

> DEMOLITION PLAN

DEMOLTION AND REMOVAL OF EXISTING DWELLING, STRUCTURES AND SOME VEGETATION

1:200

> **NOTE**

> SITE LEVELS ARE APPROXIMATE ONLY. PLEASE EVALUATE ON SITE BEFORE ANY ORDERING OR WORK BEGINS.

> **DEMOLITION NOTES**

> 1. ALL DEMOLITION WORKS SHALL BE CARRIED OUT IN ACCORDANCE WITH AS 2601-2001. WHERE POSSIBLE, ANY RECYCLABLE MATERIAL IS TO BE RECYCLED. THE REMAINDER IS TO BE DISPOSED OF AT THE APPROPRIATE WASTE DISPOSAL DEPOT. IF ASBESTOS IS PRESENT, IT MUST BE REMOVED AND DISPOSED OF BY A LICENSED CONTRACTOR IN ACCORDANCE WITH WORKCOVER AUTHORITY GUIDELINES.

> 2. THE SEWER MAIN CONNECTION MUST BE CAPPED AT THE SEWER MAIN JUNCTION BY A LICENSED PLUMBER AS SPECIFIED BY HUNTER WATER CORPORATION. THE WATER MAIN MUST BE CAPPED AT THE JUNCTION OF THE WATER MAIN AND THE INCOMING SUPPLY BY A LICENSED PLUMBER AS SPECIFIED BY HUNTER WATER CORPORATION.

> 3. A PERMANENT DISCONNECTION REQUEST MUST BE LODGED WITH THE ELECTRICAL SUPPLY AUTHORITY FOR THE DISCONNECTION OF THE ELECTRICITY MAINS.

> 4. THE GAS SUPPLY WILL BE DISCONNECTED BY THE GAS SUPPLY AUTHORITY AFTER LODGEMENT OF A WRITTEN REQUEST.

> NO SUBTERRANEAN INVESTIGATIONS HAVE BEEN UNERTAKEN. IT IS THE CONTRACTORS RESPONSIBILITY TO CONTACT DIAL BEFORE YOU DIG ON PHONE No. 1100 or www.1100.com.au PRIOR TO ANY EXCAVATION OR EARTHWORKS

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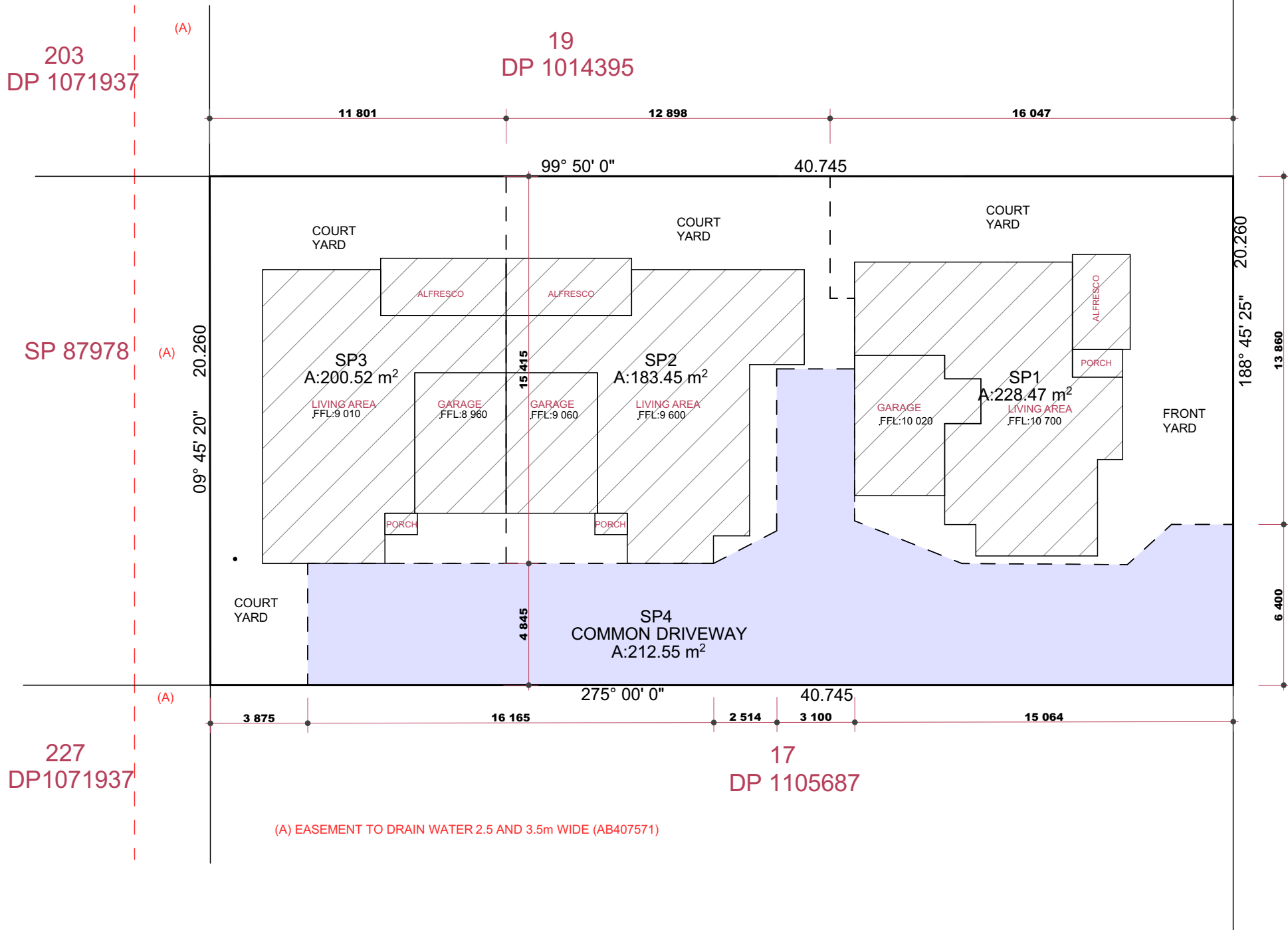
> Client
> **S&P PROJECTS PTY LTD**
> Development
> MULTI DWELLING
> 35 HIGH STREET, LARGS
> LOT 18, DP 707136

> **DEVELOPMENT APPLICATION**

> Designer > JB	> Drafter > SN
> Job No. > 5402	> Revision No. > DA2
> Drawing No. > 1.3	

> DO NOT SCALE. IF IN DOUBT, ASK

> PO Box 186 East Maitland NSW 2323 - 1/3 Cobbans Close, Beresfield
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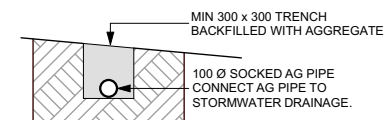
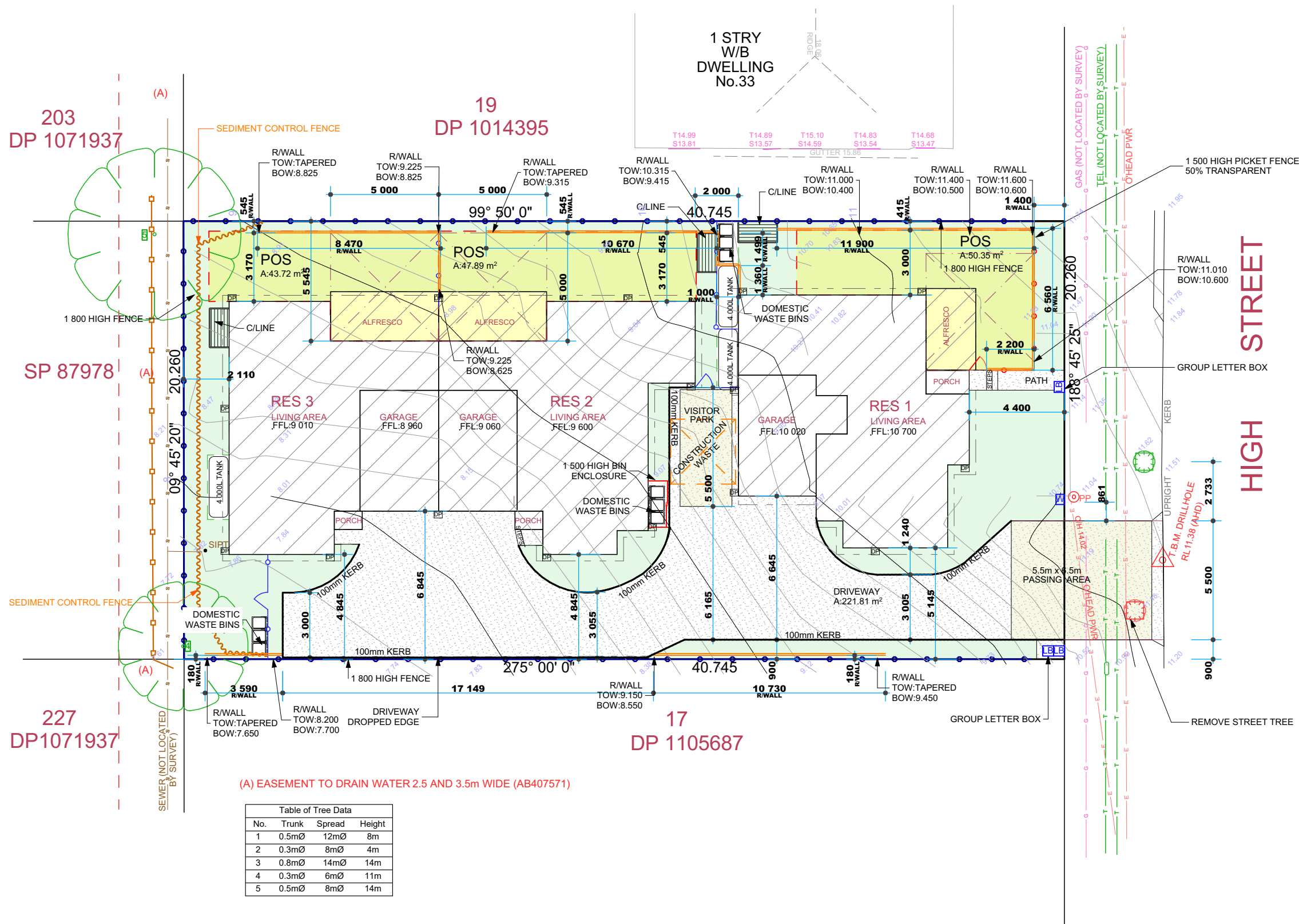
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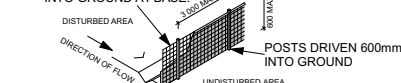
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> SITE DRAINAGE DETAIL

> SEDIMENT FENCE
DRAINAGE AREA 0.6 HA MAXIMUM.
SLOPE GRADIENT 1:2 MAXIMUM.
SLOPE LENGTH 60m MAXIMUM.

SILT FENCE SILT CONTROL BARRIER
ON WIRE OR STEEL MESH, BURIED
INTO GROUND AT BASE.



> SEDIMENT CONTROL FENCE

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> SEDIMENT CONTROLS

> 1. ATTENTION IS DRAWN TO THE ENVIRONMENT PROTECTION ACT AND THE REQUIREMENTS FOR THE PROTECTION FROM DISCHARGE OF ANY POLLUTION FROM THE SITE.

> 2. ALL SEDIMENT CONTROL STRUCTURES SHALL BE INSPECTED AND MAINTAINED.

> 3. ALL SEDIMENT RETAINING STRUCTURES SHALL BE CLEARED UPON REACHING A MAXIMUM OF 75% CAPACITY. REMOVED SEDIMENT SHALL BE SPREAD WITHIN DISTRIBUTION AREAS ON THE SITE.

> 4. IMMEDIATELY FOLLOWING THE COMPLETION OF WORKS ALL EXPOSED AREAS SHALL BE STABILISED BY TURFING OR MULCHING (BY OWNER). SEDIMENT CONTROL SHALL BE MAINTAINED UNTIL GROUND COVER IS ESTABLISHED.

> SITE STATISTICS

FLOOR SPACE RATIO	N/A
SITE COVERAGE	66.9%
LANDSCAPE AREA	33.7%

> AREAS

	AREA (m²):
SITE AREA	825.49
SITE COVERAGE	552.76
UNBUILT	280.33
POS	141.96
DRIVEWAY	221.81



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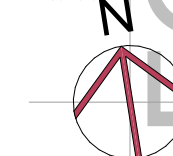
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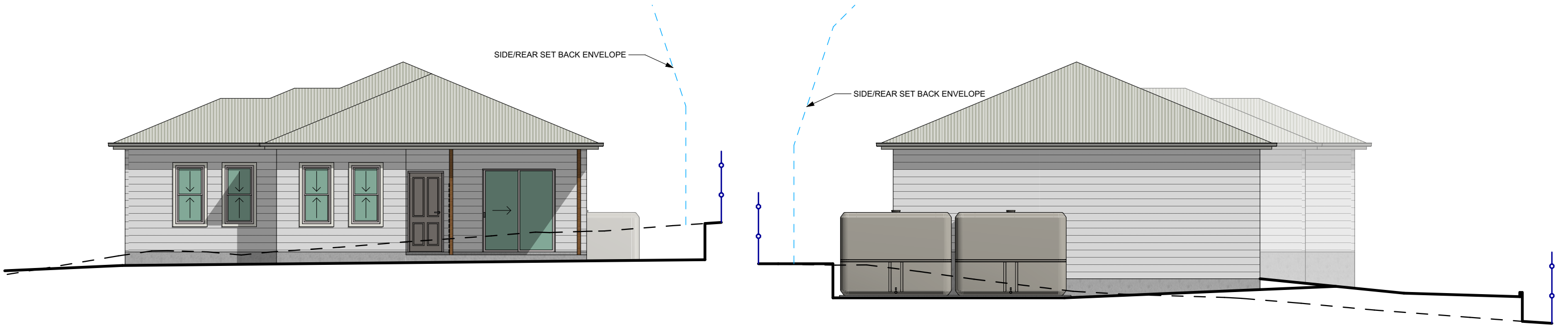
> Revision No.

> DA2

> Drawing No.

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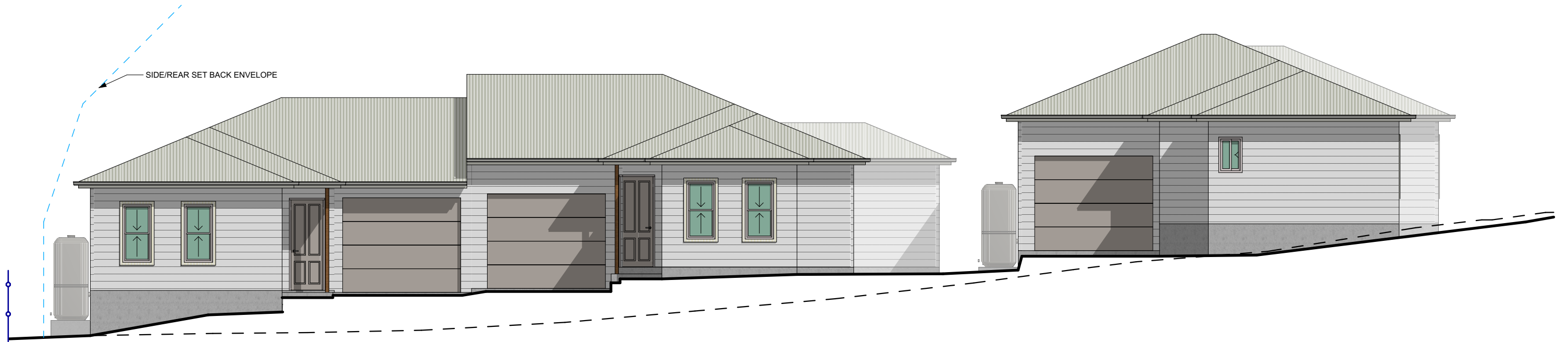


1 > RES 1 EAST ELEVATION

1:100 2

> RES1 WEST ELEVATION


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3 > SOUTH ELEVATION

1:100

> GENERAL NOTES

- > 1. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH SPECIFICATIONS AND ENGINEERS DRAWINGS.
- > 2. ALL DIMENSIONS AND LEVELS TO BE CHECKED AND VERIFIED BY THE BUILDER.
- > 3. ALL WORKMANSHIP AND MATERIALS TO BE IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS, CODES AND LOCAL AUTHORITIES.
- > 4. ALL DIMENSIONS ARE IN MILLIMETRES UNLESS OTHERWISE NOTED.
- > 5. ALL MATERIALS TO BE INSTALLED TO MANUFACTURERS SPECIFICATIONS.
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- > 7.  BRICKWORK CONTROL JOINT

> WINDOW NOTES

WINDOWS LABELLED (FS) ARE TO COMPLY WITH PART 11.3.7 AND 11.3.8 OF THE HOUSING PROVISIONS STANDARD 2022

WINDOWS LABELLED OBS - OBSCURED GLASS

> EXTERNAL FINISHES

- > CLADDING: LIGHTWEIGHT CLADDING
- > WINDOWS: ALUMINIUM
- > HINGED DOORS: AS SELECTED
- > ROOF CLADDING: CUSTOM ORB
- > RIDGES AND HIPS: COLORBOND
- > GUTTERS: COLORBOND
- > DOWN PIPES: PVC



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
1 > NORTH ELEVATION 1:100



2 > RES 2 & 3 EAST ELEVATION 1:100



3 > RES 2 & 3 WEST ELEVATION 1:100

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