	ROAD 1-8-2 AND 9 LONGITUDINAL SECTIONS (3 of 4)
C04.09	ROAD 1-8-2 AND 9 LONGITUDINAL SECTIONS (4 of 4)
C04.10	ROAD 6-2 AND 3 LONGITUDINAL SECTIONS (1 of 2)
C04.11	ROAD 6-2 AND 3 LONGITUDINAL SECTIONS (2 of 2)
C04.12	ROAD 4 AND 5 LONGITUDINAL SECTIONS
C04.13	NORTH-SOUTH ROAD AND VISITOR PARKING ACCESS DR. LONGITUDINAL SECTIONS
C05.01	EXISTING STORMWATER CATCHMENT PLAN
C05.02	DEVELOPED STORMWATER CATCHMENT PLAN
C05.03	STORM WATER MANAGEMENT PLAN (1 OF 3)
C05.04	STORM WATER MANAGEMENT PLAN (2 OF 3)
C05.05	STORM WATER MANAGEMENT PLAN (3 OF 3)
C06.01	SITE TYPICAL ROAD SECTIONS
C06.02	ON-SITE DETENTION BASIN No. 1 PLAN
C06.03	ON-SITE DETENTION BASIN No. 1 TYPICAL SECTIONS
C06.04	ON-SITE DETENTION TANK No. 2 PLAN
C06.05	ON-SITE DETENTION TANK No. 2 TYPICAL SECTIONS

ABBREVIATIONS

A/G	ABOVE GROUND
AGG	AGGREGATE
ARCH	ARCHITECT
ASP	ASPHALT
BM	BENCHMARK
CAD	COMPUTER AIDED DRAFTING
C-C	CENTRE TO CENTRE
CH	CHAINAGE
CI	CAST IRON
CJ	CONSTRUCTION JOINT
CL	COVER LEVEL or CENTRE LINE
CO	CLEAN OUT (SUBSOIL)
COG	CHANGE OF GRADE
CONC	CONCRETE
CTRL	CONTROL
CR	CROWN
CTS	CENTRES
D	DEPTH
DIA	DIAMETER
DP	DOWNPIPE
DRG	DRAWING
D/S	DOWN STREAM
DTM	DIGITAL TERRAIN MODEL
EB	EDGE BITUMIN
EX	EXISTING
ESL	EXISTING SURFACE LEVEL
FH	FIRE HYDRANT
FHR	FIRE HOSE REEL
FFL	FINISHED FLOOR LEVEL
FGL	FINISHED GROUND LEVEL
FSL	FINISHED SURFACE LEVEL
FW	FLOOR WASTE
GA	GENERAL ARRANGEMENT
GI	GALVANISED IRON
GFL	GARAGE FINISHED LEVEL
IC	INSPECTION CHAMBER
ID	INSIDE DIAMETER
IFC	ISSUED FOR CONSTRUCTION
IFCR	ISSUED FOR CLIENT REVIEW
IL	INVERT LEVEL
IO	INSPECTION OPENING
KIP	KERB INLET PIT
L	LENGTH
LP	LAMP POST (SURVEY)
MAX	MAXIMUM
MC	MASS CONCRETE
MH	MANHOLE
MIN	MINIMUM
MISC	MISCELLANEOUS
N	NORTH
NRV	NON RETURN VALVE
NTS	NOT TO SCALE
OD	OUTER DIAMETER
OF	OVERFLOW
OH	OVERHEAD
PP	POWER POLE
PPE	PERSONAL PROTECTIVE EQUIP.
PVC	POLYVINYLCHLORIDE
PV	PRESSURE VENT
PVP	PRESSURE VENT PIPE
QA	QUALITY ANALYSIS
QTY	QUANTITY
R	RADIUS
RC	REINFORCED CONCRETE
REV	REVISION
RL	REDUCED LEVEL
RW	RETAINING WALL
SFW	SEALED FLOOR WASTE
SL	SURFACE LEVEL
SMH	SEWER MANHOLE
SMV	SEWER MAIN VENT
SOD	SIDE OUTLET DRAIN
S/S	STAINLESS STEEL
STD	STANDARD
SV	STOP VALVE
SW	STORMWATER
SWP	STORMWATER PIT
THK	THICKNESS
TJ	TRAVERSE JOINT
TOW	TOP OF WALL
TW	TRADE WASTE
TYP	TYPICAL
U/G	UNDERGROUND
UNO	UNLESS NOTED OTHERWISE
U/S	UPSTREAM
VC	VITRIFIED CLAY PIPE
VP	VENT PIPE
VR	VERTICAL RISER
W	WIDTH
WC	WATER CLOSET
WL	WATER LEVEL
WM	WATER METER
WS	WASTE STACK

UNITS

mm	MILLIMETRES
cm	CENTIMETRES
m	METRES
m^2	SQUARE METRES
m^3	CUBIC METRES
L/s	LITRES PER SECOND
ha	HECTARES

LINETYPES & SYMBOLS

GENERAL
SITE BOUNDARY
CADASTRAL BOUNDARY
EASEMENT BOUNDARY

EXISTING FEATURES
CONTOURS
STORMWATER PIPE
STORMWATER PIT
ELECTRICAL CABLE - U/G
ELECTRICAL CABLE - O/H
EXISTING SEWER PIPE
EXISTING WATER
EXISTING WATER (HYDRANT)
EXISTING WATER (STOP VALVE)
EXISTING TELECOM
COMMUNICATIONS PIT
EXISTING GAS
EXISTING BUILDING
TREES / SHRUBS

PROPOSED - BUILDING (INDICATIVE ONLY)
DWELLING NUMBER — UNIT 01
FINISHED FLOOR LEVEL — FFL 5.00
BUILDING FOOTPRINT

PROPOSED - UTILITIES
SEWER
WATER
COMMUNICATIONS
COMMUNICATIONS - OPTIC FIBRE
COMMUNICATIONS PIT
GAS
ELECTRICAL CABLE - U/G
ELECTRICAL CABLE - O/H
REDUNDANT

PROPOSED - EROSION AND SEDIMENT CONTROL
SITE EXCLUSION FENCE
SEDIMENT FENCE
DIVERSION DRAIN
STABLISED SITE ACCESS
MATERIAL STOCKPILE
SLOPE DIRECTION
GEOTEXTILE INLET FILTER
MESH AND GRAVEL INLET FILTER
SANDBAG / HAY BALES

PROPOSED CONTOURS
MAJOR CONTOUR INTERVAL
MINOR CONTOUR INTERVAL

PROPOSED - STORMWATER
SW PIPE (INCL. DIA/GRADE/LENGTH) — ØXXXmm uPVC X.X% GRADE, X.XXm
SW PIPE - CHARGED (INCL. DIA/GRADE/LENGTH) — ØXXXmm uPVC CHARGE X.X% GRADE, X.XXm
SW PIT - GRATED / JUNCTION
SW - KERB INLET PIT (INCLUDING LINTEL)
RAINWATER/REUSE TANK — OR
GROSS POLLUTANT TRAP — GPT
GRATED DRAIN
INFILTRATION TRENCH
HEADWALL
SUBSOIL
SW SWALE
PIPE RISER — XX
PIPE DROPPER — XX
OVERLAND FLOW PATH
SW PIT NUMBER
SW CATCHMENT (NUMBER / AREA IN ha) — XX X.XXX

PROPOSED - CIVIL
CONCRETE
ASPHALTIC CONCRETE
SAND
EARTH
RIP RAP
BUILDING / STRUCTURES
TIMBER
BLOCK PAVERS
RETAINING WALL
KERB RAMP
VEHICULAR CROSSING
FENCE
BATTER
BOLLARD - TYPE 1 (FIXED) — B-T1
BOLLARD - TYPE 2 (REMOVABLE) — B-T2
LINEMARKING - CHEVRON
EXPANSION JOINT — EJ
TRAVERSE JOINT — TJ
CONTROL JOINT — CJ
FINISHED GRADE LEVELS — 25.758
EXISTING GRADE LEVELS — 25.710

AutoCAD Civil 3D 2021

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REV	DESCRIPTION	DATE	APPV'D	ENDO'D
D	LEC AMENDMENTS	01.05.25	K.B.	
C	COUNCIL AMENDMENTS - S34 OUTCOMES	28.11.24	K.B.	
B	COUNCIL AMENDMENTS - PREL S34	19.08.24	K.B.	
A	ISSUED FOR DA APPROVAL	02.02.24	K.B.	

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PROJECT:
CIVIL WORKS for
LOT 225, DP 246447
34 WYNDELLA ROAD
LOCHINVAR NSW 2321

DRAWING TITLE:
CIVIL SERVICES
LEGEND, DRAWING SCHEDULE AND LOCATION PLAN

DRAWING STATUS: **DA APPROVAL**
NOT TO BE USED FOR CONSTRUCTION

SCALE:	ORIG. SIZE
N.T.S.	A1

DRAWN	DESIGNED	CHECKED	APPROVED	ENDORSED	DATE
MS	KB	AS	KB	--	01.05.25

PROJECT No.	DRAWING No.	REV
23128	C01.01	D

PLOTTED BY:- KEN DATE:- 2 May 2025 3 34 PM FILENAME:- O:\PROJECTS\2023\23128 - 34 WYNDELLA ROAD, LOCHINVAR\CAD\TITLE\23128_CIV_DA-[E]_34 WYNDELLA ROAD

GENERAL NOTES

1. ALL CONSTRUCTION WORKS ARE TO BE CARRIED OUT IN ACCORDANCE WITH COUNCIL'S ENGINEERING REQUIREMENTS FOR DEVELOPMENTS.
2. ALL DIMENSIONS, EASEMENTS AND LOTS SUBJECT TO REGISTRATION OF DEPOSITED PLAN.
3. THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL ARCHITECTURAL AND CONSULTANT'S DRAWINGS AND SPECIFICATIONS, AND OTHER WRITTEN REPORTS (e.g GEOTECHNICAL, ARBORIST, ENVIRONMENTAL, ETC.). ANY DISCREPANCY SHALL BE REFERRED TO THE ENGINEER BEFORE PROCEEDING WITH ANY WORKS.
4. ALL LEVELS SHALL BE OBTAINED FROM ESTABLISHED BENCH MARKS AS DIRECTED BY THE SUPERVISOR.
5. THE DEVELOPER, SHALL ENSURE ALL ASSOCIATED DOCUMENTATION (GEOTECHNICAL, LANDSCAPE, ARCHITECTURAL, ELECTRICAL, TELECOM, GAS ETC.) HAS BEEN APPROVED FOR CONSTRUCTION BEFORE COMMENCING ANY WORKS.
6. THE CONTRACTOR IS RESPONSIBLE FOR THE LOCATION, PROTECTION AND ADJUSTMENT TO ALL IN GROUND AND ABOVE GROUND SERVICES. SEE HUNTER WATER'S NOTICE OF REQUIREMENTS.
7. EROSION CONTROL MEASURES, DEVICES, SILT TRAPS. ETC. ARE TO BE INSTALLED BEFORE ANY SITE DISTURBANCE IN ACCORDANCE WITH COUNCIL INSPECTORS REQUIREMENTS AND SITE SEDIMENTATION AND EROSION CONTROL PLANS.
8. IT IS THE CONTRACTORS RESPONSIBILITY TO ENSURE THAT ALL WORKS ARE CARRIED OUT IN ACCORDANCE WITH THE WORK HEALTH SAFETY ACT.
9. VEHICULAR ACCESS AND ALL SERVICES ARE TO BE MAINTAINED AT ALL TIMES TO ADJOINING PROPERTIES AFFECTED BY CONSTRUCTION WORKS.
10. ALL WASTE OR DEMOLISHED MATERIALS SHALL BE DISPOSED OF OFF SITE TO A COUNCIL APPROVED SITE. ALL FEES AND CHARGES SHALL BE INCLUDED IN THE CONTRACT SUM.
11. CONSTRUCTION VIBRATION TO COMPLY WITH AS2760.1-2004 AND/OR NSW DEPT OF ENVIRONMENT AND CONSERVATION NOISE REQUIREMENTS
12. EMISSIONS FROM SITE ARE NOT TO INTERFERE WITH THE AMENITY OF THE NEIGHBORHOOD.
13. NOISE EMISSIONS ARE TO COMPLY WITH NSW EPA NOISE CONTROL MANUAL. TIME RESTRICTIONS APPLY TO CONSTRUCTION WORKS AS FOLLOWS: 7AM TO 6PM MON-FRI; 8AM TO 1PM SAT.
14. TREES & SHRUBS WHICH ARE FELLED SHALL BE SALVAGED FOR RE-USE, EITHER IN LOG FORM, OR AS A WOODCHIP MULCH FOR EROSION CONTROL AND/OR SITE REHABILITATION. NON-SALVAGEABLE MATERIAL SUCH AS ROOTS & STUMPS SHALL BE DISPOSED OF IN AN APPROVED MANNER.
15. 'ESCP' REFERS TO EROSION AND SEDIMENT CONTROL PLAN, 'SWMP' REFERS TO SOIL AND WATER MANAGEMENT PLAN, AND, 'ESC' REFERS TO EROSION AND SEDIMENT CONTROL.
16. SEDIMENT, INCLUDES, BUT IS NOT LIMITED TO, CLAY, SILT, SAND, GRAVEL, SOIL, MUD, CEMENT AND CERAMIC WASTE.
17. ANY REFERENCE TO THE BLUE BOOK REFERS TO *"MANAGING URBAN STORMWATER - SOILS AND CONSTRUCTION"*, LANDCOM, 2004.
18. ANY REFERENCE TO THE IECA WHITE BOOKS (2008) REFERS TO IECA 2008, *"BEST PRACTICE EROSION AND SEDIMENT CONTROL"*. BOOKS 1-6. INTERNATIONAL EROSION CONTROL ASSOCIATION (AUSTRALASIA), PICTON, NSW.
19. ANY MATERIAL DEPOSITED IN ANY CONSERVATION AREA FROM WORKS ASSOCIATED WITH THE DEVELOPMENT SHALL BE REMOVED IMMEDIATELY BY MEASURES INVOLVING MINIMAL GROUND AND/OR VEGETATION DISTURBANCES AND NO MACHINERY, OR FOLLOWING DIRECTIONS BY COUNCIL AND/OR WITHIN A TIMEFRAME ADVISED BY COUNCIL.

SURVEY NOTES

1. THE EXISTING SURVEY CONDITIONS SHOWN ON THESE DRAWINGS HAVE BEEN DERIVED FROM SURVEY INFORMATION SUPPLIED BY DeWITT CONSULTING ENGINEERS, DATED AUGUST 2023, REF NO. 14576.
2. THE FOLLOWING SURVEY INFORMATION HAS BEEN TAKEN DIRECTLY FROM THE ORIGINAL SURVEY DOCUMENTS:

POSITION DATUM:	SSM 4168
ORIENTATION:	MGA 56
EASTING:	355270.281
NORTHING:	6380990.909
HEIGHT DATUM:	RL: 35.273 (AHD)

3. THE INFORMATION SHOWN IS PROVIDED AS A BASIS FOR THE DESIGN. WALLACE DESIGN GROUP DOES NOT GUARANTEE THE ACCURACY OR COMPLETENESS OF THE SURVEY BASE OR ITS SUITABILITY AS A BASIS FOR CONSTRUCTION DRAWINGS.
4. SHOULD DISCREPANCIES BE ENCOUNTERED DURING CONSTRUCTION BETWEEN THE SURVEY DATA AND ACTUAL FIELD DATA, CONTRACTOR SHALL CONTACT DeWITT CONSULTING.
5. THE CONTRACTOR SHALL ARRANGE ALL SURVEY SETOUT TO BE CARRIED OUT BY A REGISTERED SURVEYOR.

THE ESCP

1. THE ESCP AND ITS ASSOCIATED ESC MEASURES SHALL BE CONSTANTLY MONITORED, REVIEWED AND MODIFIED AS REQUIRED TO CORRECT DEFICIENCIES. COUNCIL HAS THE RIGHT TO DIRECT CHANGES IF, IN ITS OPINION, THE MEASURES THAT ARE PROPOSED OR HAVE BEEN INSTALLED ARE INADEQUATE TO PREVENT POLLUTION.
2. PRIOR TO ANY ACTIVITIES ONSITE, THE RESPONSIBLE PERSON(S) IS TO BE NOMINATED. THE RESPONSIBLE PERSON(S) SHALL BE RESPONSIBLE FOR THE ESC MEASURES ONSITE. THE NAME, ADDRESS AND 24 HOUR CONTACT DETAILS OF THE PERSON(S) SHALL BE PROVIDED TO COUNCIL IN WRITING. COUNCIL SHALL BE ADVISED WITHIN 48 HOURS OF ANY CHANGES TO THE RESPONSIBLE PERSON(S), OR THEIR CONTACT DETAILS, IN WRITING.
3. AT LEAST 14 DAYS BEFORE THE NATURAL SURFACE IS DISTRIBUTED IN ANY NEW STAGE, THE CONTRACTOR SHALL SUBMIT TO THE CERTIFIER A PLAN SHOWING ESC MEASURES FOR THAT STAGE. THE DEGREE OF DESIGN DETAIL SHALL BE BASED ON THE DISTRIBUTED AREA.
4. AT ANY TIME, THE ESC MEASURES ONSITE SHALL BE APPROPRIATE FOR THE AREA OF DISTURBANCE AND ITS CHARACTERISTICS, INCLUDING SOIL TYPE (IN ACCORDANCE WITH THOSE REQUIRED FOR THE SITE AS PER THE DCP).
5. THE IMPLEMENTATION OF THE ESCP SHALL BE SUPERVISED BY PERSONNEL WITH APPROPRIATE QUALIFICATIONS AND/OR EXPERIENCE IN ESC ON CONSTRUCTION SITES.
6. THE APPROVED ESCP SHALL BE AVAILABLE ON-SITE FOR INSPECTION BY COUNCIL OFFICERS WHILE WORK ACTIVITIES ARE OCCURRING.
7. THE APPROVED ESCP SHALL BE UP TO DATE AND SHOW A TIMELINE OF INSTALLATION, MAINTENANCE AND REMOVAL OF ESC MEASURES.
8. ALL ESC MEASURES SHALL BE APPROPRIATE FOR THE SEDIMENT TYPE(S) OF THE SOILS ONSITE, IN ACCORDANCE WITH THE BLUE BOOK, IECA WHITE BOOKS OR OTHER CURRENT RECOGNISED INDUSTRY STANDARDS PERTAINING TO ESC FOR AUSTRALIAN CONDITIONS.
9. ADEQUATE SITE DATA, INCLUDING SOIL DATA FROM A NATA APPROVED LABORATORY, SHALL BE OBTAINED TO ALLOW FOR THE PREPARATION OF AN APPROPRIATE ESCP, AND TO ALLOW FOR THE SELECTION, DESIGN AND SPECIFICATION OF REQUIRED ESC MEASURES.
10. ALL WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH THE APPROVED ESCP (AS AMENDED FROM TIME TO TIME) UNLESS CIRCUMSTANCES ARISE WHERE:
    A) COMPLIANCE WITH THE ESCP WOULD INCREASE THE POTENTIAL FOR ENVIRONMENTAL HARM
    B) CIRCUMSTANCES CHANGE DURING CONSTRUCTION AND THOSE CIRCUMSTANCES COULD NOT HAVE BEEN FORSEEN; OR
    C) COUNCIL DETERMINES THAT UNACCEPTABLE OFF-SITE SEDIMENTATION IS OCCURRING AS A RESULT OF A LAND-DISTURBING ACTIVITY. IN EITHER CASE, THE PERSON(S) RESPONSIBLE MAY BE REQUIRED TO TAKE ADDITIONAL, OR ALTERNATIVE PROTECTIVE ACTION, AND/OR UNDERTAKE REASONABLE RESTORATION WORKS WITHIN THE TIMEFRAME SPECIFIED BY THE COUNCIL.
11. ADDITIONAL ESC MEASURES SHALL BE IMPLEMENTED, AND A REVISED ESCP SUBMITTED FOR APPROVAL TO THE CERTIFIER (WITHIN 5 BUSINESS DAYS OF AN SUCH AMENDMENTS) IN THE EVENT THAT:
    A) THERE IS A HIGH PROBABILITY THAT SERIOUS OR MATERIAL ENVIRONMENTAL HARM MAY OCCUR AS A RESULT OF SEDIMENT LEAVING THE SITE; OR
    B) THE IMPLEMENTED WORKS FAIL TO ACHIEVE COUNCIL'S WATER QUALITY OBJECTIVES SPECIFIED IN THESE CONDITIONS; OR
    C) SITE CONDITIONS SIGNIFICANTLY CHANGE; OR
    D) SITE INSPECTIONS INDICATE THAT THE IMPLEMENTED WORKS ARE FAILING TO ACHIEVE THE "OBJECTIVE" OF THE ESCP.
12. A COPY OF ANY AMENDED ESCP SHALL BE FORWARDED TO AN APPROPRIATE COUNCIL OFFICER, WITHIN FIVE BUSINESS DAYS OF ANY SUCH AMENDMENTS.

SITE ESTABLISHMENT INCLUDING CLEARING AND MULCHING

1. NO LAND CLEARING SHALL BE UNDERTAKEN UNLESS PRECEDED BY THE INSTALLATION OF ADEQUATE DRAINAGE AND SEDIMENT CONTROL MEASURES, UNLESS SUCH CLEARING IS REQUIRED FOR THE PURPOSE OF INSTALLING SUCH MEASURES, IN WHICH CASE, ONLY THE MINIMUM CLEARING REQUIRED TO INSTALL SUCH MEASURES SHALL OCCUR.
2. BULK TREE CLEARING AND GRUBBING OF THE SITE SHALL BE IMMEDIATELY FOLLOWED BY SPECIFIED TEMPORARY EROSION CONTROL MEASURES (E.G. TEMPORARY GRASSING OR MULCHING) PRIOR TO THE COMMENCEMENT OF EACH STAGE OF CONSTRUCTION WORKS.
3. TREES AND VEGETATION CLEARED FROM THE SITE SHALL BE MULCHED ONSITE WITHIN 7 DAYS OF CLEARING.
4. APPROPRIATE MEASURES SHALL BE UNDERTAKEN TO CONTROL ANY DUST ORIGINATING DUE TO THE MULCHING OF VEGETATION ONSITE.
5. ALL OFFICE FACILITIES AND OPERATIONAL ACTIVITIES SHALL BE LOCATED SUCH THAT ANY EFFLUENT, INCLUDING WASH-DOWN WATER, CAN BE TOTALLY CONTAINED AND TREATED WITHIN THE SITE.
6. ALL REASONABLE AND PRACTICABLE MEASURES SHALL BE TAKEN TO ENSURE STORMWATER RUNOFF FROM ACCESS ROADS AND STABILISED ENTRY/EXIT SYSTEMS DRAINS TO AN APPROPRIATE SEDIMENT CONTROL DEVICE.
7. SITE EXIT POINTS SHALL BE APPROPRIATELY MANAGED TO MINIMISE THE RISK OF SEDIMENT BEING TRACKED ONTO SEALED, PUBLIC ROADWAYS.
8. STORMWATER RUNOFF FROM ACCESS ROADS AND STABILIZED ENTRY/EXIT POINTS SHALL DRAIN TO AN APPROPRIATE SEDIMENT CONTROL DEVICE.
9. THE APPLICANT SHALL ENSURE AN ADEQUATE SUPPLY OF ESC, AND APPROPRIATE POLLUTION CLEAN-UP MATERIALS ARE AVAILABLE ON-SITE AT ALL TIMES.
10. ALL TEMPORARY EARTH BANKS, FLOW DIVERSION SYSTEMS, AND SEDIMENT BASIN EMBANKMENTS SHALL BE MACHINE-COMPACTED, SEEDED AND MULCHED WITHIN 10 DAYS OF FORMATION FOR THE PURPOSE OF ESTABLISHING A VEGETATIVE COVER, OR LINED APPROPRIATELY.
11. SEDIMENT DEPOSITED OFF SITE AS A RESULT OF ON--SITE ACTIVITIES SHALL BE COLLECTED AND THE AREA CLEANED/REHABILITATED AS SOON AS REASONABLE AND PRACTICABLE.
12. CONCRETE WASTE AND CHEMICAL PRODUCTS INCLUDING PETROLEUM AND OIL-BASED PRODUCTS, SHALL BE PREVENTED FROM ENTERING ANY INTERNAL OR EXTERNAL WATER BODY, OR ANY EXTERNAL DRAINAGE SYSTEM, EXCLUDING THOSE ON-SITE WATER BODIES SPECIFICALLY DESIGNED TO CONTAIN AND/OR TREAT SUCH MATERIAL. APPROPRIATE MEASURES SHALL BE INSTALLED TO TRAP THESE MATERIALS ONSITE.
13. BRICK, TILE OR MASONRY CUTTINGS SHALL BE CARRIED OUT ON A PERVIOUS SURFACE (E.G. GRASS OR OPEN SOIL) AND IN SUCH A MANNER THAT ANY RESULTING SEDIMENT-LADEN RUNOFF IS PREVENTED FROM DISCHARGING INTO A GUTTER, DRAIN OR WATER. APPROPRIATE MEASURES SHALL BE INSTALLED TO TRAP THESE MATERIALS ONSITE.
14. NEWLY SEALED HARD-STAND AREAS (E.G. ROADS, DRIVEWAYS AND CAR PARKS) SHALL BE SWEPT THOROUGHLY AS SOON AS PRACTICABLE AFTER SEALING/SURFACING TO MINIMISE THE RISK OF COMPONENTS OF THE SURFACING COMPOUND ENTERING THE STORMWATER DRAINS.
15. STOCKPILES OF ERODIBLE MATERIAL SHALL BE PROVIDED WITH AN APPROPRIATE PROTECTIVE COVER (SYNTHETIC OR ORGANIC) IF THE MATERIALS ARE LIKELY TO BE STOCKPILED FOR MORE THAN 10 DAYS.
16. STOCKPILES, TEMPORARY OR PERMANENT, SHALL NOT BE LOCATED IN AREAS IDENTIFIED AS NO-GO ZONES (INCLUDING, BUT NOT LIMITED TO, RESTRICTED ACCESS AREAS, BUFFER ZONES, OR AREAS OF NON-DISTURBANCE) ON THE ESCP.
17. NO MORE THAN 150m OF STORMWATER, SEWER LINE OR OTHER SERVICE TRENCH SHALL BE TO OPEN AT ANY ONE TIME.
18. SITE SPOIL SHALL BE LAWFULLY DISPOSED OF IN A MANNER THAT DOES NOT RESULT IN ONGOING SOIL EROSION OR ENVIRONMENTAL HARM.
19. WHEREVER REASONABLE AND PRACTICABLE, STORMWATER RUNOFF ENTERING THE SITE FROM EXTERNAL AREAS, AND NON-SEDIMENT LADEN (CLEAN) STORMWATER RUNOFF ENTERING A WORK AREA OR AREA OF SOIL DISTURBANCE, SHALL BE DIVERTED AROUND OR THROUGH THAT AREA IN A MANNER THAT MINIMISES SOIL EROSION AND THE CONTAMINATION OF THAT WATER FROM ALL DISCHARGES UP TO THE SPECIFIED DESIGN STORM DISCHARGE.

SITE MANAGEMENT INCLUDING DUST

1. PRIORITY SHALL BE GIVEN TO THE PREVENTION, OR AT LEAST THE MINIMISATION, OF SOIL EROSION, RATHER THAN THE TRAPPING OF DISPLACED SEDIMENT. SUCH A CLAUSE SHALL NOT REDUCE THE RESPONSIBILITY TO APPLY AND MAINTAIN, AT ALL TIMES, ALL NECESSARY ESC MEASURES.
2. MEASURES USED TO CONTROL WIND EROSION SHALL BE APPROPRIATE FOR THE LOCATION AND PREVENT SOIL EROSION AND EMISSIONS FROM SITE AT ALL TIMES, INCLUDING WORKING HOURS, OUT OF HOURS, WEEKENDS, PUBLIC HOLIDAYS, AND DURING ANY OTHER SHUTDOWN PERIODS.
3. THE APPLICATION OF LIQUID OR CHEMICAL-BASED DUST SUPPRESSION MEASURES SHALL ENSURE THAT SEDIMENT-LADEN RUNOFF RESULTING FROM SUCH MEASURES DOES NOT CREATE A TRAFFIC OR ENVIRONMENTAL HAZARD.
4. ALL CUT AND FILL EARTH BATTERS LESS THAN 3m IN ELEVATION SHALL BE TOPSOILED, AND GRASS SEEDED/HYDROMULCHED WITHIN 10 DAYS OF COMPLETION OF GRADING IN CONSULTATION WITH COUNCIL.
5. ALL DISTURBED AREAS SHALL BE STABILISED IN ACCORDANCE WITH TIMELINES IN THE BLUE BOOK.
6. ALL REASONABLE AND PRACTICABLE MEASURES SHALL BE TAKEN TO PREVENT, OR AT LEAST MINIMISE, THE RELEASE OF SEDIMENT FROM THE SITE.
7. SUITABLE ALL-WEATHER MAINTENANCE ACCESS SHALL BE PROVIDED TO ALL SEDIMENT CONTROL DEVICES.
8. SEDIMENT CONTROL DEVICES OTHER THAN SEDIMENT BASINS SHALL BE DE-SILTED AND MADE FULLY OPERATIONAL AS SOON AS REASONABLE AND PRACTICABLE AFTER A SEDIMENT-PRODUCING EVENT, WETHER NATURAL OR ARTIFICIAL, IF THE DEVICES SEDIMENT RETENTION CAPACITY FALLS BELOW 75% OF ITS DESIGNED RETENTION CAPACITY.
9. ALL EROSION AND SEDIMENT CONTROL MEASURES, INCLUDING DRAINAGE CONTROL MEASURES, SHALL BE MAINTAINED IN PROPER WORKING ORDER AT ALL TIMES DURING THEIR OPERATION LIVES.
10. WASHING/FLUSHING OF SEALED ROADWAYS SHALL ONLY OCCUR WHERE SWEEPING HAS FAILED TO REMOVE SUFFICIENT SEDIMENT AND THERE IS A COMPELLING NEED TO REMOVE THE REMAINING SEDIMENT (E.G. FOR SAFETY REASONS). IN SUCH CIRCUMSTANCES, ALL REASONABLE AND PRACTICABLE SEDIMENT CONTROL MEASURES SHALL BE USED TO PREVENT, OR AT LEAST MINIMISE, THE RELEASE OF SEDIMENT INTO THE RECEIVING WATERS. ONLY THOSE MEASURES THAT WILL NOT CAUSE SAFETY AND PROPERTY FLOODING ISSUES SHALL BE EMPLOYED. SEDIMENT REMOVED FROM ROADWAYS SHALL BE DISPOSED OF IN A LAWFUL MANNER THAT DOES NOT CAUSE ONGOING SOIL EROSION OR ENVIRONMENTAL HARM.
11. SEDIMENT REMOVED FROM SEDIMENT TRAPS AND PLACES OF SEDIMENT DEPOSITIONS SHALL BE DISPOSED OF IN A LAWFUL MANNER THAT DOES NOT CAUSE ONGOING SOIL EROSION OR ENVIRONMENTAL HARM.

REVEGETATION/STABILISATION

1. TEMPORARY STABILISATION MAY BE ATTAINED USING VEGETATION, NON WETTABLE SOIL POLYMERS, OR PNEUMATICALLY APPLIED EROSION CONTROLS.
2. ALL CUT AND FILL EARTH BATTERS LESS THAN 3m IN ELEVATION SHALL BE TOPSOILED, AND GRASS SEEDED/HYDROMULCHED WITHIN 10 DAYS OF COMPLETION OF GRADING IN CONSULTATION WITH COUNCIL.
3. AT THE COMPLETION OF FORMATION IN ANY SECTION, ALL DISTRIBUTED AREAS SHALL BE STABILISED IN ACCORDANCE WITH TIME LINES IN THE BLUE BOOK.
4. THE COUNCIL SEED MIX SHALL BE USED UNLESS STATED ON THE ESCP/SWMP.
5. THE PH LEVEL OF TOPSOIL SHALL BE APPROPRIATE TO ENABLE ESTABLISHMENT AND GROWTH OF SPECIFIED VEGETATION PRIOR TO INITIATING THE ESTABLISHMENT OF VEGETATION.
6. NON REWETTABLE BINDER SHALL BE USED IN ALL HYDROMULCH/HYDROSEED POLYMER MIXES ON SLOPES OR WORKS ADJACENT TO A WATER COURSE.
7. SOIL AMELIORANTS SHALL BE ADDED TO THE SOIL IN ACCORDANCE WITH AN APPROVED LANDSCAPE PLAN, VEGETATION MANAGEMENT PLAN, AND/OR SOIL ANALYSIS.
8. PROCEDURES FOR INITIATING A SITE SHUTDOWN, WHETHER PROGRAMMED OR UN-PROGRAMMED, SHALL INCORPORATE REVEGETATION OF ALL SOIL DISTURBANCES UNLESS OTHERWISE APPROVED BY COUNCIL. THE STABILISATION WORKS SHALL NOT RELY UPON THE LONGEVITY OF NON-VEGETATED EROSION CONTROL BLANKETS, OR TEMPORARY SOIL BINDERS.

SITE MONITORING AND MAINTENANCE

1. THE APPLICANT SHALL ENSURE THAT APPROPRIATE PROCEDURES AND SUITABLY QUALIFIED PERSONNEL ARE ENGAGED TO PLAN AND CONDUCT SITE INSPECTIONS AND WATER QUALITY MONITORING THROUGHOUT THE CONSTRUCTION AND MAINTENANCE PHASE.
2. ALL ESC MEASURES SHALL BE INSPECTED AND ANY MAINTENANCE UNDERTAKEN:
   A) AT LEAST DAILY (WHEN WORKS IS OCCURRING ON-SITE); AND
   B) AT LEAST WEEKLY (WHEN WORKS IS NOT OCCURRING ON-SITE) AND
   C) WITHIN 24 HOURS OF EXPECTED RAINFALL; AND
   D) WITHIN 18 HOURS OF A RAINFALL EVENT THAT CAUSES RUNOFF ON THE SITE.
3. WRITTEN RECORDS SHALL BE KEPT ONSITE OF ESC MONITORING AND MAINTENANCE ACTIVITIES CONDUCTED DURING THE CONSTRUCTION AND MAINTENANCE PERIODS, AND BE AVAILABLE TO COUNCIL OFFICERS ON REQUEST.
4. ALL ENVIRONMENTAL RELEVANT INCIDENTS SHALL BE RECORDED IN A FIELD LOG THAT SHALL REMAIN ACCESSIBLE TO ALL RELEVANT REGULATORY AUTHORITIES.
5. ALL WATER QUALITY DATA, INCLUDING DATES OF RAINFALL, DATES OF TESTING, TESTING RESULTS AND DATES OF WATER RELEASE, SHALL BE KEPT IN AN ON-SITE REGISTER. THE REGISTER IS TO BE MAINTAINED UP TO DATE FOR THE DURATION OF THE APPROVED WORKS AND BE AVAILABLE ON-SITE FOR INSPECTION BY ALL RELEVANT REGULATORY AUTHORITIES ON REQUEST.
6. AT NOMINATED INSTREAM WATER MONITORING SITES, A MINIMUM OF 3 WATER SAMPLES SHALL BE TAKEN AND ANALYSED, AND THE AVERAGE RESULT USED TO DETERMINE QUALITY.

STORMWATER NOTES

1. THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH RELEVANT ARCHITECTURAL DETAILS.
2. ALL WORKS ARE TO BE IN ACCORDANCE WITH AS3500, COUNCIL'S DEVELOPMENT CONTROL PLAN AND PROPRIETARY MANUFACTURERS RECOMMENDATIONS.
3. UNLESS OTHERWISE STATED, ALL STORMWATER PIPES (INCLUDING DOWNPIPES AND RAINWATER TANK OVERFLOW PIPES) ARE TO BE uPVC SEWER GRADE, U.N.O JOINTED & INSTALLED TO MANUFACTURERS RECOMMENDATIONS.
4. ALL uPVC STORMWATER LINES TO HAVE ALL JOINTS, INC. DOWNPIPE CONNECTIONS, FULLY SOLVENT WELDED, INCLUDING ANY CHARGED LINES.
5. CONNECT DOWNPIPES AS REQUIRED TO NOMINATED HARVESTING TANK IN ACCORDANCE WITH APPROVED DEVELOPMENT PLANS AND HYDRAULIC ENGINEERS DESIGN.
6. ALL LEVELS ARE DATUM AHD.
7. ALL LEVELS ARE FINISHED PAVEMENT OR LAWN LEVELS.
8. CONTRACTOR TO ALLOW FOR ALL PIPE SUPPORT SYSTEM TO SOFFIT AS PER MANUFACTURERS SPECIFICATIONS.
9. ALL CONCRETE TO BE MANUFACTURED AND SUPPLIED IN ACCORDANCE WITH AS1379.
10. AT COUNCILS DISCRETION, ALL CONCRETE CAN BE SUBJECT TO PROJECT ASSESSMENT AND TESTING TO AS1379
11. MINIMUM PIPE COVERS TO BE IN ACCORDANCE WITH AS3500.
12. PITS TO BE FILLED ACCORDINGLY TO MEET INVERTS AS NEEDED.
13. CONTRACTOR TO CONFIRM ALL LEVELS PRIOR TO CONSTRUCTION. ANY DISCREPANCIES ARE TO BE IMMEDIATELY REPORTED TO WALLACE DESIGN GROUP.

SUBSOIL DRAINAGE NOTES

1. CONSTRUCTION SHALL BE IN ACCORDANCE WITH COUNCIL'S CONSTRUCTION SPECIFICATIONS FOR SUBSURFACE DRAINAGE.
2. SUBSOIL PIPE TO BE Ø100 SLOTTED PVC OR CORRUGATED CIRCULAR PLASTIC PIPE AND ENCLOSED IN SEAMLESS FILTER FABRIC SOCK
3. SUBSOIL DRAINS SHALL CONSIST OF A 300 (MINIMUM) WIDE TRENCH, BACKFILLED WITH 7 OR 10mm AGGREGATE AND WRAPPED IN BIDIM A12 GEOTEXTILE FABRIC OR SIMILAR, LAPPED AT THE TOP. DEPTH OF TRENCH TO EXTEND 450 (MINIMUM) IN ROCK OR 600 (MINIMUM) IN EARTH BELOW FINISHED SUB-GRADE LEVEL. INVERT OF TRENCH SHOULD ALSO BE LOWER THAN THE INVERT OF ANY SERVICE CROSSINGS.

ROAD/DRIVEWAY PAVEMENT NOTES

1. THE PAVEMENT DESIGN RECOMMENDATIONS SHOWN ON THESE DRAWINGS ARE INDICATIVE ONLY, AND ARE TO BE CONFIRMED BEFORE CONSTRUCTION CERTIFICATE STAGE BY A QUALIFIED/REGISTERED GEOTECHNICAL ENGINEER.

RETAINING WALL NOTES

1. ALL RETAINING WALLS SHOWN ON THESE PLANS SHALL BE DESIGNED BY A QUALIFIED & REGISTERED STRUCTURAL ENGINEERING AT TIME OF CONSTRUCTION CERTIFICATE STAGE.

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DWG IN COLOUR

THIS DRAWING IS NOT APPROVED FOR CONSTRUCTION UNLESS ENDORSED

REV	DESCRIPTION	DATE	APPV'D	END'D
D	LEC AMENDMENTS	01.05.25	K.B.	
C	COUNCIL AMENDMENTS - S34 OUTCOMES	28.11.24	K.B.	
B	COUNCIL AMENDMENTS - PREL S34	19.08.24	K.B.	
A	ISSUED FOR DA APPROVAL	02.02.24	K.B.	

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PROJECT:
CIVIL WORKS for
LOT 225, DP 246447
34 WYNDELLA ROAD
LOCHINVAR NSW 2321

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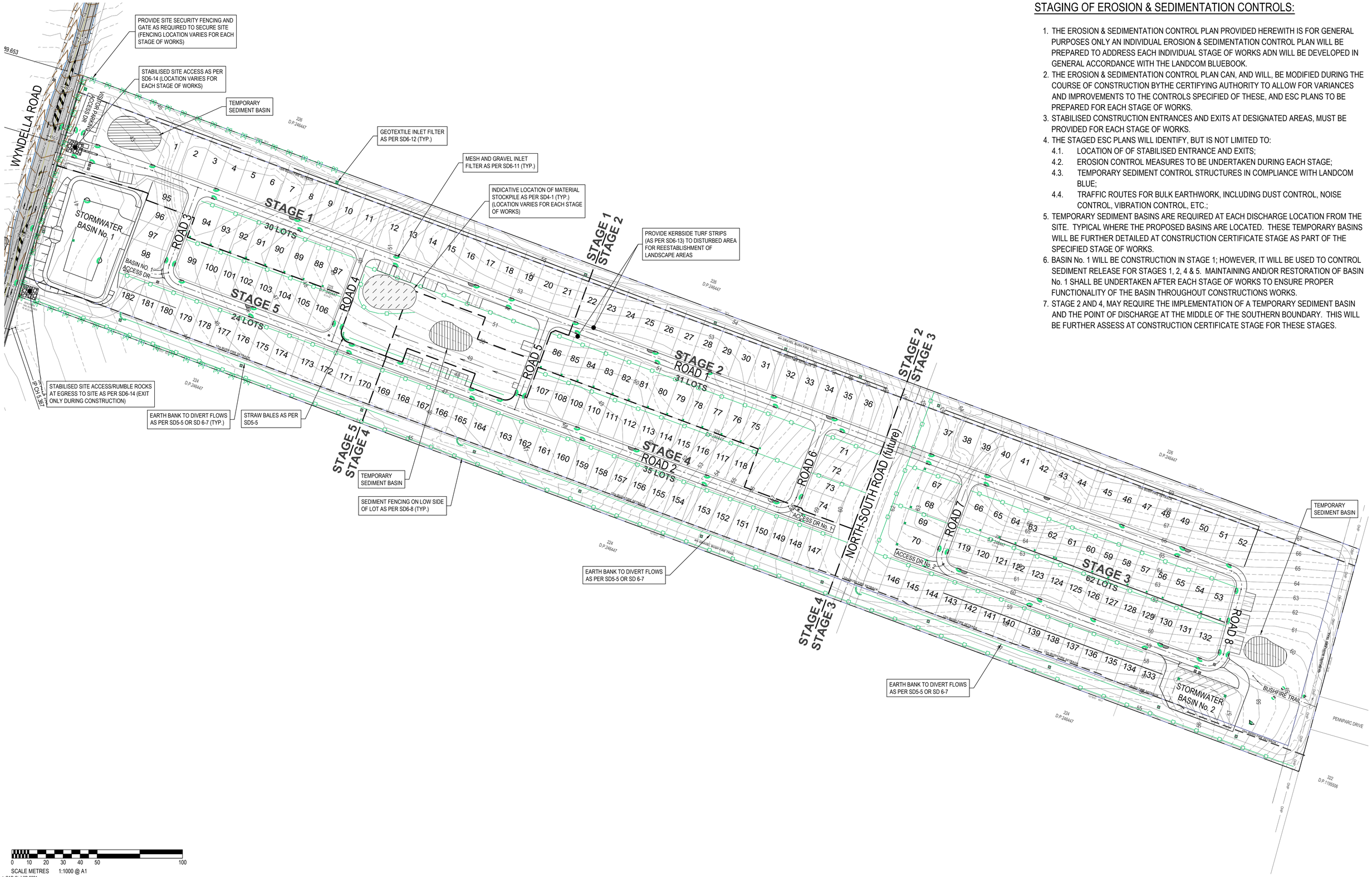

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STAGING OF EROSION & SEDIMENTATION CONTROLS:

1. THE EROSION & SEDIMENTATION CONTROL PLAN PROVIDED HEREWITH IS FOR GENERAL PURPOSES ONLY AN INDIVIDUAL EROSION & SEDIMENTATION CONTROL PLAN WILL BE PREPARED TO ADDRESS EACH INDIVIDUAL STAGE OF WORKS ADN WILL BE DEVELOPED IN GENERAL ACCORDANCE WITH THE LANDCOM BLUEBOOK.
2. THE EROSION & SEDIMENTATION CONTROL PLAN CAN, AND WILL, BE MODIFIED DURING THE COURSE OF CONSTRUCTION BYTHE CERTIFYING AUTHORITY TO ALLOW FOR VARIANCES AND IMPROVEMENTS TO THE CONTROLS SPECIFIED OF THESE, AND ESC PLANS TO BE PREPARED FOR EACH STAGE OF WORKS.
3. STABILISED CONSTRUCTION ENTRANCES AND EXITS AT DESIGNATED AREAS, MUST BE PROVIDED FOR EACH STAGE OF WORKS.
4. THE STAGED ESC PLANS WILL IDENTIFY, BUT IS NOT LIMITED TO:
   - 4.1. LOCATION OF OF STABILISED ENTRANCE AND EXITS;
   - 4.2. EROSION CONTROL MEASURES TO BE UNDERTAKEN DURING EACH STAGE;
   - 4.3. TEMPORARY SEDIMENT CONTROL STRUCTURES IN COMPLIANCE WITH LANDCOM BLUE;
   - 4.4. TRAFFIC ROUTES FOR BULK EARTHWORK, INCLUDING DUST CONTROL, NOISE CONTROL, VIBRATION CONTROL, ETC.;
5. TEMPORARY SEDIMENT BASINS ARE REQUIRED AT EACH DISCHARGE LOCATION FROM THE SITE. TYPICAL WHERE THE PROPOSED BASINS ARE LOCATED. THESE TEMPORARY BASINS WILL BE FURTHER DETAILED AT CONSTRUCTION CERTIFICATE STAGE AS PART OF THE SPECIFIED STAGE OF WORKS.
6. BASIN No. 1 WILL BE CONSTRUCTION IN STAGE 1; HOWEVER, IT WILL BE USED TO CONTROL SEDIMENT RELEASE FOR STAGES 1, 2, 4 & 5. MAINTAINING AND/OR RESTORATION OF BASIN No. 1 SHALL BE UNDERTAKEN AFTER EACH STAGE OF WORKS TO ENSURE PROPER FUNCTIONALITY OF THE BASIN THROUGHOUT CONSTRUCTIONS WORKS.
7. STAGE 2 AND 4, MAY REQUIRE THE IMPLEMENTATION OF A TEMPORARY SEDIMENT BASIN AND THE POINT OF DISCHARGE AT THE MIDDLE OF THE SOUTHERN BOUNDARY. THIS WILL BE FURTHER ASSESS AT CONSTRUCTION CERTIFICATE STAGE FOR THESE STAGES.

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DWG IN COLOUR

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WALLACE DESIGN GROUP

PROJECT:
CIVIL WORKS for
LOT 225, DP 246447
34 WYNDELLA ROAD
LOCHINVAR NSW 2321

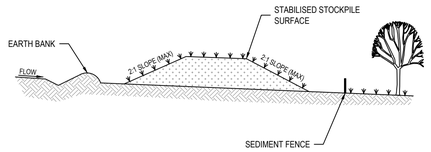
DRAWING TITLE:
CIVIL SERVICES
EROSION AND SEDIMENTATION CONTROL PLAN

DRAWING STATUS	DA APPROVAL NOT TO BE USED FOR CONSTRUCTION				
SCALE:	1:1000			ORIG. SIZE	A1
DRAWN	DESIGNED	CHECKED	APPROVED	ENDORSED	DATE
MS	KB	AS	KB	--	01.05.25
PROJECT No.	23128	DRAWING No.	C03.01		REV D

PLOTTED BY:- KEN DATE:- 2 May 2025 3 34 PM FILENAME:- O:\PROJECTS\2023\23128 - 34 WYNDELLA ROAD, LOCHINVAR\CAD\TITLE\23128_CIV_DA-[E]_34 WYNDELLA ROAD

NOTE

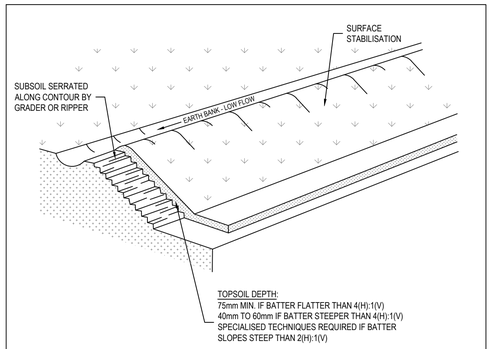
1. ALL EROSION & SEDIMENTATION CONTROL (ESC) PLAN DETAILS SHOWN ARE FROM *"MANAGING URBAN STORMWATER - SOILS AND CONSTRUCTION"*, LANDCOM, 2004. DETAILS, ALTHOUGH NOT SPECIFICALLY IDENTIFIED FOR USE ON THE ESC PLAN (SHEET C03.01), ARE PROVIDED IN THE EVENT ADDITIONAL CONTROLS ARE REQUIRED TO MINIMISE ON-SITE EROSION DURING THE COURSE OF CONSTRUCTION. IF AN ESC DETAIL IS NOT SHOWN, CONTRACTOR SHALL REFER TO THE ABOVE REFERENCED GUIDE.



CONSTRUCTION NOTES:

1. PLACE STOCKPILES MORE THAN 2 (PREFERABLY 5) METERS FROM EXISTING VEGETATION, CONCENTRATED WATER FLOW, ROADS AND HAZARD AREAS.
2. CONSTRUCT ON THE CONTOUR AS LOW, FLAT, ELONGATED MOUNDS.
3. WHERE THERE IS SUFFICIENT AREA, TOPSOIL STOCKPILES SHALL BE LESS THAN 2 METERS IN HEIGHT.
4. WHERE THEY ARE TO BE IN PLACE FOR MORE THAN 10 DAYS, STABILISE FOLLOWING THE APPROVED ESCP OR SWMP TO REDUCE THE C-FACTOR TO LESS THAN 0.10.
5. CONSTRUCT EARTH BANKS (STANDARD DRAWING 5-5) ON THE UPSLOPE SIDE TO DIVERT WATER AROUND STOCKPILES AND SEDIMENT FENCES (STANDARD DRAWING 6-8) 1 TO 2 METERS DOWNSLOPE.

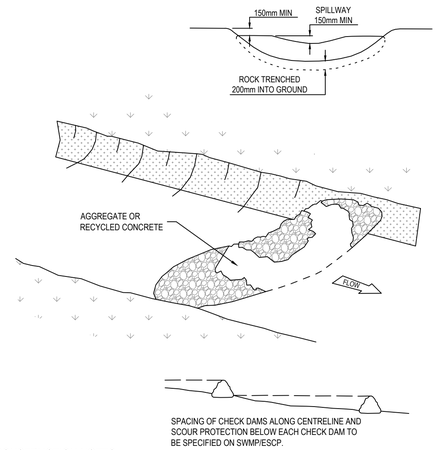
STOCKPILES — SD 4-1



CONSTRUCTION NOTES:

1. SCARIFY THE GROUND SURFACE ALONG THE LINE OF THE CONTOUR TO A DEPTH OF 50mm TO 100mm TO BREAK UP ANY HARDSETTING SURFACES AND TO PROVIDE A GOOD BOND BETWEEN THE RESPREAD MATERIAL AND SUBSOIL.
2. ADD SOIL AMELIORANTS AS REQUIRED BY THE ESCP OR SWMP.
3. RIP TO A DEPTH OF 300mm IF COMPACTED LAYERS OCCUR.
4. WHERE POSSIBLE, REPLACE TOPSOIL TO A DEPTH OF 40 TO 60mm ON LANDS WHERE THE SLOPE EXCEEDS 4(H):1(V) AND TO AT LEAST 75mm ON LOWER GRADIENTS.

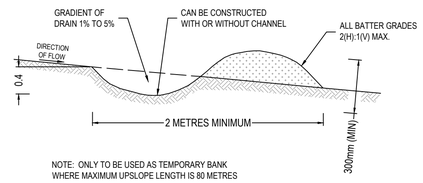
REPLACING TOPSOIL — SD 4-2



CONSTRUCTION NOTES:

1. CHECK DAMS CAN BE BUILT WITH VARIOUS MATERIALS, INCLUDING ROCKS, LOGS, SANBAGS AND STRAW BALES. THE MAINTENANCE PROGRAM SHOULD ENSURE THEIR INTEGRITY IS RETAINED, ESPECIALLY WHERE CONSTRUCTED WITH STRAW BALES. IN THE CASE OF BALES, THIS MIGHT REQUIRE THEIR REPLACEMENT EACH TWO TO FOUR MONTHS.
2. TRENCH THE CHECK DAM 200mm INTO THE GROUND ACROSS ITS WHOLE WIDTH. WHERE ROCK IS USED, FILL THE TRENCHES TO AT LEAST 100mm ABOVE THE GROUND SURFACE TO REDUCE THE RISK OF UNDERCUTTING.
3. NORMALLY, THEIR MAXIMUM HEIGHT SHOULD NOT EXCEED 600mm ABOVE THE GULLY FLOOR. THE CENTRE SHOULD ACT AS A SPILLWAY, BEING AT LEAST 150mm LOWER THAN THE OUTER EDGE.
4. SPACE THE DAMS SO THE TOE OF THE UPSTREAM DAM IS LEVEL WITH THE SPILLWAY OF THE NEXT DOWNSTREAM DAM.

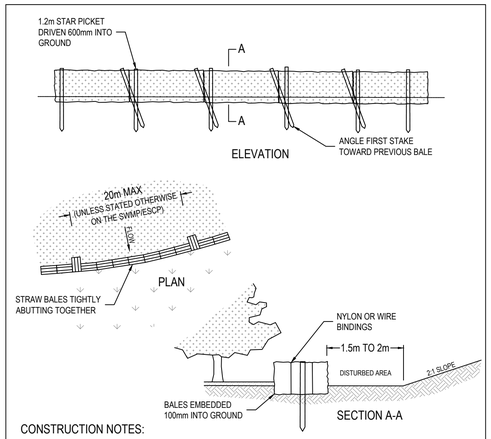
ROCK CHECK DAM — SD 5-4



CONSTRUCTION NOTES:

1. BUILD WITH GRADIENTS BETWEEN 1 PERCENT AND 5 PERCENT.
2. AVOID REMOVING TREES AND SHRUBS IF POSSIBLE - WORK AROUND THEM.
3. ENSURE THE STRUCTURES ARE FREE OF PROJECTIONS OR OTHER IRREGULARITIES THAT COULD IMPEDE WATER FLOW.
4. BUILD THE DRAINS WITH CIRCULAR, PARABOLIC OR TRAPEZOIDAL CROSS SECTIONS, NOT V-SHAPED.
5. ENSURE THE BANKS ARE PROPERLY COMPACTED TO PREVENT FAILURE.
6. COMPLETE PERMANENT OR TEMPORARY STABILISATION WITHIN 10 DAYS OF CONSTRUCTION.

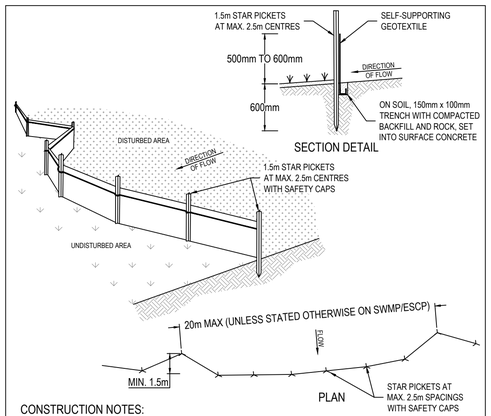
EARTH BANK (LOW FLOW) — SD 5-5



CONSTRUCTION NOTES:

1. CONSTRUCT THE STRAW BALE FILTER AS CLOSE AS POSSIBLE TO BEING PARALLEL TO THE CONTOURS OF THE SITE.
2. PLACE BALES LENGTHWISE IN A ROW WITH ENDS TIGHTLY ABUTTING. USE STRAW TO FILL ANY GAPS BETWEEN BALES. STRAWS ARE TO BE PLACED PARALLEL TO GROUND.
3. ENSURE THAT THE MAXIMUM HEIGHT OF THE FILTER IS ONE BALE.
4. EMBED EACH BALE IN THE GROUND 75mm TO 100mm AND ANCHOR WITH TWO 1.2m STAR PICKETS OR STAKES. ANGLE THE FIRST STAR PICKET OR STAKE IN EACH BALE TOWARDS THE PREVIOUSLY LAID BALE. DRIVE THEM 600mm INTO THE GROUND AND, IF POSSIBLE, FLUSH WITH THE TOP OF THE BALES. WHERE STAR PICKETS ARE USED AND THEY PROTRUDE ABOVE THE BALES, ENSURE THEY ARE FITTED WITH SAFETY CAPS.
5. WHERE A STRAW BALE FILTER IS CONSTRUCTED DOWNSLOPE FROM A DISTURBED BATTER, ENSURE THE BALES ARE PLACED 1 TO 2 METRES DOWNSLOPE FROM THE TOE.
6. ESTABLISH A MAINTENANCE PROGRAM THAT ENSURES THE INTEGRITY OF THE BALES IS RETAINED - THEY COULD REQUIRE REPLACEMENT EACH TWO TO FOUR MONTHS.

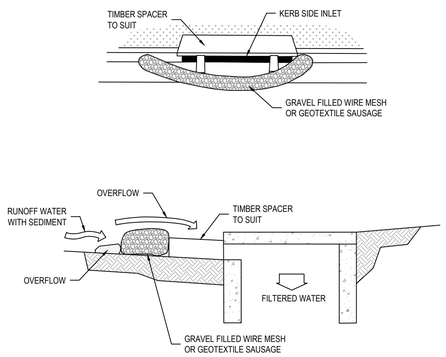
STRAW BALE FILTER — SD 6-7



CONSTRUCTION NOTES:

1. CONSTRUCT SEDIMENT FENCES AS CLOSE AS POSSIBLE TO BEING PARALLEL TO THE CONTOURS OF THE SITE, BUT WITH SMALL RETURNS AS SHOWN IN THE DRAWING TO LIMIT THE CATCHMENT AREA OF ANY ONE SECTION. THE CATCHMENT AREA SHOULD BE SMALL ENOUGH TO LIMIT WATER FLOW IF CONCENTRATED AT ONE POINT TO 50 LITRES PER SECOND IN THE DESIGN STORM EVENT, USUALLY THE 10-YEAR EVENT.
2. CUT A 150mm DEEP TRENCH ALONG THE UPSLOPE LINE OF THE FENCE FOR THE BOTTOM OF THE FABRIC TO BE ENTRENCHED.
3. DRIVE 1.5 METRE LONG STAR PICKETS INTO GROUND AT 2.5 METRE INTERVALS (MAX) AT THE DOWNSLOPE EDGE OF THE TRENCH. ENSURE ANY STAR PICKETS ARE FITTED WITH SAFETY CAPS.
4. FIX SELF-SUPPORTING GEOTEXTILE TO THE UPSLOPE SIDE OF THE POSTS ENSURING IT GOES TO THE BASE OF THE TRENCH. FIX THE GEOTEXTILE WITH WIRE TIES OR AS RECOMMENDED BY THE MANUFACTURER. ONLY USE GEOTEXTILE SPECIFICALLY PRODUCED FOR SEDIMENT FENCING. THE USE OF SHADE CLOTH FOR THIS PURPOSE IS NOT SATISFACTORY.
5. JOIN SECTIONS OF FABRIC AT A SUPPORT POST WITH A 150mm OVERLAP.
6. BACKFILL THE TRENCH OVER THE BASE OF THE FABRIC AND COMPACT IT THOROUGHLY OVER THE GEOTEXTILE.

SEDIMENT FENCE — SD 6-8

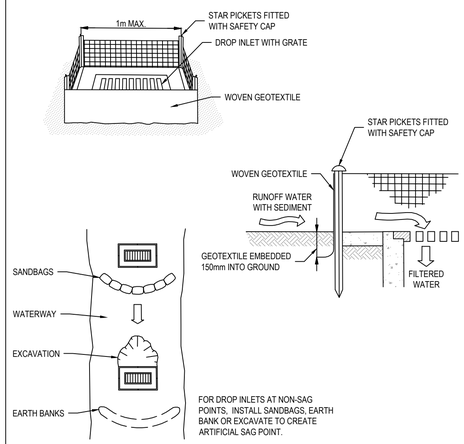


NOTE: THIS PRACTICE ONLY TO BE USED WHERE SPECIFIED IN AN APPROVED SWMP/ESCP

CONSTRUCTION NOTES:

1. INSTALL FILTERS TO KERB INLETS ONLY AT SAG POINTS.
2. FABRICATE A SLEEVE MADE FROM GEOTEXTILE OR WIRE MESH LONGER THAN THE LENGTH OF THE INLET PIT AND FILL IT WITH 25mm TO 50mm GRAVEL.
3. FORM AN ELLIPTICAL CROSS-SECTION ABOUT 150mm HIGH X 400mm WIDE.
4. PLACE THE FILTER AT THE OPENING LEAVING AT LEAST A 100mm SPACE BETWEEN IT AND THE KERB INLET. MAINTAIN THE OPENING WITH SPACER BLOCKS.
5. FORM A SEAL WITH THE KERB TO PREVENT SEDIMENT BYPASSING THE FILTER.
6. SANDBAGS FILLED WITH GRAVEL CAN SUBSTITUTE FOR THE MESH OR GEOTEXTILE PROVIDING THEY ARE PLACED SO THAT THEY FIRMLY ABUT EACH OTHER AND SEDIMENT-LADEN WATERS CANNOT PASS BETWEEN.

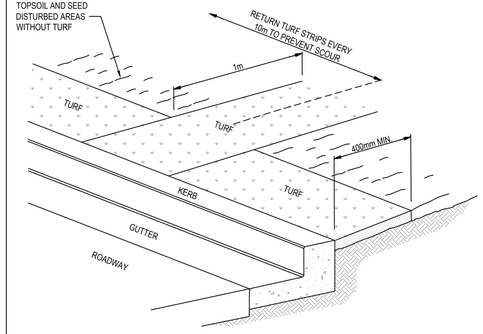
MESH AND GRAVEL INLET FILTER — SD 6-11



CONSTRUCTION NOTES:

1. FABRICATE A SEDIMENT BARRIER MADE FROM GEOTEXTILE OR STRAW BALES.
2. FOLLOW STANDARD DRAWING 6-7 AND STANDARD DRAWING 6-8 FOR INSTALLATION PROCEDURES FOR THE STRAW BALES OR GEOFABRIC. REDUCE THE PICKET SPACING TO 1 METRE CENTRES.
3. IN WATERWAYS, ARTIFICIAL SAG POINTS CAN BE CREATED WITH SANDBAGS OR EARTH BANKS AS SHOWN IN THE DRAWING.
4. DO NOT COVER THE INLET WITH GEOTEXTILE UNLESS THE DESIGN IS ADEQUATE TO ALLOW FOR ALL WATERS TO BYPASS IT.

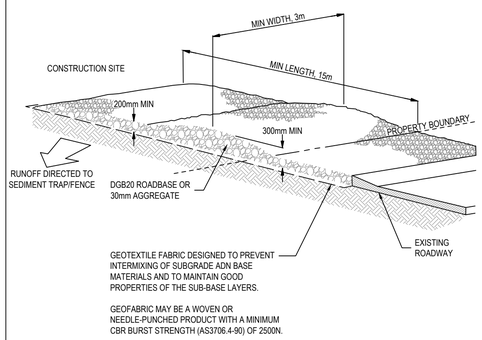
GEOTEXTILE INLET FILTER — SD 6-12



CONSTRUCTION NOTES:

1. INSTALL A 400mm MINIMUM WIDE ROLL OF TURF ON THE FOOTPATH NEXT TO THE KERB AND AT THE SAME LEVEL AS THE TOP OF THE KERB AND LIGHTLY COMPACTED INTO THE TOPSOIL.
2. LAY 1.4 METRE LONG TURF STRIPS NORMAL TO THE KERB EVERY 10 METRES.
3. REHABILITATE DISTURBED SOIL BEHIND THE KERB BY SPREADING 20-25mm THICK LAYER OF TOPSOIL AND BROADCAST SEED MIX AT A RATE OF 0.3kg/10m2, UNLESS SPECIFIED OTHERWISE, TO DISTURBED AREAS WHERE TURF HAS NOT BEEN INSTALLED. SEEDS SHOULD BE SCRATCHED INTO THE SURFACE TO REDUCE THE INCIDENCE OF INGESTION BY BIRDS. IF SEED MIX DOES NOT INCLUDE STARTE FERTILISER, APPLY FERTILISER AT A RATE AS SPECIFIED.

KERBSIDE TURF STRIP — SD 6-13



CONSTRUCTION NOTES:

1. STRIP THE TOPSOIL, LEVEL THE SITE AND COMPACT THE SUBGRADE.
2. COVER THE AREA WITH NEEDLE-PUNCHED GEOTEXTILE.
3. CONSTRUCTION A 200mm THICK PAD OVER THE GEOTEXTILE USING ROAD BASE OR 30mm AGGREGATE.
4. ENSURE THE STRUCTURE IS AT LEAST 15 METRES LONG OR TO BUILDING ALIGNMENT AND AT LEAST 3 METRES WIDE.
5. WHERE A SEDIMENT FENCE JOINS ONTO THE STABILISED ACCESS, CONSTRUCT A HUMP IN THE STABILISED ACCESS TO DIVERT WATER TO THE SEDIMENT FENCE.

STABLISED SITE ACCESS — SD 6-14

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PROJECT:
CIVIL WORKS for
LOT 225, DP 246447
34 WYNDELLA ROAD
LOCHINVAR NSW 2321

DRAWING TITLE:
CIVIL SERVICES
EROSION AND SEDIMENTATION CONTROL DETAILS

DRAWING STATUS: **DA APPROVAL**
NOT TO BE USED FOR CONSTRUCTION

SCALE:	ORIG. SIZE
N.T.S.	A1

DRAWN	DESIGNED	CHECKED	APPROVED	ENDORSED	DATE
MS	KB	AS	KB	--	01.05.25

PROJECT No.	DRAWING No.	REV
23128	C03.02	D

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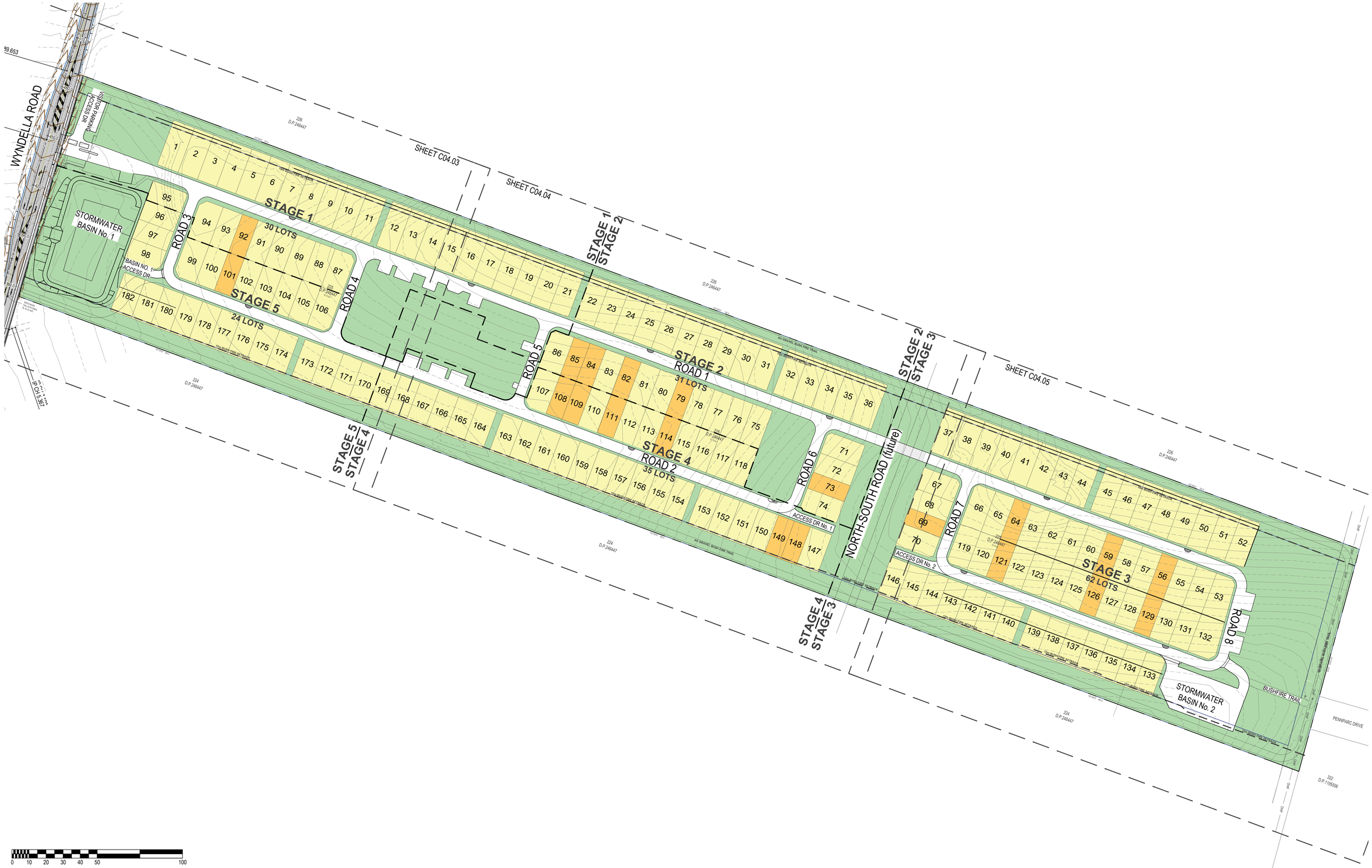

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SCALE METRES 1:1000 @ A1

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WALLACE DESIGN GROUP

PROJECT:
CIVIL WORKS for
LOT 225, DP 246447
34 WYNDELLA ROAD
LOCHINVAR NSW 2321

DRAWING TITLE:
CIVIL SERVICES
GENERAL ARRANGEMENT PLAN

DRAWING STATUS: **DA APPROVAL**
NOT TO BE USED FOR CONSTRUCTION

SCALE:				ORIG. SIZE	
1:1000				A1	
DRAWN	DESIGNED	CHECKED	APPROVED	ENDORSED	DATE
MS	KB	AS	KB	--	01.05.25
PROJECT No.		DRAWING No.			REV
23128		C04.01			D

PLOTTED BY:- KEN DATE:- 2 May 2025 3 34 PM FILENAME:- O:\PROJECTS\2023\23128 - 34 WYNDELLA ROAD, LOCHINVAR\CAD\TITLE\23128_CIV_DA-[E]_34 WYNDELLA ROAD

Volume Summary							
Name	Type	Cut Factor	Fill Factor	2d Area (sq.m)	Cut (Cu. M.)	Fill (Cu. M.)	Net (Cu. M.)
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Totals				
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Total	78324.44	37387.25	70221.17	32833.92<Fill>

* Value adjusted by cut or fill factor other than 1.0

CUT/FILL TABLE BY ELEVATION

Number	Minimum Elevation	Maximum Elevation	Color
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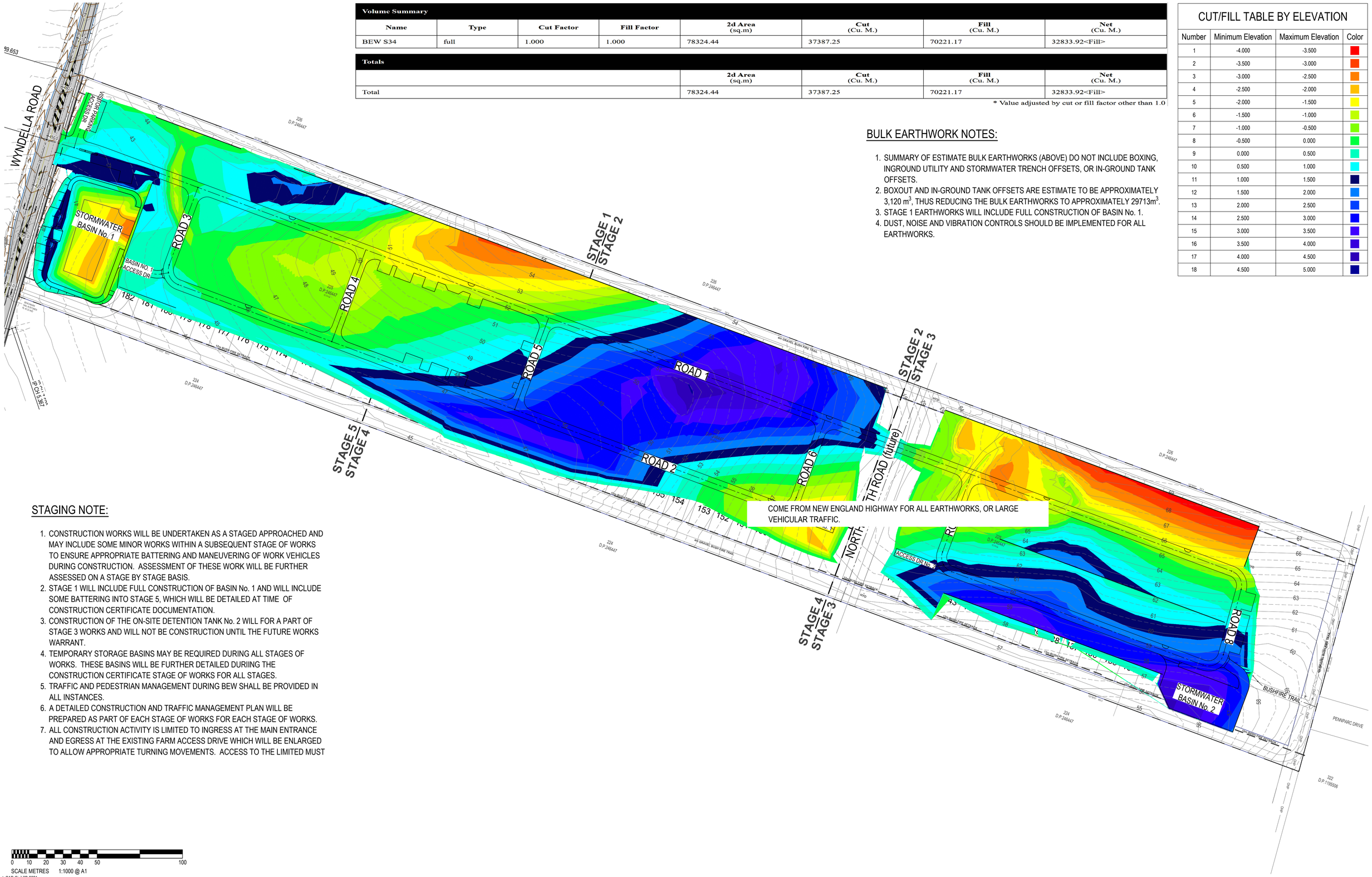
2	-3.500	-3.000	
3	-3.000	-2.500	
4	-2.500	-2.000	
5	-2.000	-1.500	
6	-1.500	-1.000	
7	-1.000	-0.500	
8	-0.500	0.000	
9	0.000	0.500	
10	0.500	1.000	
11	1.000	1.500	
12	1.500	2.000	
13	2.000	2.500	
14	2.500	3.000	
15	3.000	3.500	
16	3.500	4.000	
17	4.000	4.500	
18	4.500	5.000	

BULK EARTHWORK NOTES:

1. SUMMARY OF ESTIMATE BULK EARTHWORKS (ABOVE) DO NOT INCLUDE BOXING, INGROUND UTILITY AND STORMWATER TRENCH OFFSETS, OR IN-GROUND TANK OFFSETS.
2. BOXOUT AND IN-GROUND TANK OFFSETS ARE ESTIMATE TO BE APPROXIMATELY 3,120 m^3, THUS REDUCING THE BULK EARTHWORKS TO APPROXIMATELY 29713m^3.
3. STAGE 1 EARTHWORKS WILL INCLUDE FULL CONSTRUCTION OF BASIN No. 1.
4. DUST, NOISE AND VIBRATION CONTROLS SHOULD BE IMPLEMENTED FOR ALL EARTHWORKS.



STAGING NOTE:

1. CONSTRUCTION WORKS WILL BE UNDERTAKEN AS A STAGED APPROACHED AND MAY INCLUDE SOME MINOR WORKS WITHIN A SUBSEQUENT STAGE OF WORKS TO ENSURE APPROPRIATE BATTERING AND MANEUVERING OF WORK VEHICLES DURING CONSTRUCTION. ASSESSMENT OF THESE WORK WILL BE FURTHER ASSESSED ON A STAGE BY STAGE BASIS.
2. STAGE 1 WILL INCLUDE FULL CONSTRUCTION OF BASIN No. 1 AND WILL INCLUDE SOME BATTERING INTO STAGE 5, WHICH WILL BE DETAILED AT TIME OF CONSTRUCTION CERTIFICATE DOCUMENTATION.
3. CONSTRUCTION OF THE ON-SITE DETENTION TANK No. 2 WILL FOR A PART OF STAGE 3 WORKS AND WILL NOT BE CONSTRUCTION UNTIL THE FUTURE WORKS WARRANT.
4. TEMPORARY STORAGE BASINS MAY BE REQUIRED DURING ALL STAGES OF WORKS. THESE BASINS WILL BE FURTHER DETAILED DURIING THE CONSTRUCTION CERTIFICATE STAGE OF WORKS FOR ALL STAGES.
5. TRAFFIC AND PEDESTRIAN MANAGEMENT DURING BEW SHALL BE PROVIDED IN ALL INSTANCES.
6. A DETAILED CONSTRUCTION AND TRAFFIC MANAGEMENT PLAN WILL BE PREPARED AS PART OF EACH STAGE OF WORKS FOR EACH STAGE OF WORKS.
7. ALL CONSTRUCTION ACTIVITY IS LIMITED TO INGRESS AT THE MAIN ENTRANCE AND EGRESS AT THE EXISTING FARM ACCESS DRIVE WHICH WILL BE ENLARGED TO ALLOW APPROPRIATE TURNING MOVEMENTS. ACCESS TO THE LIMITED MUST

0 10 20 30 40 50 100

SCALE METRES 1:1000 @ A1

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D	LEC AMENDMENTS	01.05.25	K.B.	
C	COUNCIL AMENDMENTS - S34 OUTCOMES	28.11.24	K.B.	
B	COUNCIL AMENDMENTS - PREL S34	19.08.24	K.B.	
A	ISSUED FOR DA APPROVAL	02.02.24	K.B.	

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WALLACE DESIGN GROUP

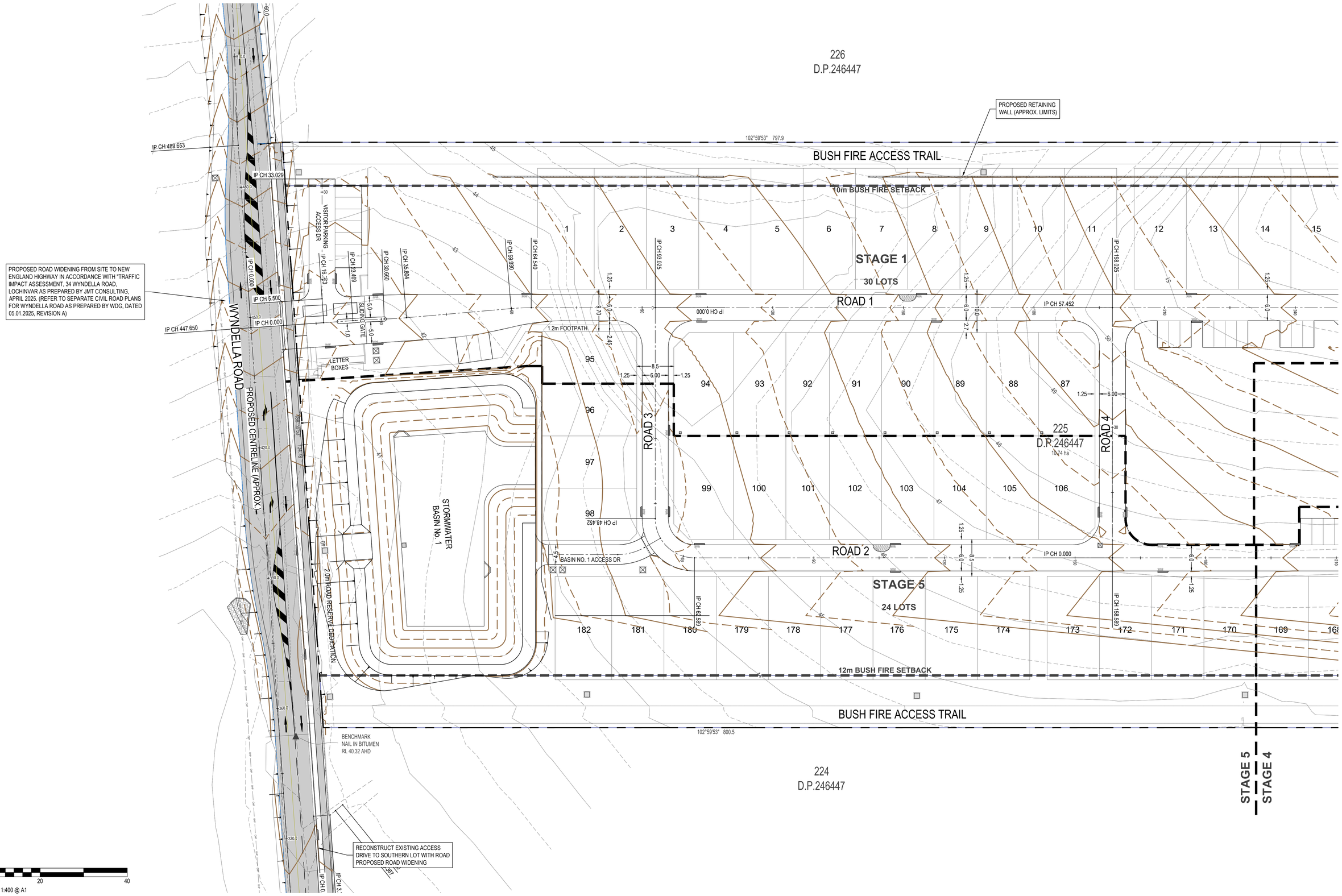
PROJECT:
CIVIL WORKS for
LOT 225, DP 246447
34 WYNDELLA ROAD
LOCHINVAR NSW 2321

DRAWING TITLE:
CIVIL SERVICES
BULK EARTHWORKS PLAN

DRAWING STATUS: **DA APPROVAL**
NOT TO BE USED FOR CONSTRUCTION

SCALE:				ORIG. SIZE
1:1000				A1
DRAWN	DESIGNED	CHECKED	APPROVED	ENDORSED	DATE
MS	KB	AS	KB	--	01.05.25
PROJECT No.		DRAWING No.		REV
23128		C04.02		D

PLOTTED BY:- KEN DATE:- 2 May 2025 3 34 PM FILENAME:- O:\PROJECTS\2023\23128 - 34 WYNDELLA ROAD, LOCHINVAR\CAD\TITLE\23128_CIV_DA-[E]_34 WYNDELLA ROAD



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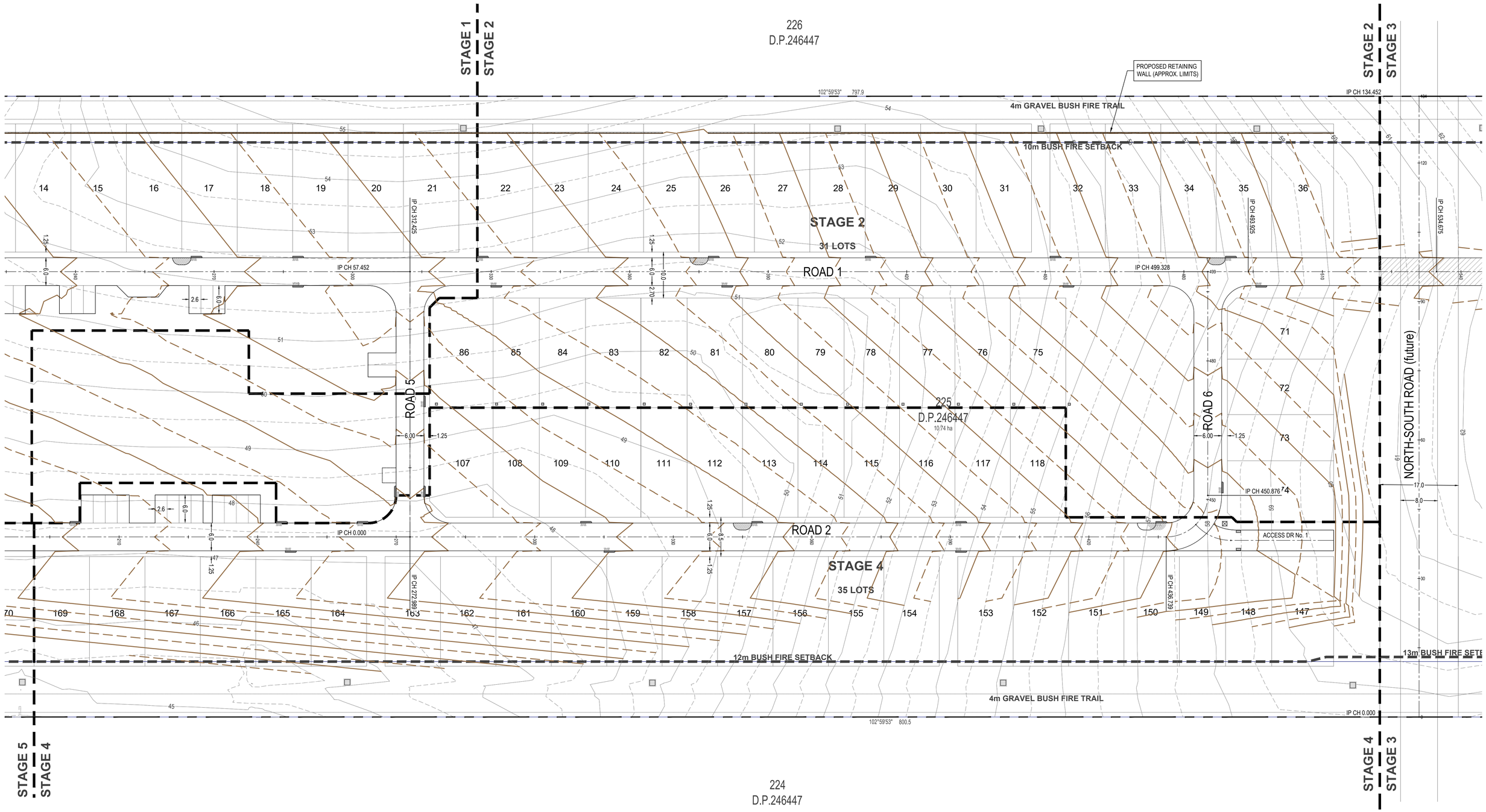
PROJECT:
CIVIL WORKS for
LOT 225, DP 246447
34 WYNDELLA ROAD
LOCHINVAR NSW 2321

DRAWING TITLE:
CIVIL SERVICES
ROAD PLAN (1 OF 3)

DRAWING STATUS: **DA APPROVAL**
NOT TO BE USED FOR CONSTRUCTION

SCALE:				ORIG. SIZE
1:400				A1
DRAWN	DESIGNED	CHECKED	APPROVED	ENDORSED	DATE
MS	KB	AS	KB	--	01.05.25
PROJECT No.	DRAWING No.	REV
23128	C04.03	D

PLOTTED BY:- KEN DATE:- 2 May 2025 3 34 PM FILENAME:- O:\PROJECTS\2023\23128 - 34 WYNDELLA ROAD, LOCHINVAR\CAD\TITLE\23128_CIV_DA-[E]_34 WYNDELLA ROAD



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PROJECT:
CIVIL WORKS for
LOT 225, DP 246447
34 WYNDELLA ROAD
LOCHINVAR NSW 2321

DRAWING TITLE:
CIVIL SERVICES
ROAD (2 OF 3)

DRAWING STATUS **DA APPROVAL**
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1:400				A1	
DRAWN	DESIGNED	CHECKED	APPROVED	ENDORSED	DATE
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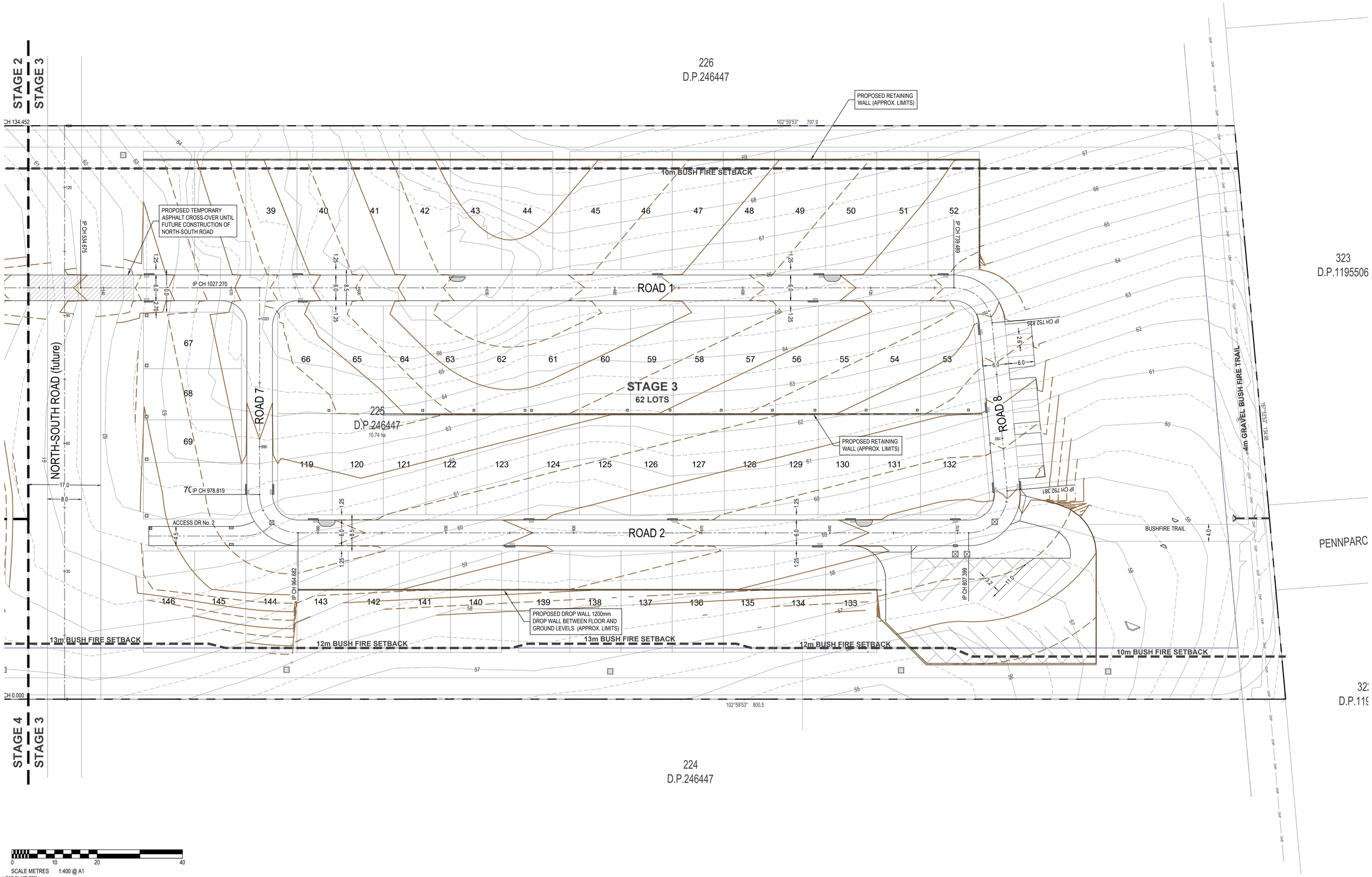
PROJECT No.		DRAWING No.			REV
23128		C04.04			D

PLOTTED BY:- KEN DATE:- 2 May 2025 3 34 PM FILENAME:- O:\PROJECTS\2023\23128 - 34 WYNDELLA ROAD, LOCHINVAR\CAD\TITLE\23128_CIV_DA-[E]_34 WYNDELLA ROAD



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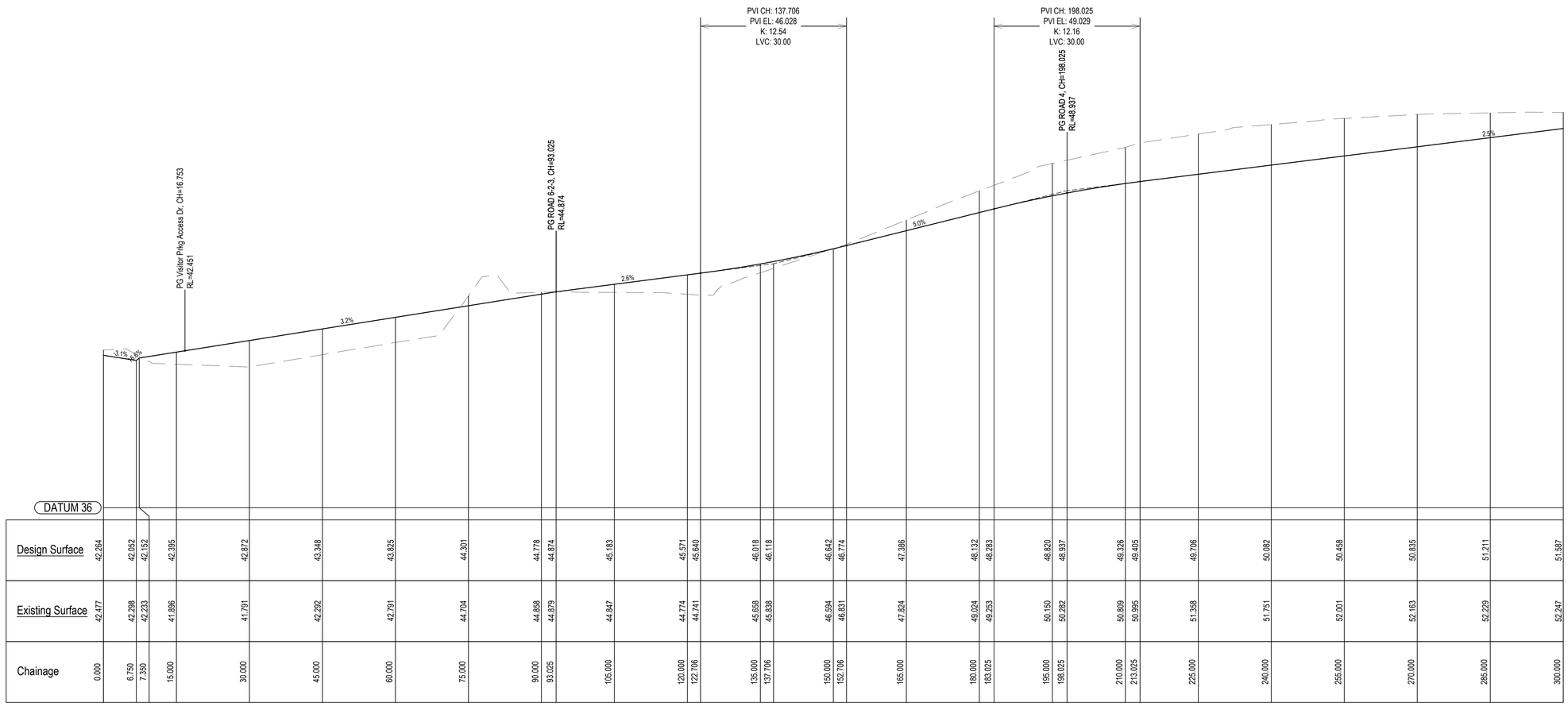
PROJECT:
CIVIL WORKS for
LOT 225, DP 246447
34 WYNDELLA ROAD
LOCHINVAR NSW 2321

DRAWING TITLE:
CIVIL SERVICES
ROAD PLAN (3 OF 3)

DRAWING STATUS: **DA APPROVAL**
NOT TO BE USED FOR CONSTRUCTION

SCALE:				ORIG. SIZE	
1:400				A1	
DRAWN	DESIGNED	CHECKED	APPROVED	ENDORSED	DATE
MS	KB	AS	KB	--	01.05.25
PROJECT No.		DRAWING No.			REV
23128		C04.05			D

PLOTTED BY:- KEN DATE:- 2 May 2025 3 34 PM FILENAME:- O:\PROJECTS\2023\23128 - 34 WYNDELLA ROAD, LOCHINVAR\CAD\TITLE\23128_CIV_DA-[E]_34 WYNDELLA ROAD



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Existing Surface	42.477	42.298	42.233	41.896	41.791	42.292	42.791	44.704	44.858	44.879	44.847	44.774	44.741	45.658	45.838	46.594	46.831	47.824	49.024	49.253	50.150	50.282	50.809	50.995	51.358	51.751	52.001	52.163	52.229	52.247
Chainage	0.000	6.750	7.350	15.000	30.000	45.000	60.000	75.000	90.000	93.025	105.000	120.000	122.706	135.000	137.706	150.000	152.706	165.000	180.000	183.025	195.000	198.025	210.000	213.025	225.000	240.000	255.000	270.000	285.000	300.000

LONGITUDINAL SECTION
ROAD 1-8-2-7

0 2 4 5 10
SCALE METRES 1:100 @ A1 (V)

0 5 10 15 20 25 50
SCALE METRES 1:500 @ A1 (H)

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web: www.wdegroup.com.au

PROJECT:
CIVIL WORKS for
LOT 225, DP 246447
34 WYNDELLA ROAD
LOCHINVAR NSW 2321

DRAWING TITLE:
CIVIL SERVICES
ROAD 1-8-2 AND 9
LONGITUDINAL SECTIONS (1 OF 4)

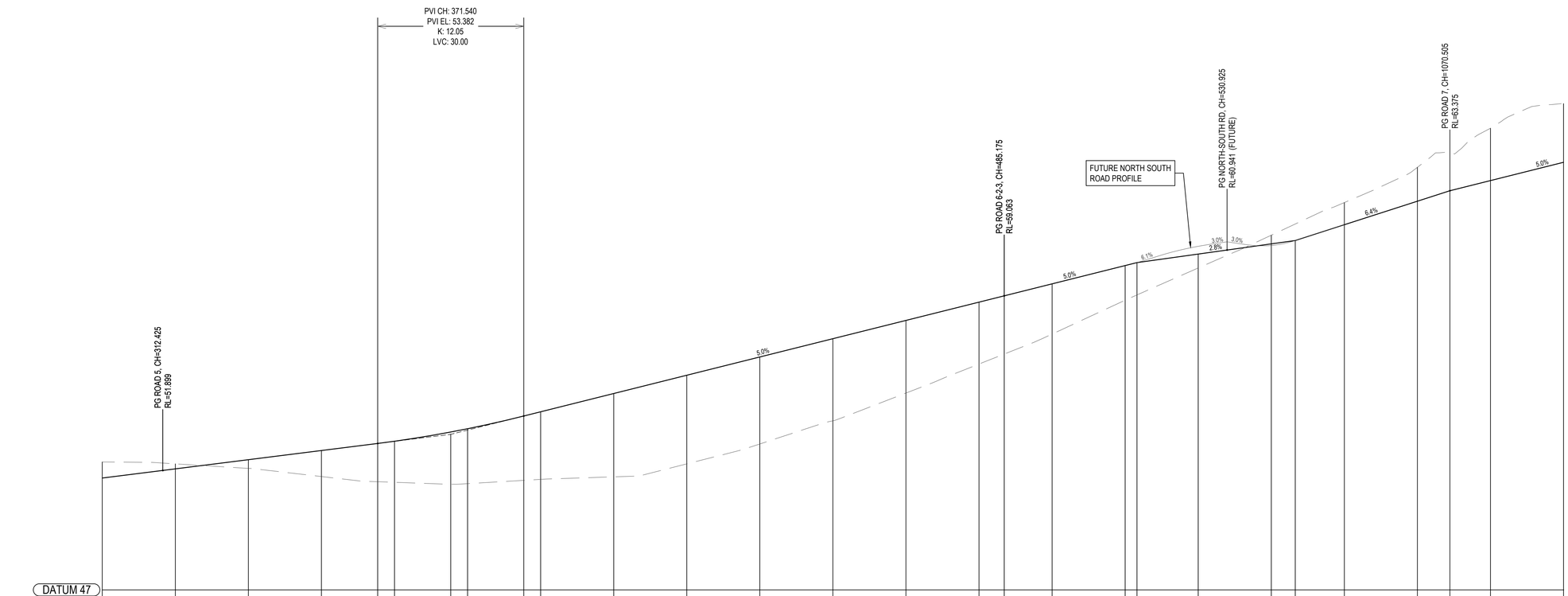
DRAWING STATUS: **DA APPROVAL**
NOT TO BE USED FOR CONSTRUCTION

SCALE:	ORIG. SIZE
AS SHOWN	A1

DRAWN	DESIGNED	CHECKED	APPROVED	ENDORSED	DATE
MS	KB	AS	KB	--	01.05.25

PROJECT No.	DRAWING No.	REV
23128	C04.06	D

PLOTTED BY:- KEN DATE:- 2 May 2025 3 34 PM FILENAME:- O:\PROJECTS\2023\23128 - 34 WYNDELLA ROAD, LOCHINVAR\CAD\TITLE\23128_CIV_DA-[E]_34 WYNDELLA ROAD



Design Surface	51.587	51.964	52.340	52.716	53.006	53.098	53.476	53.610	54.132	54.305	55.055	55.805	56.555	57.304	58.054	58.804	59.063	59.554	60.304	60.425	60.776	61.194	61.331	61.979	62.945	63.375	63.791	64.541
Existing Surface	52.247	52.171	51.986	51.650	51.437	51.413	51.335	51.358	51.492	51.532	51.637	52.169	52.985	53.936	55.074	56.265	56.674	57.494	58.883	59.100	60.205	61.549	62.010	62.888	64.334	64.942	65.936	66.955
Chainage	300.000	315.000	330.000	345.000	356.540	360.000	371.540	375.000	386.540	390.000	405.000	420.000	435.000	450.000	465.000	480.000	485.175	495.000	510.000	512.425	525.000	540.000	544.925	555.000	570.000	576.675	585.000	600.000

LONGITUDINAL SECTION
ROAD 1-8-2-7

0 2 4 5 10
SCALE METRES 1:100 @ A1 (V)

0 5 10 15 20 25 50
SCALE METRES 1:500 @ A1 (H)

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PROJECT:
CIVIL WORKS for
LOT 225, DP 246447
34 WYNDELLA ROAD
LOCHINVAR NSW 2321

DRAWING TITLE:
CIVIL SERVICES
ROAD 1-8-2 AND 9
LONGITUDINAL SECTIONS (2 OF 4)

DRAWING STATUS **DA APPROVAL**
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SCALE:	ORIG. SIZE
AS SHOWN	A1

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MS	KB	AS	KB	--	01.05.25

PROJECT No.	DRAWING No.	REV
23128	C04.07	D

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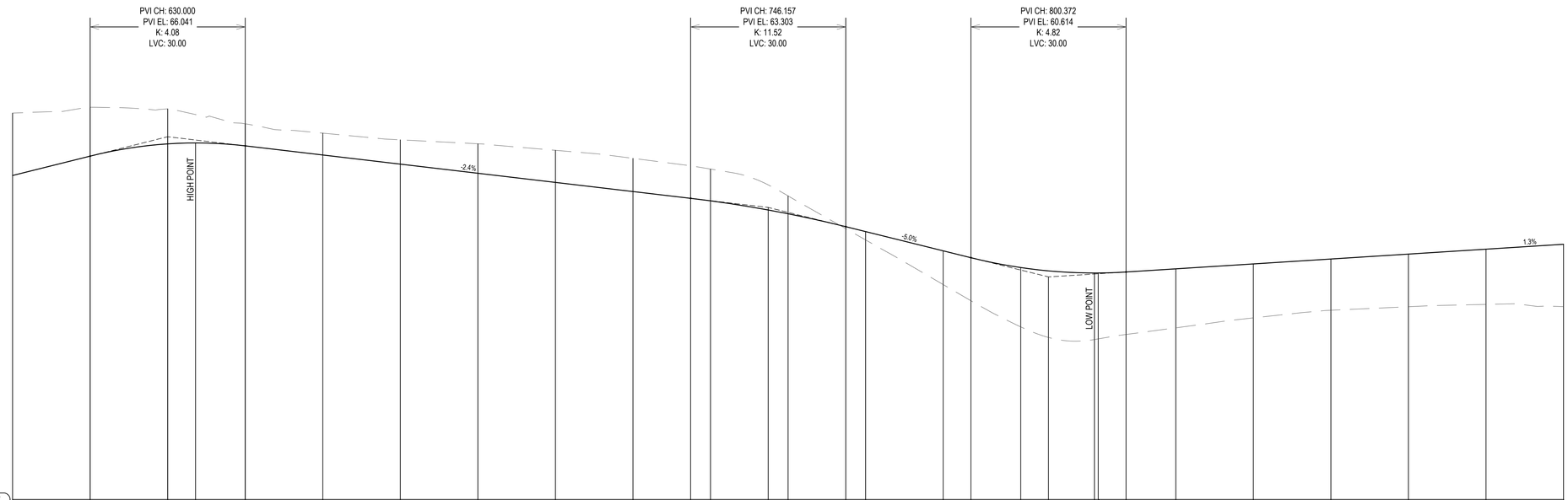

DATUM 52

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Existing Surface	66.955	67.183	67.120	66.900	66.542	66.180	65.920	65.769	65.516	65.204	64.916	64.790	64.177	63.751	62.482	62.046	60.318	59.691	58.679	58.270	58.190	58.215	58.386	58.642	59.028	59.324	59.459	59.550	59.463
Chainage	600.000	615.000	630.000	635.389	645.000	660.000	675.000	690.000	705.000	720.000	731.157	735.000	746.157	750.000	761.157	765.000	780.000	789.372	795.000	800.372	809.260	810.000	815.372	825.000	840.000	855.000	870.000	885.000	900.000

LONGITUDINAL SECTION
ROAD 1-8-2-7

0 2 4 5 10
SCALE METRES 1:100 @ A1 (V)

0 5 10 15 20 25 50
SCALE METRES 1:500 @ A1 (H)

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WALLACE INFRASTRUCTURE DESIGN PTY LTD
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phone: (02) 49 294 109
email: mail@wdegroup.com.au
web: www.wdegroup.com.au
WALLACE DESIGN GROUP

PROJECT:
CIVIL WORKS for
LOT 225, DP 246447
34 WYNDELLA ROAD
LOCHINVAR NSW 2321

DRAWING TITLE:
CIVIL SERVICES
ROAD 1-8-2 AND 9
LONGITUDINAL SECTIONS (3 OF 4)

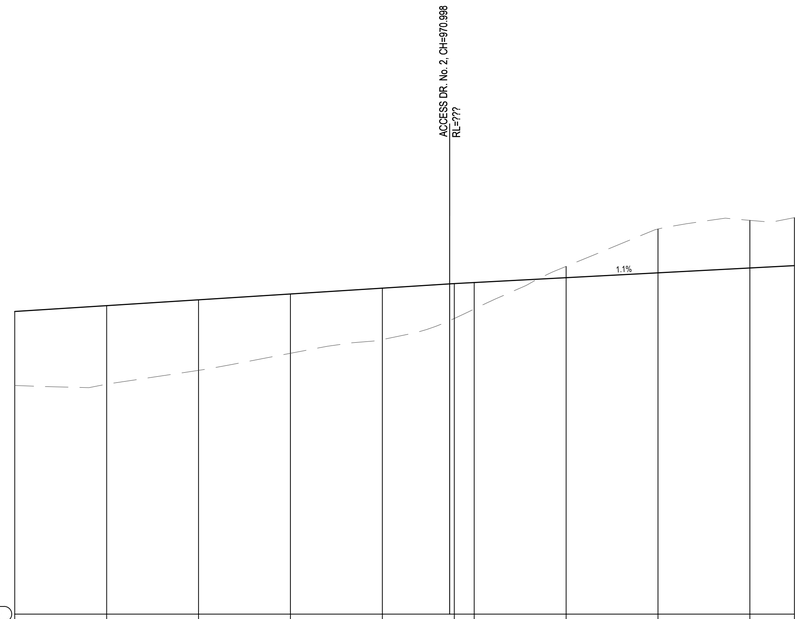
DRAWING STATUS: **DA APPROVAL**
NOT TO BE USED FOR CONSTRUCTION

SCALE:	ORIG. SIZE
AS SHOWN	A1

DRAWN	DESIGNED	CHECKED	APPROVED	ENDORSED	DATE
MS	KB	AS	KB	--	01.05.25

PROJECT No.	DRAWING No.	REV
23128	C04.08	D

PLOTTED BY:- KEN DATE:- 2 May 2025 3 34 PM FILENAME:- O:\PROJECTS\2023\23128 - 34 WYNDELLA ROAD, LOCHINVAR\CAD\TITLE\23128_CIV_DA-[E]_34 WYNDELLA ROAD



Design Surface	61.878	62.069	62.259	62.450	62.640	62.789	62.823	62.982	63.140	63.298	63.375
Existing Surface	59.463	59.506	59.956	60.513	60.961	61.649	61.959	63.350	64.570	64.852	64.942
Chainage	900.000	915.000	930.000	945.000	960.000	971.750	975.000	990.000	1005.000	1020.000	1027.270

LONGITUDINAL SECTION
ROAD 1-8-2-7

0 2 4 5 10
SCALE METRES 1:100 @ A1 (V)

0 5 10 15 20 25 50
SCALE METRES 1:500 @ A1 (H)

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REV	DESCRIPTION	DATE	APPV'D	ENDO'D
D	LEC AMENDMENTS	01.05.25	K.B.	
C	COUNCIL AMENDMENTS - S34 OUTCOMES	28.11.24	K.B.	
B	COUNCIL AMENDMENTS - PREL S34	19.08.24	K.B.	
A	ISSUED FOR DA APPROVAL	02.02.24	K.B.	

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PROJECT:
CIVIL WORKS for
LOT 225, DP 246447
34 WYNDELLA ROAD
LOCHINVAR NSW 2321

DRAWING TITLE:
CIVIL SERVICES
ROAD 1-8-2 AND 9
LONGITUDINAL SECTIONS (4 OF 4)

DRAWING STATUS: **DA APPROVAL**
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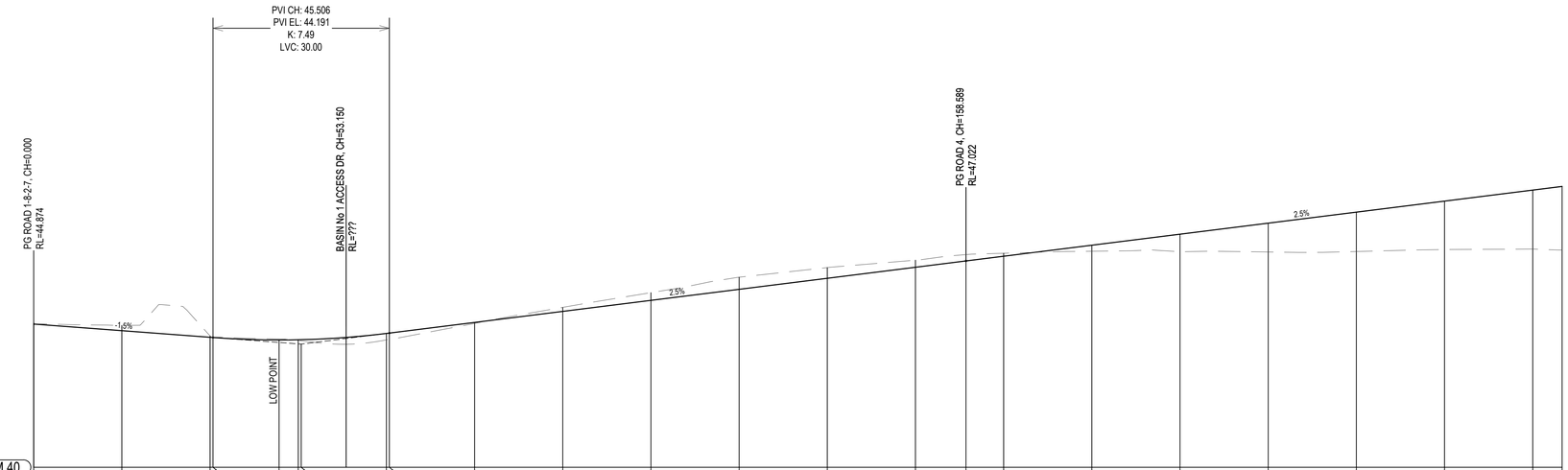
SCALE:	ORIG. SIZE
AS SHOWN	A1

DRAWN	DESIGNED	CHECKED	APPROVED	ENDORSED	DATE
MS	KB	AS	KB	--	01.05.25

PROJECT No.	DRAWING No.	REV
23128	C04.09	D

PLOTTED BY:- KEN DATE:- 2 May 2025 3 34 PM FILENAME:- O:\PROJECTS\2023\23128 - 34 WYNDELLA ROAD, LOCHINVAR\CAD\TITLE\23128_CIV_DA-[E]_34 WYNDELLA ROAD



Design Surface	44.874	44.649	44.424	44.416	44.332	44.339	44.342	44.554	44.567	44.930	45.305	45.681	46.056	46.432	46.807	47.022	47.183	47.558	47.933	48.308	48.683	49.058	49.433	49.558
Existing Surface	44.879	44.826	44.469	44.431	44.369	44.308	44.297	44.336	44.352	44.894	45.443	45.943	46.468	46.796	47.049	47.237	47.284	47.352	47.336	47.326	47.343	47.410	47.426	47.395
Chainage	0.000	15.000	30.000	30.506	41.746	45.000	45.506	60.000	60.506	75.000	90.000	105.000	120.000	135.000	150.000	158.589	165.000	180.000	195.000	210.000	225.000	240.000	255.000	280.000

LONGITUDINAL SECTION
ROAD 6-2-3

0 2 4 5 10
SCALE METRES 1:100 @ A1 (V)

0 5 10 15 20 25 50
SCALE METRES 1:500 @ A1 (H)

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C	COUNCIL AMENDMENTS - S34 OUTCOMES	28.11.24	K.B.	
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WALLACE DESIGN GROUP

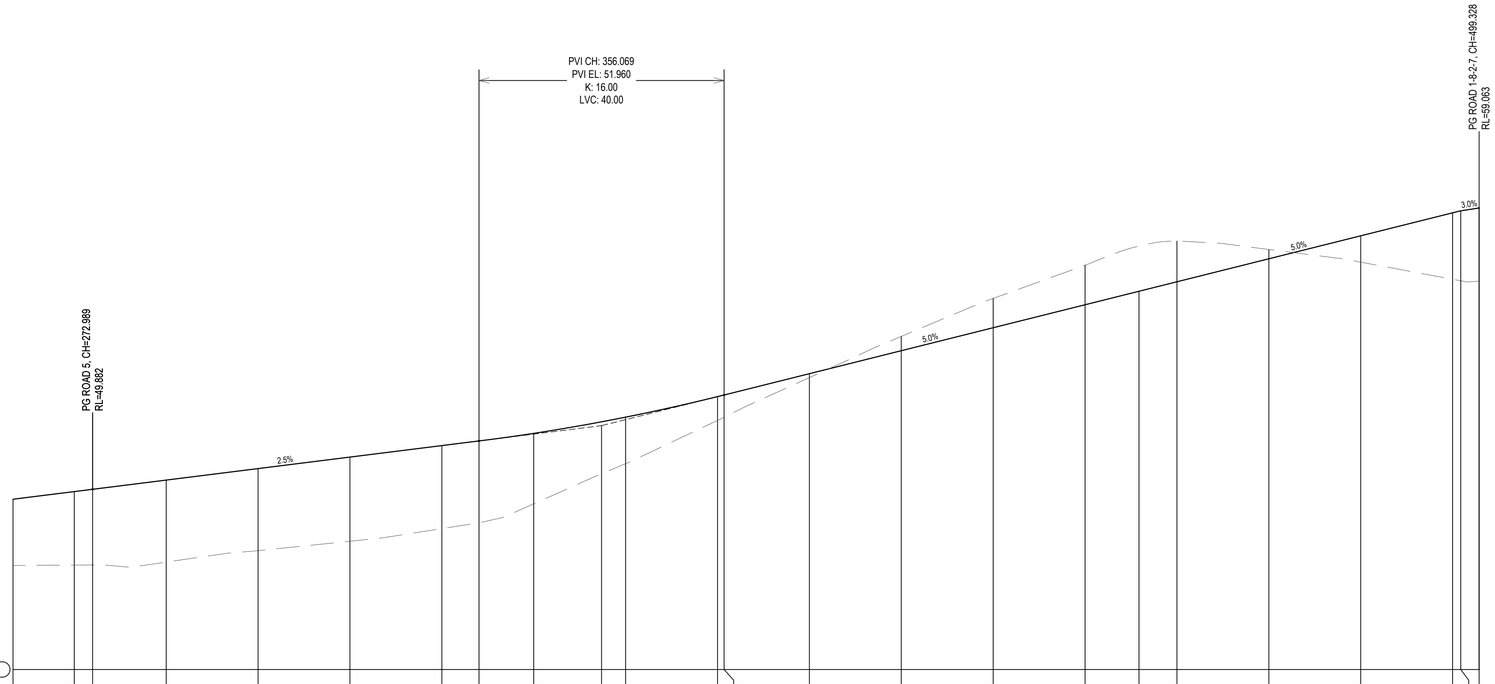
PROJECT:
CIVIL WORKS for
LOT 225, DP 246447
34 WYNDELLA ROAD
LOCHINVAR NSW 2321

DRAWING TITLE:
CIVIL SERVICES
ROAD 6-2 AND 3
LONGITUDINAL SECTIONS (1 OF 2)

DRAWING STATUS: **DA APPROVAL**
NOT TO BE USED FOR CONSTRUCTION

SCALE:				ORIG. SIZE	
AS SHOWN				A1	
DRAWN	DESIGNED	CHECKED	APPROVED	ENDORSED	DATE
MS	KB	AS	KB	--	01.05.25
PROJECT No.		DRAWING No.		REV	
23128		C04.10		D	

PLOTTED BY:- KEN DATE:- 2 May 2025 3 34 PM FILENAME:- O:\PROJECTS\2023\23128 - 34 WYNDELLA ROAD, LOCHINVAR\CAD\TITLE\23128_CIV_DA-[E]_34 WYNDELLA ROAD



Design Surface	49.558	49.808	49.882	50.183	50.558	50.933	51.308	51.460	51.708	52.085	52.237	52.906	52.960	53.656	54.406	55.156	55.906	56.347	56.656	57.406	58.156	58.996	58.973	59.663
Existing Surface	47.395	47.408	47.412	47.505	47.879	48.186	48.598	48.787	49.407	50.393	50.718	52.130	52.235	53.528	54.873	56.113	57.197	57.822	57.983	57.710	57.297	56.738	56.688	56.674
Chainage	260.000	270.000	272.989	285.000	300.000	315.000	330.000	336.069	345.000	356.069	360.000	375.000	376.069	390.000	405.000	420.000	435.000	443.808	450.000	465.000	480.000	495.000	496.328	499.328

LONGITUDINAL SECTION
ROAD 6-2-3

0 2 4 5 10
SCALE METRES 1:100 @ A1 (V)

0 5 10 15 20 25 50
SCALE METRES 1:500 @ A1 (H)

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REV	DESCRIPTION	DATE	APPV'D	ENDO'D
D	LEC AMENDMENTS	01.05.25	K.B.	
C	COUNCIL AMENDMENTS - S34 OUTCOMES	28.11.24	K.B.	
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WALLACE DESIGN GROUP

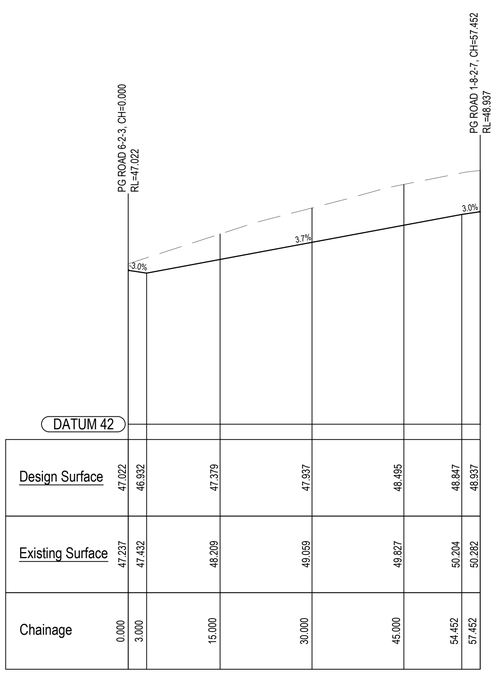
PROJECT:
CIVIL WORKS for
LOT 225, DP 246447
34 WYNDELLA ROAD
LOCHINVAR NSW 2321

DRAWING TITLE:
CIVIL SERVICES
ROAD 6-2 AND 3
LONGITUDINAL SECTIONS (2 OF 2)

DRAWING STATUS: **DA APPROVAL**
NOT TO BE USED FOR CONSTRUCTION

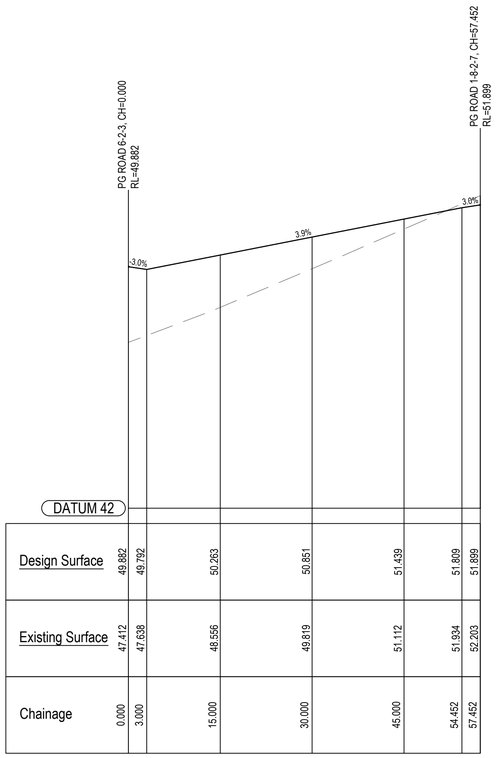
SCALE:				ORIG. SIZE	
AS SHOWN				A1	
DRAWN	DESIGNED	CHECKED	APPROVED	ENDORSED	DATE
MS	KB	AS	KB	--	01.05.25
PROJECT No.		DRAWING No.			REV
23128		C04.11			D

PLOTTED BY:- KEN DATE:- 2 May 2025 3 34 PM FILENAME:- O:\PROJECTS\2023\23128 - 34 WYNDELLA ROAD, LOCHINVAR\CAD\TITLE\23128_CIV_DA-[E]_34 WYNDELLA ROAD



Design Surface	47.022	46.932	47.379	47.937	48.495	48.847	48.937
Existing Surface	47.237	47.432	48.209	49.059	49.827	50.204	50.282
Chainage	0.000	3.000	15.000	30.000	45.000	54.452	57.452

LONGITUDINAL SECTION
ROAD 4



Design Surface	49.882	49.792	50.263	50.851	51.439	51.809	51.899
Existing Surface	47.412	47.638	48.556	49.819	51.112	51.934	52.203
Chainage	0.000	3.000	15.000	30.000	45.000	54.452	57.452

LONGITUDINAL SECTION
ROAD 5

0 2 4 5 10
SCALE METRES 1:100 @ A1 (V)

0 5 10 15 20 25 50
SCALE METRES 1:500 @ A1 (H)

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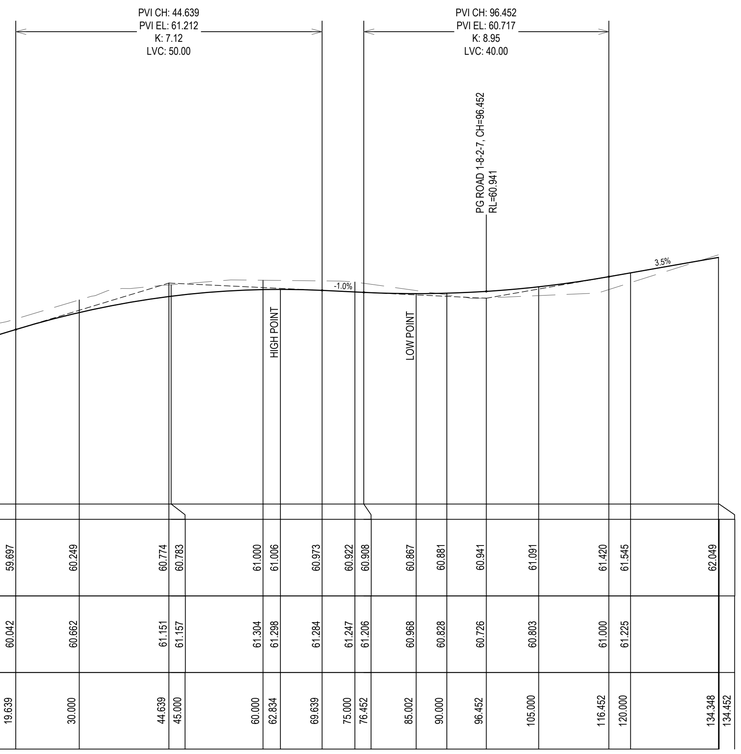
PROJECT:
CIVIL WORKS for
LOT 225, DP 246447
34 WYNDELLA ROAD
LOCHINVAR NSW 2321

DRAWING TITLE:
CIVIL SERVICES
ROAD 4 AND 5
LONGITUDINAL SECTIONS

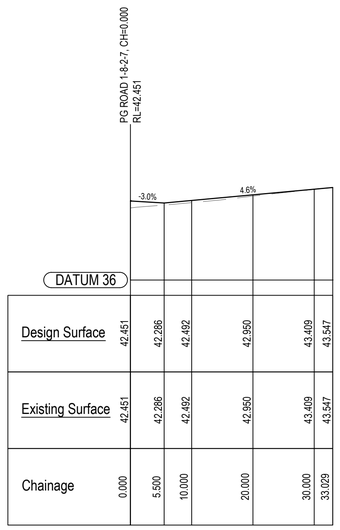
DRAWING STATUS: **DA APPROVAL**
NOT TO BE USED FOR CONSTRUCTION

SCALE:				ORIG. SIZE	
AS SHOWN				A1	
DRAWN	DESIGNED	CHECKED	APPROVED	ENDORSED	DATE
MS	KB	AS	KB	--	01.05.25
PROJECT No.		DRAWING No.			REV
23128		C04.12			D

PLOTTED BY:- KEN DATE:- 2 May 2025 3:34 PM FILENAME:- O:\PROJECTS\2023\23128 - 34 WYNDELLA ROAD, LOCHINVAR\CAD\TITLE\23128_CIV_DA-[E]_34 WYNDELLA ROAD



LONGITUDINAL SECTION
NORTH-SOUTH ROAD



LONGITUDINAL SECTION
VISITOR PARKING ACCESS DR.

0 2 4 5 10
SCALE METRES 1:100 @ A1 (V)

0 5 10 15 20 25 50
SCALE METRES 1:500 @ A1 (H)

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LOT 225, DP 246447
34 WYNDELLA ROAD
LOCHINVAR NSW 2321

DRAWING TITLE:
CIVIL SERVICES
NORTH-SOUTH ROAD AND VISITOR PARKING ACCESS DR. LONGITUDINAL SECTIONS

DRAWING STATUS: **DA APPROVAL**
NOT TO BE USED FOR CONSTRUCTION

SCALE:				ORIG. SIZE	
AS SHOWN				A1	
DRAWN	DESIGNED	CHECKED	APPROVED	ENDORSED	DATE
MS	KB	AS	KB	--	01.05.25
PROJECT No.	DRAWING No.				REV
23128	C04.13				D

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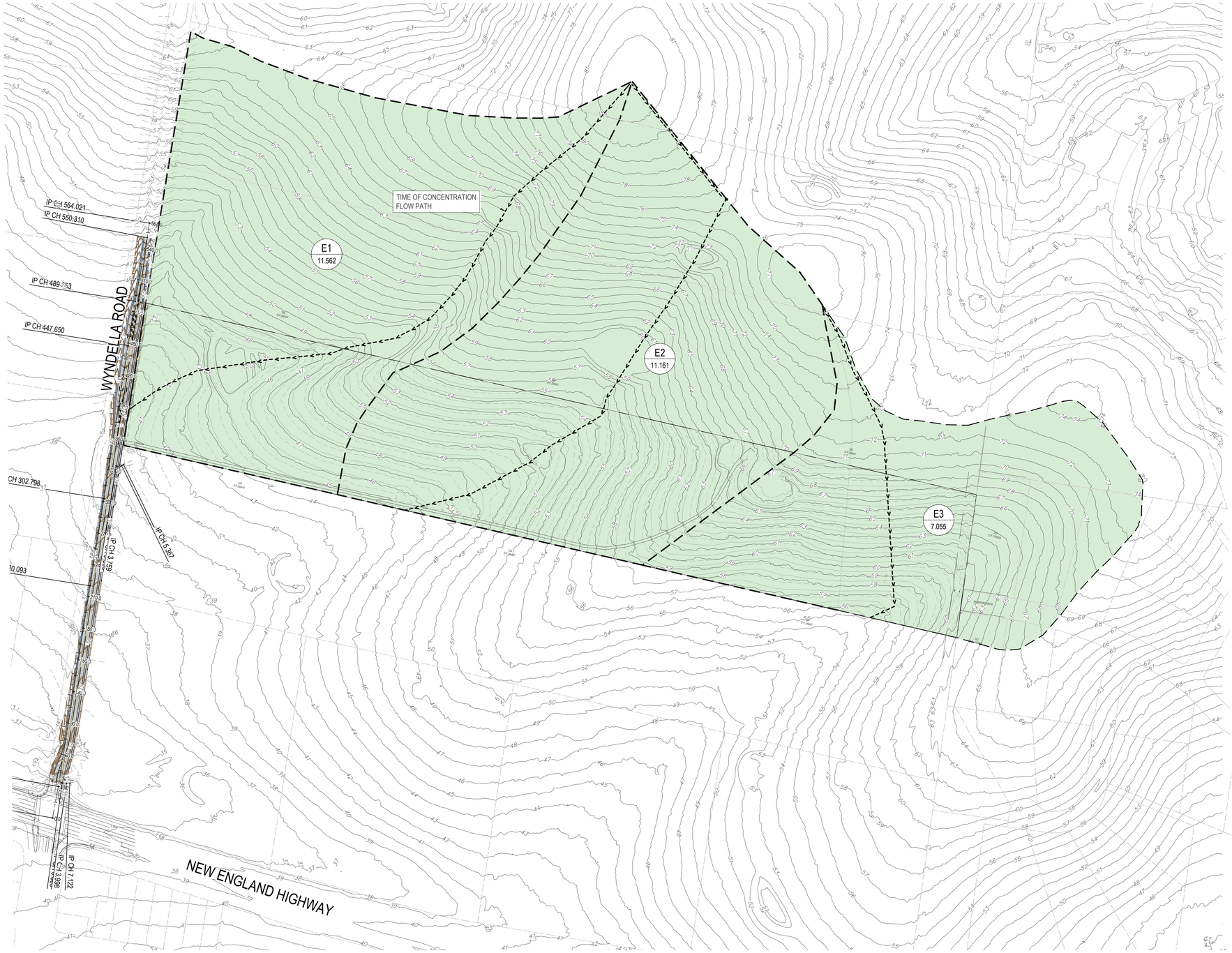

0 20 40 60 80 100 200

SCALE METRES 1:2000 @ A1

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PROJECT:
CIVIL WORKS for
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34 WYNDELLA ROAD
LOCHINVAR NSW 2321

DRAWING TITLE:
CIVIL SERVICES
EXISTING STORMWATER CATCHMENT PLAN

DRAWING STATUS: **DA APPROVAL**
NOT TO BE USED FOR CONSTRUCTION

SCALE:	ORIG. SIZE
1:2000	A1

DRAWN	DESIGNED	CHECKED	APPROVED	ENDORSED	DATE
MS	KB	AS	KB	--	01.05.25

PROJECT No.	DRAWING No.	REV
23128	C05.01	D

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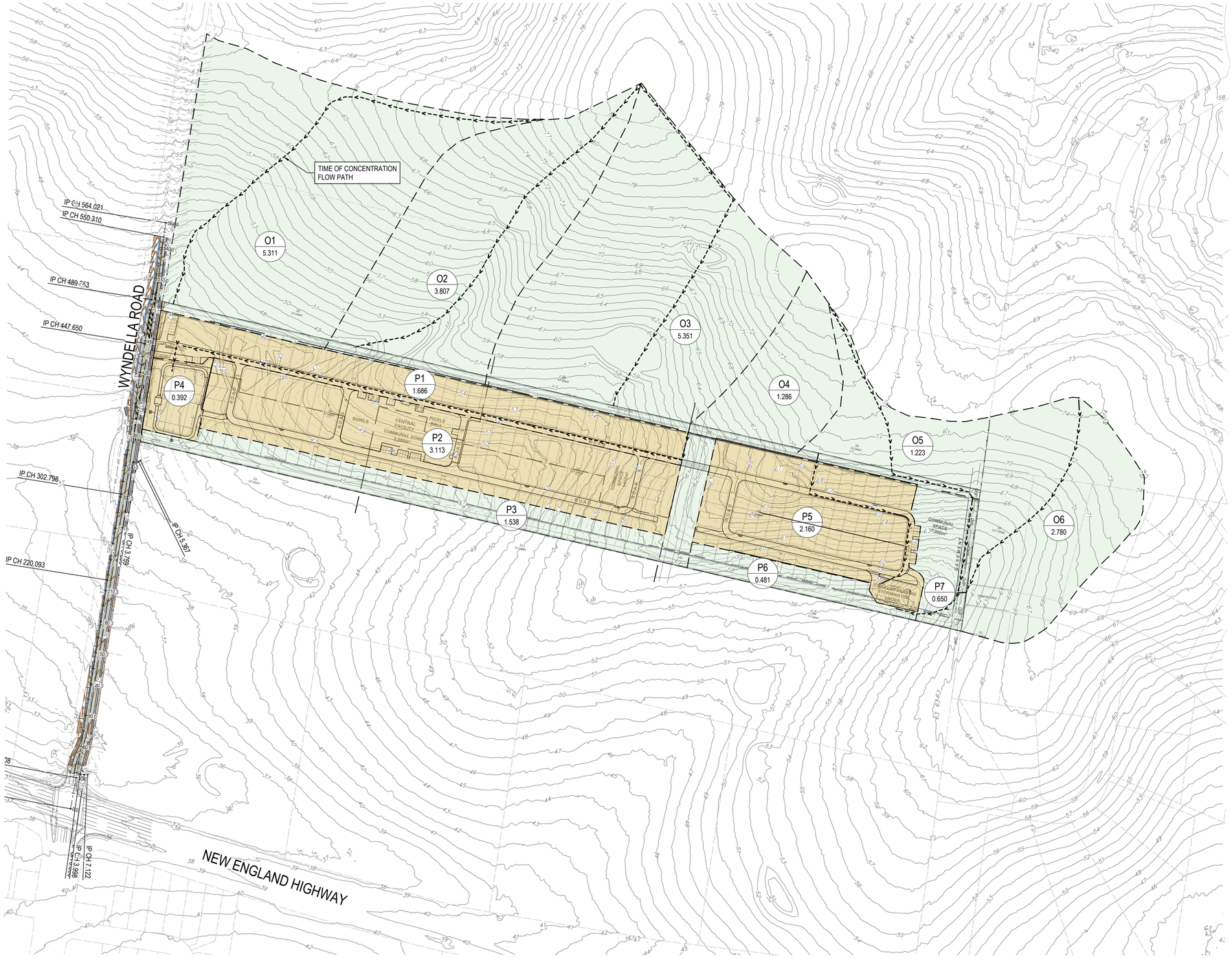

0 20 40 60 80 100 200

SCALE METRES 1:2000 @ A1

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C	COUNCIL AMENDMENTS - S34 OUTCOMES	28.11.24	K.B.	
B	COUNCIL AMENDMENTS - PREL S34	19.08.24	K.B.	
A	ISSUED FOR DA APPROVAL	02.02.24	K.B.	

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PROJECT:
CIVIL WORKS for
LOT 225, DP 246447
34 WYNDELLA ROAD
LOCHINVAR NSW 2321

DRAWING TITLE:
CIVIL SERVICES
DEVELOPED STORMWATER CATCHMENT PLAN

DRAWING STATUS: **DA APPROVAL**
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SCALE:	ORIG. SIZE
1:2000	A1

DRAWN	DESIGNED	CHECKED	APPROVED	ENDORSED	DATE
MS	KB	AS	KB	--	01.05.25

PROJECT No.	DRAWING No.	REV
23128	C05.02	D

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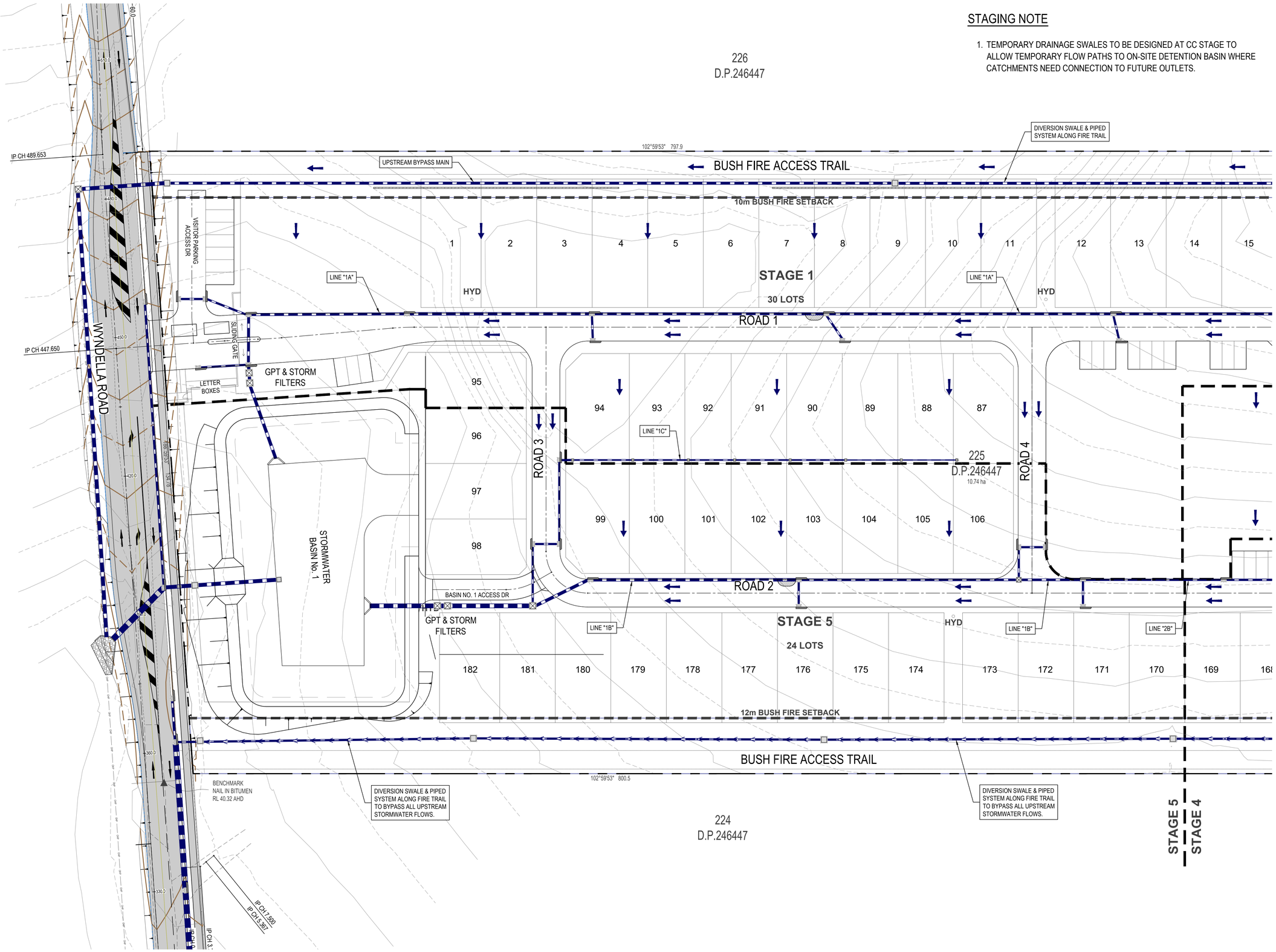
STAGING NOTE

1. TEMPORARY DRAINAGE SWALES TO BE DESIGNED AT CC STAGE TO ALLOW TEMPORARY FLOW PATHS TO ON-SITE DETENTION BASIN WHERE CATCHMENTS NEED CONNECTION TO FUTURE OUTLETS.



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PROJECT:
CIVIL WORKS for
LOT 225, DP 246447
34 WYNDELLA ROAD
LOCHINVAR NSW 2321

DRAWING TITLE:
CIVIL SERVICES
STORMWATER MANAGEMENT PLAN (1 OF 3)

DRAWING STATUS: **DA APPROVAL**
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SCALE:				ORIG. SIZE	
1:400				A1	
DRAWN	DESIGNED	CHECKED	APPROVED	ENDORSED	DATE
MS	KB	AS	KB	--	01.05.25
PROJECT No.		DRAWING No.			REV
23128		C05.03			D

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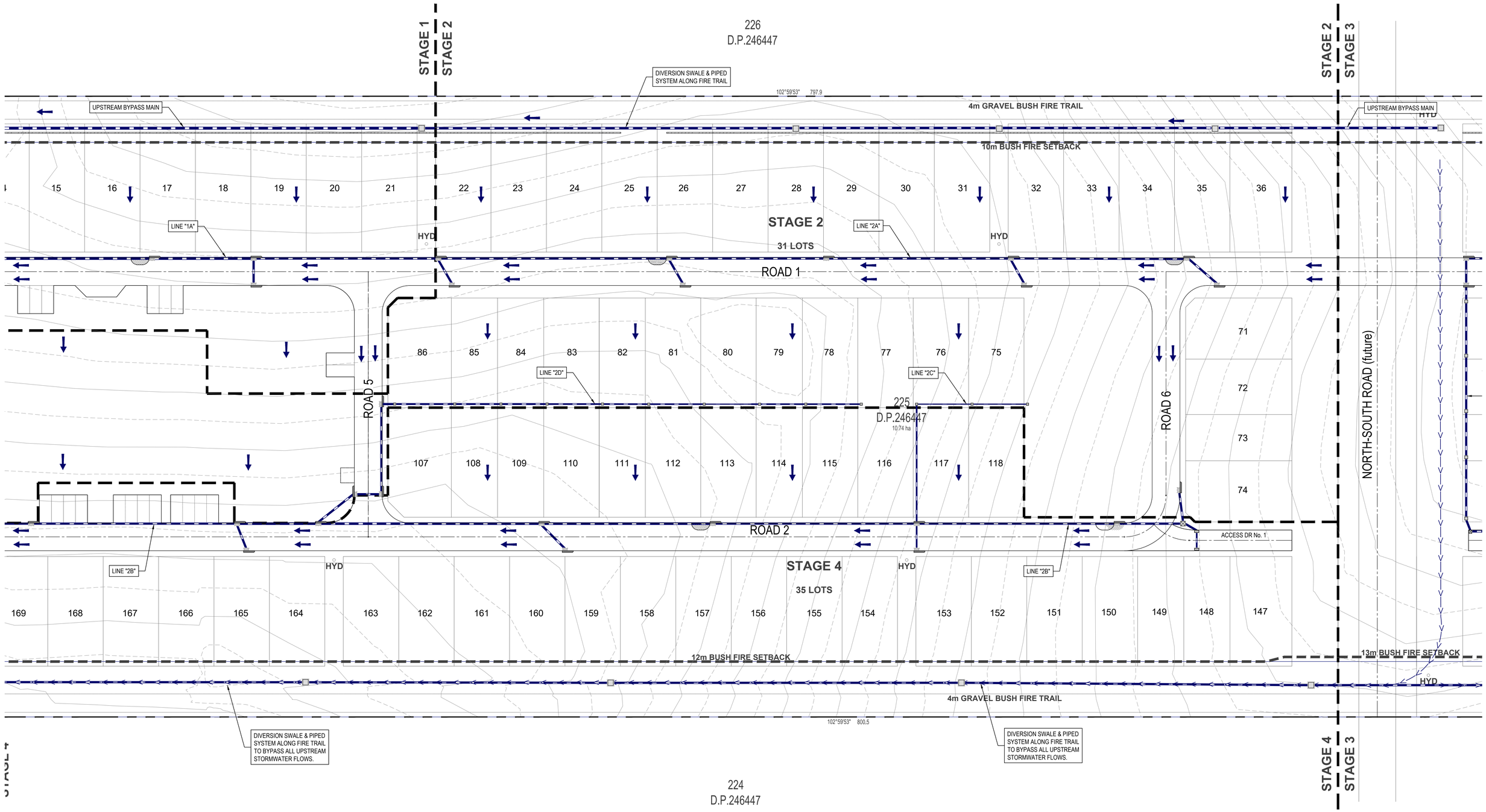

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PROJECT:
CIVIL WORKS for
LOT 225, DP 246447
34 WYNDELLA ROAD
LOCHINVAR NSW 2321

DRAWING TITLE:
CIVIL SERVICES
STORMWATER MANAGEMENT PLAN (2 OF 3)

DRAWING STATUS: **DA APPROVAL**
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SCALE:				ORIG. SIZE	
1:400				A1	
DRAWN	DESIGNED	CHECKED	APPROVED	ENDORSED	DATE
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PROJECT No.		DRAWING No.			REV
23128		C05.04			D

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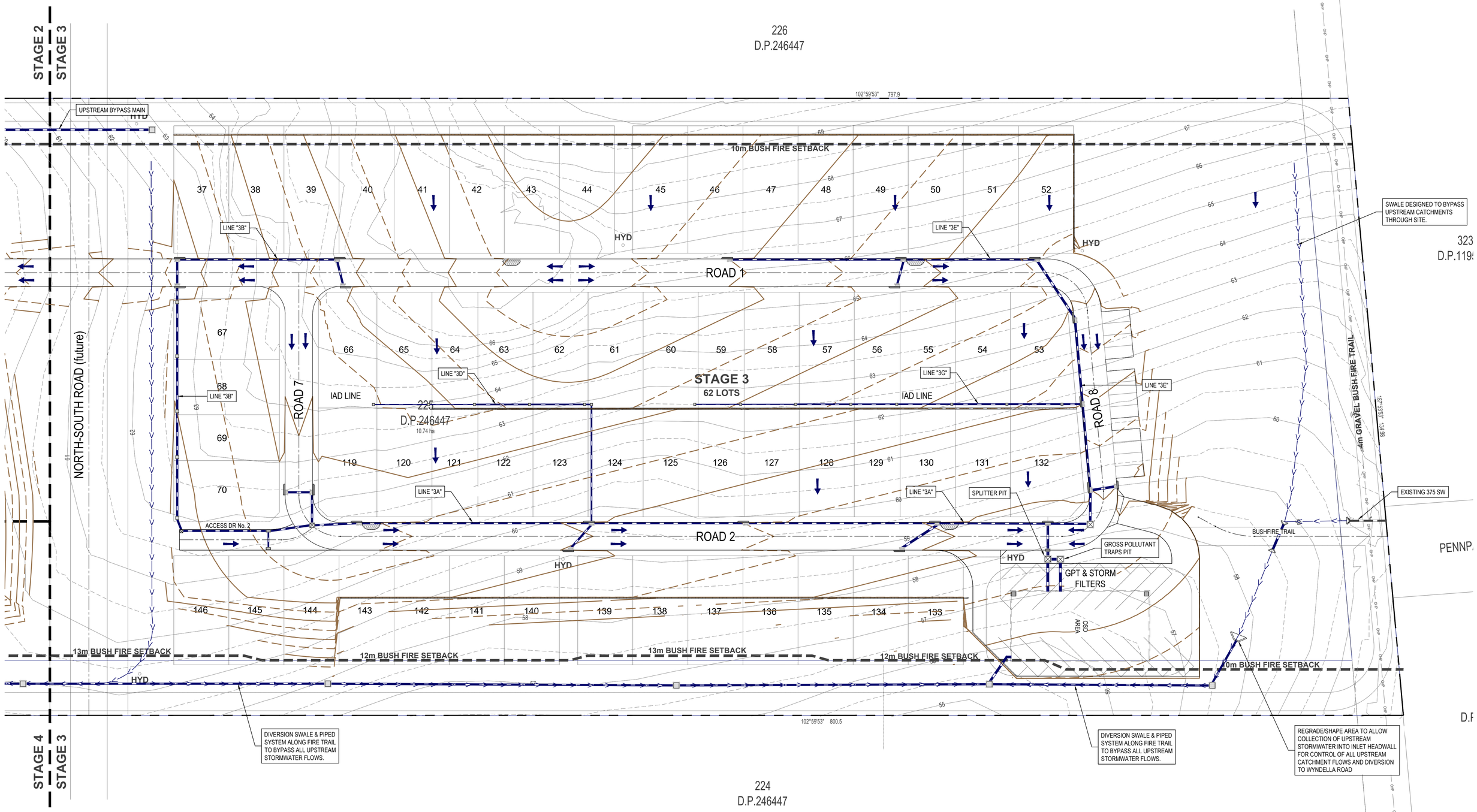

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PROJECT:
CIVIL WORKS for
LOT 225, DP 246447
34 WYNDELLA ROAD
LOCHINVAR NSW 2321

DRAWING TITLE:
CIVIL SERVICES
STORMWATER MANAGEMENT PLAN (2 OF 3)

DRAWING STATUS: **DA APPROVAL**
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PROJECT No.		DRAWING No.			REV
23128		C05.05			D

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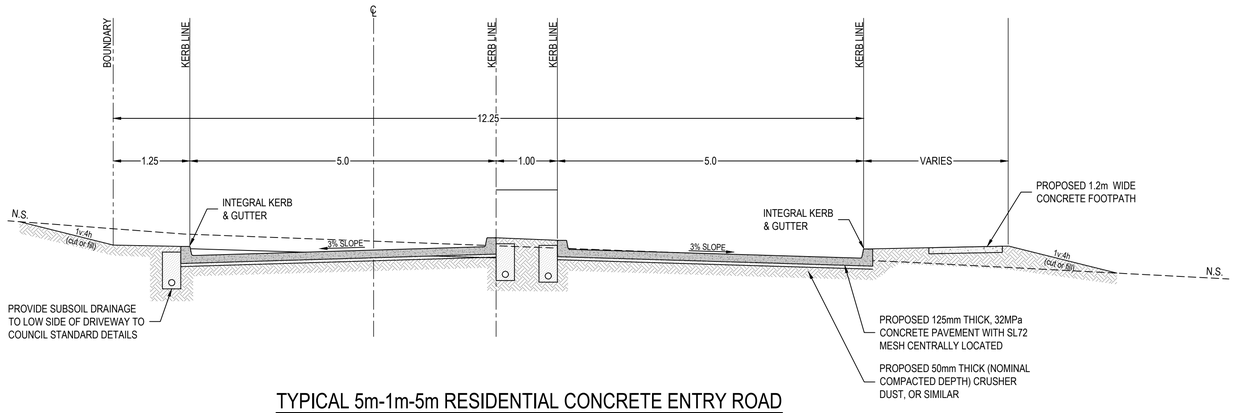
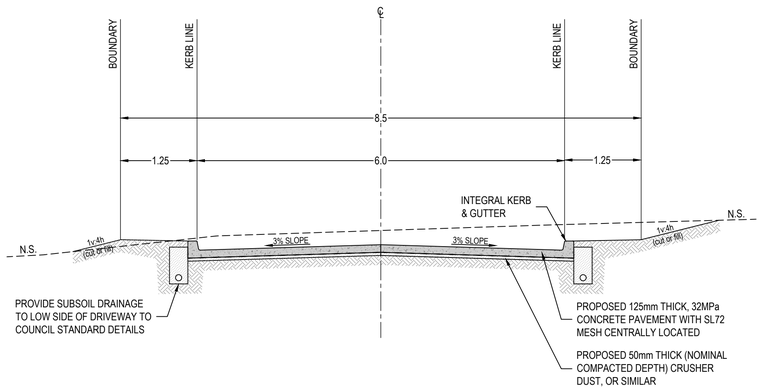


TYPICAL 5m-1m-5m RESIDENTIAL CONCRETE ENTRY ROAD
LEFT TO RIGHT CROSS-FALL SECTION WITH FOOTPATH

1:50



TYPICAL 6.0m RESIDENTIAL CONCRETE ROAD SECTION

1:50

0 1 2 5

SCALE METRES 1:50 @ A1

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PROJECT:
CIVIL WORKS for
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34 WYNDELLA ROAD
LOCHINVAR NSW 2321

DRAWING TITLE:
CIVIL SERVICES
SITE TYPICAL ROAD SECTIONS

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1:50	A1

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23128	C06.01	D

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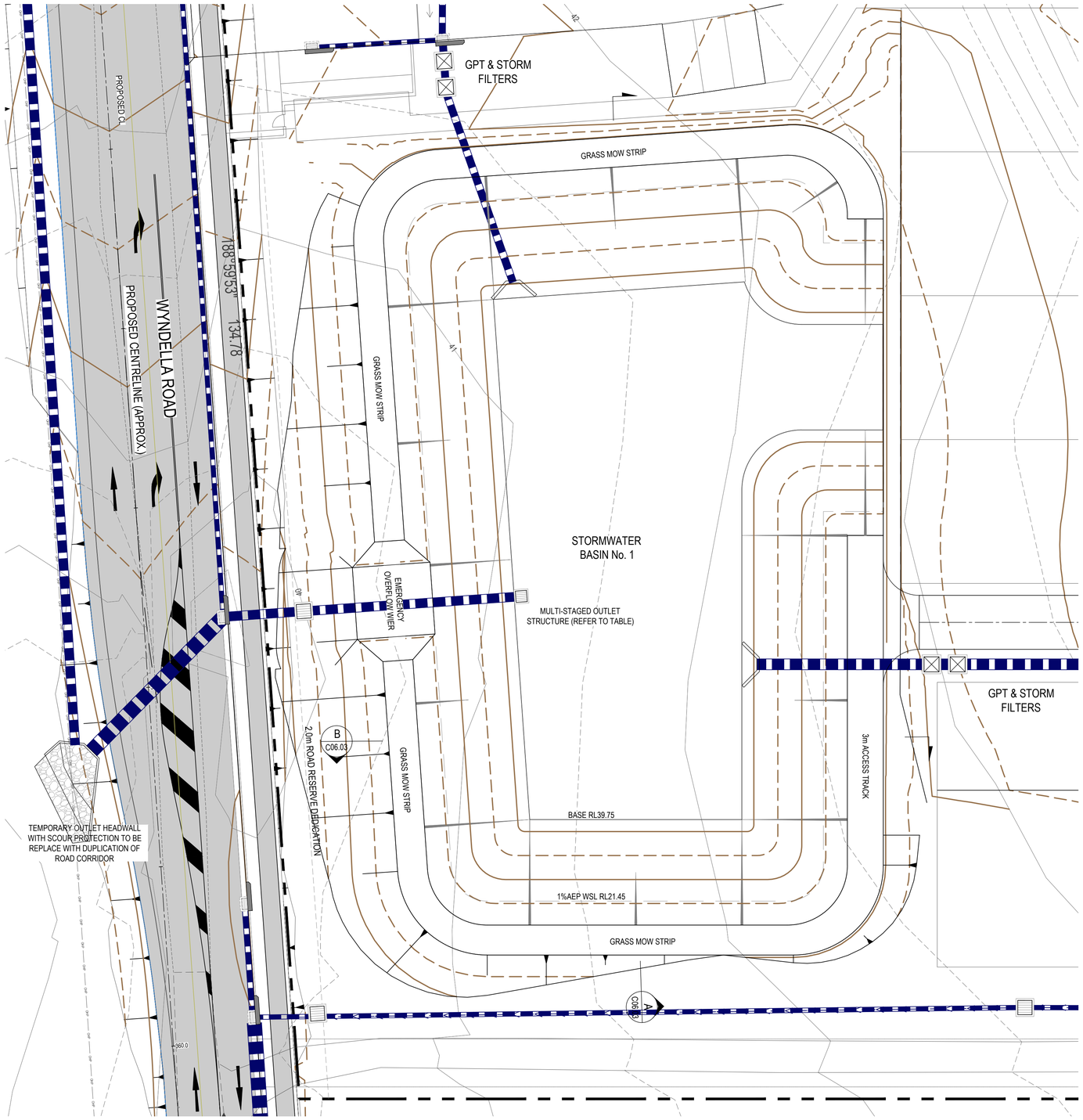
BASIN AND OUTLET CONTROL STRUCTURE NOTES:

TOTAL BASIN STORAGE	2290 m^3
WATER SURFACE LEVELS	
20% AEP	40.65 AHD
5% AEP	41.04 AHD
1% AEP	41.45 AHD
OUT CONTROL STRUCTURE	
ORIFICE 1 & 2	Ø350 AT 39.75 AHD
WEIR 1	425mm AT 40.65 AHD
WEIR 2	900X900 PIT AT 41.45 AHD
EMERGENCY SPILLWAY	3m AT 41.50 AHD



ON-SITE DETENTION BASIN No. 1 PLAN

1:200

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PROJECT:
CIVIL WORKS for
LOT 225, DP 246447
34 WYNDELLA ROAD
LOCHINVAR NSW 2321

DRAWING TITLE:
CIVIL SERVICES
ON-SITE DETENTION BASIN No.1 PLAN

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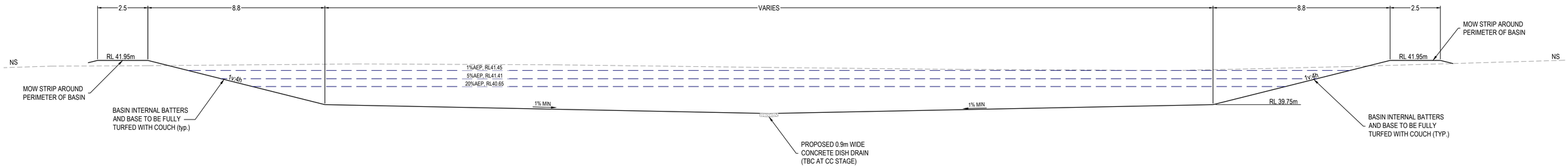

SECTION - A

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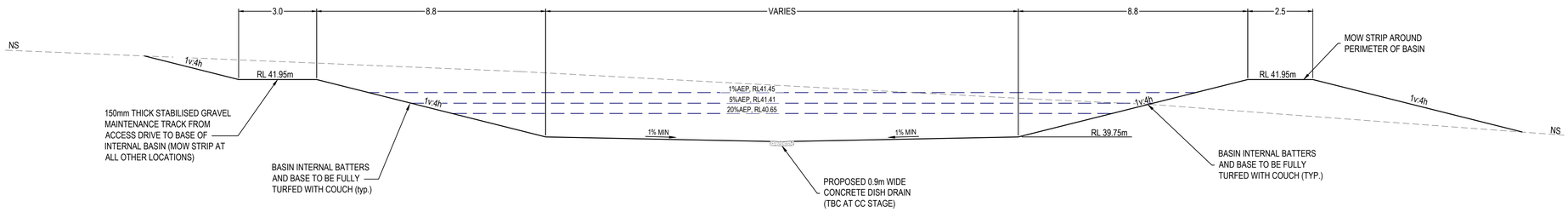

SECTION - B

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PROJECT:
CIVIL WORKS for
LOT 225, DP 246447
34 WYNDELLA ROAD
LOCHINVAR NSW 2321

DRAWING TITLE:
CIVIL SERVICES
ON-SITE DETENTION BASIN No.1
TYPICAL SECTIONS

DRAWING STATUS: **DA APPROVAL**
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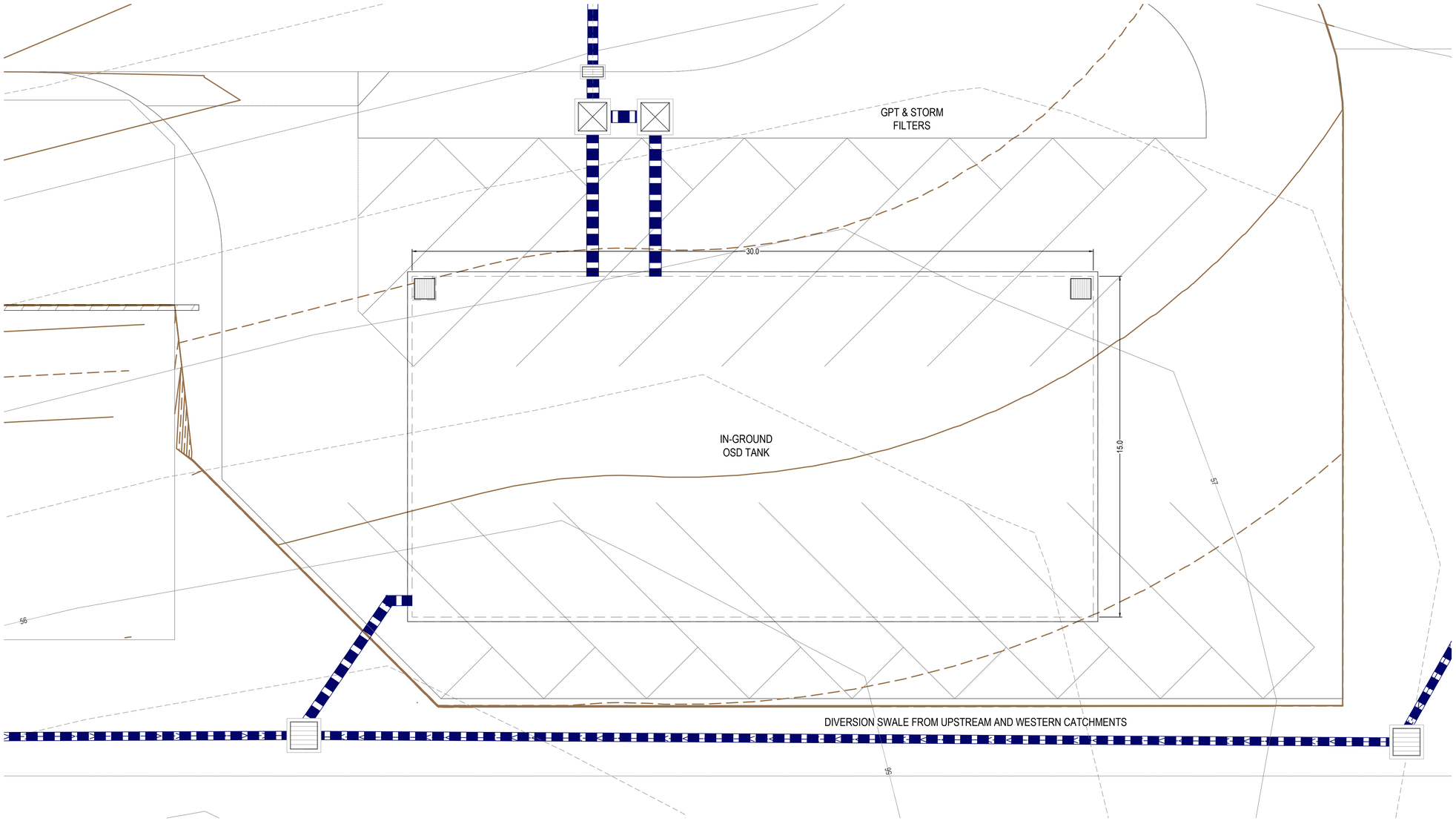

ON-SITE DETENTION TANK No. 2 PLAN

1:100

0 2 4 5 10

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LOCHINVAR NSW 2321

DRAWING TITLE:
CIVIL SERVICES
ON-SITE DETENTION TANK No. 2 PLAN

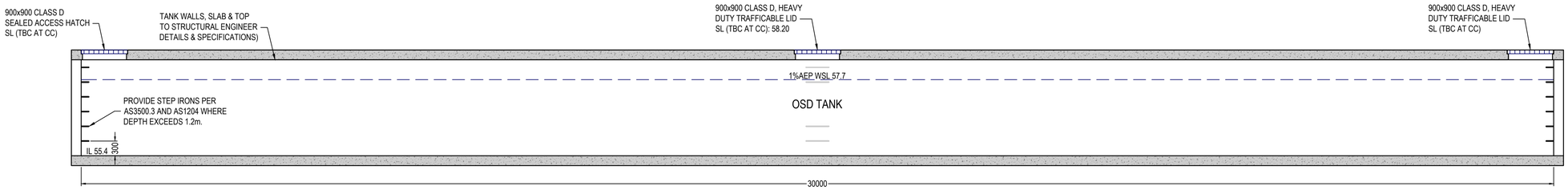
DRAWING STATUS: **DA APPROVAL**
NOT TO BE USED FOR CONSTRUCTION

SCALE:				ORIG. SIZE	
1:100				A1	
DRAWN	DESIGNED	CHECKED	APPROVED	ENDORSED	DATE
MS	KB	AS	KB	--	01.05.25
PROJECT No.		DRAWING No.			REV
23128		C06.04			D

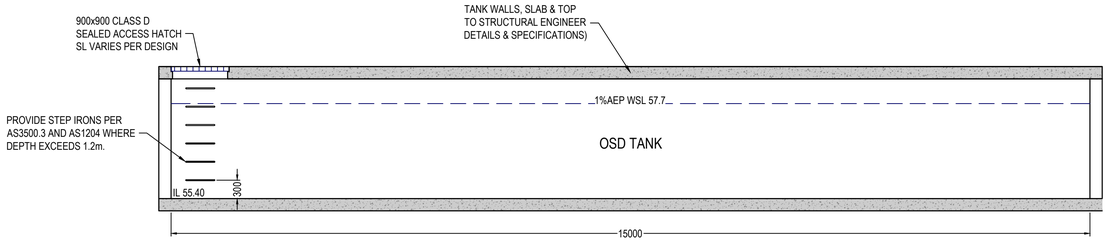
PLOTTED BY:- KEN DATE:- 2 May 2025 3 34 PM FILENAME:- O:\PROJECTS\2023\23128 - 34 WYNDELLA ROAD, LOCHINVAR\CAD\TITLE\23128_CIV_DA-[E]_34 WYNDELLA ROAD

BASIN AND OUTLET CONTROL STRUCTURE NOTES:

TOTAL BASIN STORAGE	1035 m^3
WATER SURFACE LEVELS	
20% AEP	56.57 AHD
5% AEP	57.05 AHD
1% AEP	57.66 AHD
OUT CONTROL STRUCTURE	
ORIFICE 1	Ø250 AT 55.4 AHD
ORIFICE 2	Ø250 AT 56.6 AHD
EMERGENCY OVERFLOW WEIR	1.8m AT 57.7 AHD
OUTLET PIPE FROM TANK	450mm RCP



SECTION A



SECTION B

0 1 2 5

SCALE METRES 1:50 @ A1

AutoCAD Civil 3D 2021

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REV	DESCRIPTION	DATE	APPV'D	ENDO'D
D	LEC AMENDMENTS	01.05.25	K.B.	
C	COUNCIL AMENDMENTS - S34 OUTCOMES	28.11.24	K.B.	
B	COUNCIL AMENDMENTS - PREL S34	19.08.24	K.B.	
A	ISSUED FOR DA APPROVAL	02.02.24	K.B.	

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PROJECT:
CIVIL WORKS for
LOT 225, DP 246447
34 WYNDELLA ROAD
LOCHINVAR NSW 2321

DRAWING TITLE:
CIVIL SERVICES
ON-SITE DETENTION TANK No. 2
TYPICAL SECTIONS

DRAWING STATUS: **DA APPROVAL**
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SCALE:	ORIG. SIZE
1:50	A1

DRAWN	DESIGNED	CHECKED	APPROVED	ENDORSED	DATE
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PROJECT No.	DRAWING No.	REV
23128	C06.05	D

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