

CROESE - RAYMOND TERRACE RD RESIDENCE

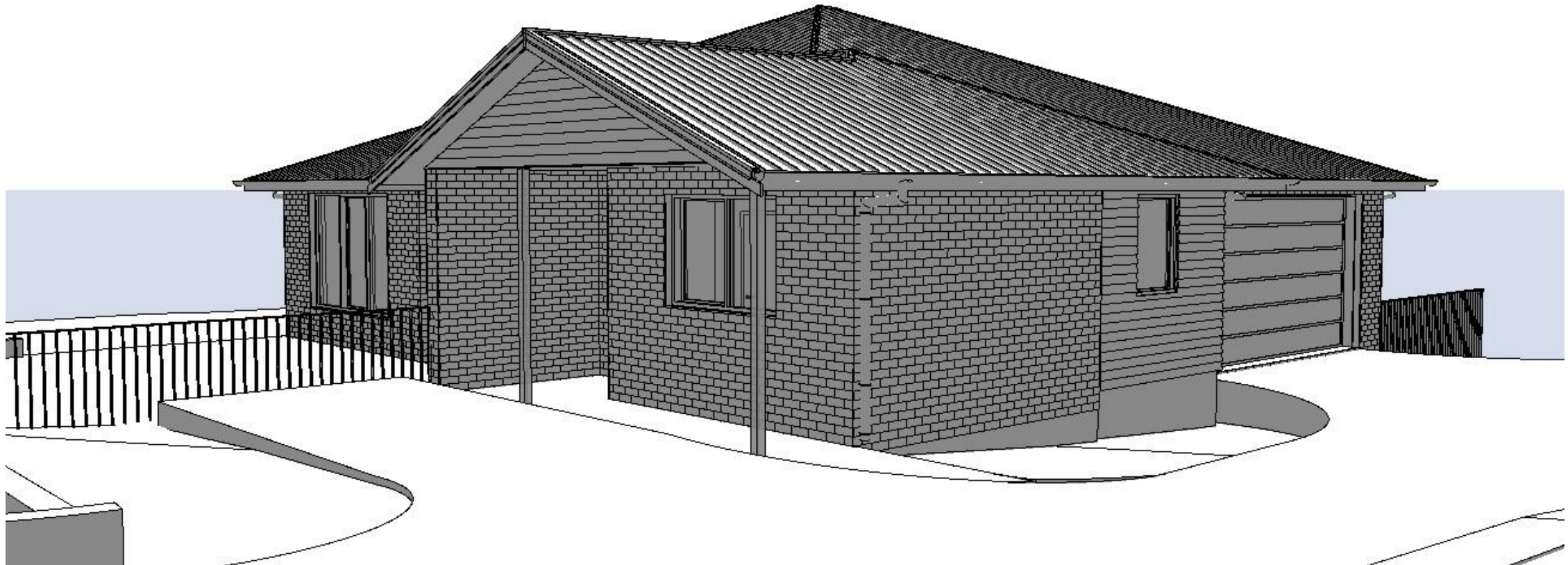
A1 DA / BA / CC Plans

A1.00	COVER SHEET & PERSPECTIVES	F
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A1.02	PROPOSED SITE LAYOUT	F
A1.03	PROPOSED SUBDIVISION PLAN	E
A1.04	LANDSCAPE PLAN	F
A1.05	FLOOR PLAN OVERALL	F
A1.06	ELEVATIONS OVERALL	E
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HOUSE 1 PERSPECTIVE

SCALE



HOUSE 2 AND 3 PERSPECTIVE

SCALE

GENERAL NOTES:

ALL MEASUREMENT IN MILLIMETRES UNLESS NOTED OTHERWISE. ALL DIMENSIONS ARE TO STRUCTURE. ALL DIMENSIONS MUST BE CHECKED ON SITE BEFORE COMMENCEMENT OF ANY WORK OR THE PREPARATION OF SHOP DRAWINGS. DISCREPANCIES MUST BE IMMEDIATELY REPORTED TO TOZ PTY. LTD. FOR INTERPRETATION. DO NOT SCALE DRAWINGS – USE FIGURED DIMENSIONS ONLY.

THESE DRAWINGS ARE TO BE USED IN CONJUNCTION WITH OTHER RELEVANT DRAWINGS BY CONSULTANTS. ALL CONSTRUCTION MATERIALS AND WORKMANSHIP ARE TO BE IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA (NCC 2022), VIC CODE1, RELEVANT AUSTRALIAN STANDARDS, LOCAL AUTHORITY AND ALL RELEVANT AUTHORITIES REGULATIONS, STATUTORY REQUIREMENTS AND BY-LAWS.

GENERAL STANDARDS:

NOTE:

ALL BUILDING WORKS TO COMPLY WITH THE CURRENT BUILDING REGULATIONS, INCLUDING THE NATIONAL CONSTRUCTION CODE. CURRENT NCC 2022.

HEATING AND COOLING:

THE HEATING AND COOLING SYSTEMS ARE TO COMPLY WITH CURRENT NCC 2022 REQUIREMENTS.

LIGHTING:

THE ARTIFICIAL LIGHTING SYSTEMS ARE TO COMPLY WITH CURRENT NCC 2022 REQUIREMENTS.

GLAZING:

ALL GLAZING TO COMPLY WITH AS1288 AND ALL WINDOW TO COMPLY WITH AS2047.

WET AREAS:

ALL WET AREAS TO BE WATERPROOFED IN ACCORDANCE WITH AS3740. IMPERVIOUS CERAMIC TILES TO 2100mm Min. ALL WET AREAS.

SHOWER SCREENS:

TO BE 12mm TOUGHENED GLASS AS PER AS1288. FRAMELESS GLASS, POLISHED AREAS.

SPLASHBACKS:

AN IMPERVIOUS SPLASHBACK OF Min. 150mm ABOVE ALL BASINS, SINKS AND TROUGHS ARE TO BE PROVIDED.

DOWN PIPES:

ALL DRAINAGE, DOWNPIPES AND GUTTERS TO COMPLY WITH AS3500.3 ALL STORMWATER DISCHARGE TO BE CONNECTED TO THE LEGAL POINT OF DISCHARGE.

EXHAUST FANS:

EXHAUST FAN TO ALL WET AREAS, WC'S AND LAUNDRY FAN TO VENT TO OUTSIDE FAN CAPACITY 75LTR/SEC AND TO HAVE CLOSABLE BAFFLES FOR WHEN NOT IN USE.

BALUSTRADES:

BALUSTRADES TO LANDINGS ON DECKS TO BE A MINIMUM OF 1000mm HIGHT ABOVE FINISHED DECK LEVEL AND HAVE BALUSTERS OR RAILS HAVING A MAXIMUM GAP OF 125mm TO COMPLY WITH CURRENT NCC 2022 REQUIREMENTS AND AS1428.1.

INTERNAL STAIR HANDRAIL:

TO BE A MINUMUM HEIGHT ABOVE STAIR NOSING OF 865mm TO COMPLY WITH CURRENT NCC 2022 REQUIREMENTS AND AS1428.1.

STAIRS:

MUST HAVE A MINIMUM WIDTH TREAD OF 250mm AND A Max. HEIGHT OF 190mm RISERS. STAIR TO BE EVEN IN 'GOING' AND 'RISER' THROUGHOUT THE FLIGHT. THE MAXIMUM GAP BETWEEN STAIRS IS 125mm TO COMPLY WITH CURRENT NCC 2022 REQUIREMENTS.

PENETRATIONS:

ALL PENETRATIONS THROUGH FIRE RATED WALLS AND FIRE RATED FLOORS ARE TO BE SEALED TO MAINTAIN THE REQUIRED APPLICABLE FIRE RATING TO COMPLY WITH CURRENT NCC 2022 REQUIREMENTS.

STEEL:

ALL STRUCTURAL STEEL MEMBERS TO BE CORROSION PROTECTED IN ACCORDANCE WITH CURRENT NCC 2022 REQUIREMENTS.

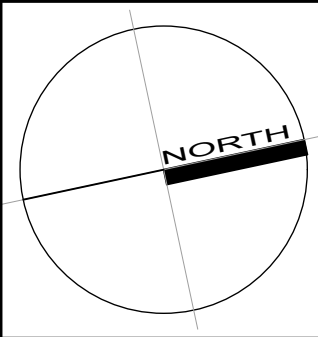
SMOKE ALARMS:

MUST COMPLY WITH THE REQUIREMENTS OF NCC 2022 VOL 2 PART H3D6 AND ABCB HOUSING PROVISIONS STANDARD 2022 PART 9.5
i) SMOKE ALARMS MUST BE PHOTOELECTRIC (A.S. 3786-2014); and
ii) NOT ALSO CONTAIN AN ISOLATION SENSOR;
iii) BE HARDWIRED TO A MAINS POWER SUPPLY SOURCE WITH A SECONDARY POWER SOURCE (ie BATTERY); and
iv) BE INTERCONNECTED WITH EVERY OTHER SMOKE ALARM IN THE DWELLING SO ALL ARE ACTIVE TOGETHER.

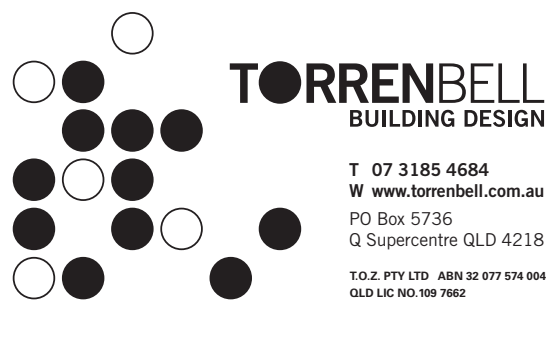
DOORS:

THE DOOR TO A FULLY ENCLOSED SANITARY COMPARTMENT SHALL OPEN OUTWARDS, SLIDE OR BE READILY REMOVABLE FROM THE OUTSIDE OF THE COMPARTMENT IE. REMOVABLE HINGES IF THE CLOSET PAN IS WITHIN 1200mm OF THE HINGE OF THE DOOR TO COMPLY WITH CURRENT NCC 2022 REQUIREMENTS.

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E	FOR APPROVAL	19/09/2025
D	DRAFT SET FOR REVIEW	31/7/2025
C	DRAFT SET FOR REVIEW	7/7/2025
B	DRAFT SET FOR REVIEW	26/6/2025
A	DRAFT SET FOR REVIEW	18/6/2025
Rev	Transmittal Set Name	Date
AMENDMENT:		



CLIENT: CROESE - RAYMOND TERRACE RD	DRAWING TITLE: COVER SHEET & PERSPECTIVES
PROJECT: PROPOSED NEW MULTI-RES LOT 10 SECTION 48 D.P.758274 No. 45 RAYMOND TERRACE ROAD EAST MAITLAND, NSW 2323	DATE: 19/09/25 SCALE: 1:78.29, 1:1 @ A1 DRAWING No: 2085A - A1.00 ISSUE: F



SITE LOCATION

SCALE 1:1.25

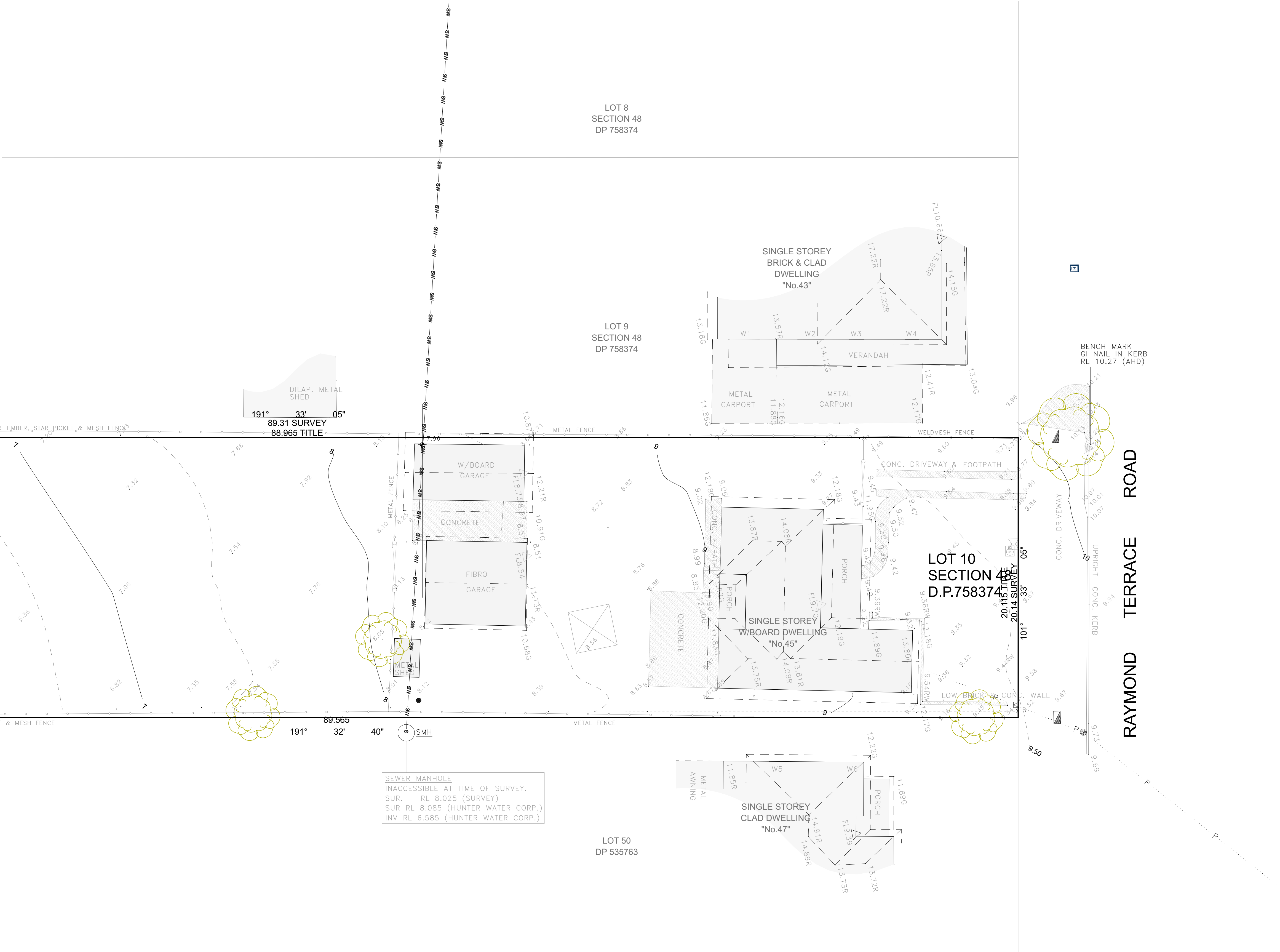
GREAT NORTHERN RAILWAY

LANE

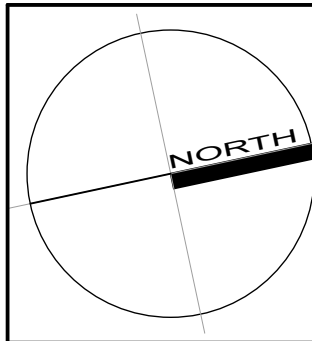
LOT 1024
DP 1207344

SITE ANALYSIS

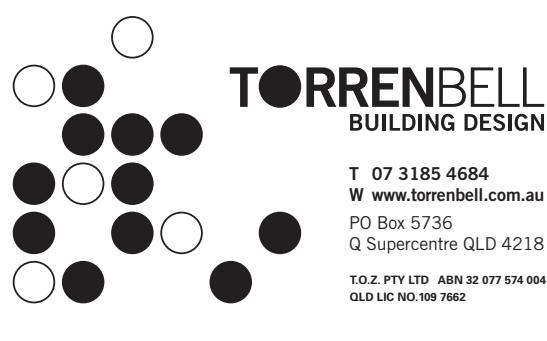
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Rev / Transmittal Set Name	Date
AMENDMENT:	



CLIENT: CROESE - RAYMOND TERRACE RD	DRAWING TITLE: SITE ANALYSIS & LOCALITY
PROJECT: PROPOSED NEW MULTI-RES LOT 10 SECTION 48 D.P.758274 No. 45 RAYMOND TERRACE ROAD EAST MAITLAND, NSW 2323	DATE: 19/09/25
	SCALE: 1:100
	DRAWING No: 2085A - A1.01
	ISSUE: F

Certificate No. #HR-4Y3R0I-01
Scan QR code or follow website link for rating details.

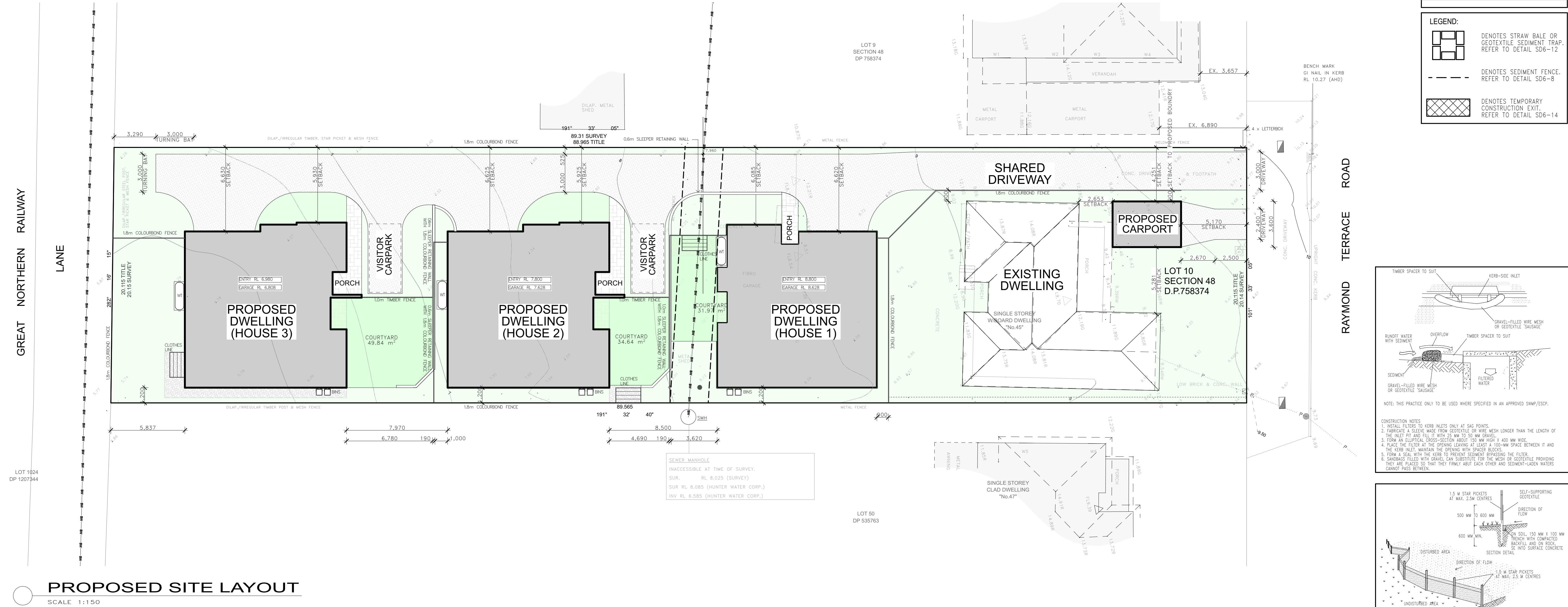
Assessor name: Ross Grims
Accreditation No.: HERA 10004
Property Address: Unit 01, 45 RAYMOND TERRACE ROAD, EAST MAITLAND, NSW, 2323
http://www.hero-software.com.au/pdf/HR-4Y3R0I-01

Certificate No. #HR-83F3BU-01
Scan QR code or follow website link for rating details.

Assessor name: Ross Grims
Accreditation No.: HERA 10004
Property Address: Unit 02, 45 RAYMOND TERRACE ROAD, EAST MAITLAND, NSW, 2323
http://www.hero-software.com.au/pdf/HR-83F3BU-01

Certificate No. #HR-CJVDHC-01
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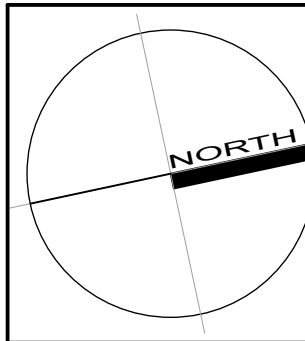
Assessor name: Ross Grims
Accreditation No.: HERA 10004
Property Address: Unit 03, 45 RAYMOND TERRACE ROAD, EAST MAITLAND, NSW, 2323
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AMENDMENT:		

TORRENBELL
BUILDING DESIGN

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PO Box 5756
10 Supercentra QLD 4218
T.O.Z. PTY LTD ABN 35 077 534 006
QLD LIC NO 109 7682

CLIENT:
CROESE - RAYMOND TERRACE RD

PROJECT:
PROPOSED NEW MULTI-RES
LOT 10 SECTION 48 D.P.758274
No. 45 RAYMOND TERRACE ROAD
EAST MAITLAND, NSW 2323

DRAWING TITLE:
PROPOSED SITE LAYOUT

DATE:
19/09/25

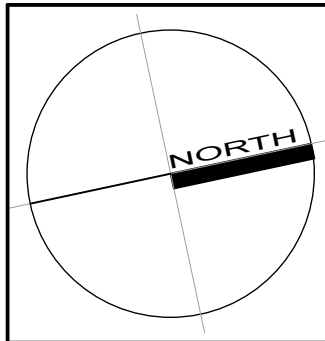
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2085A - A1.02

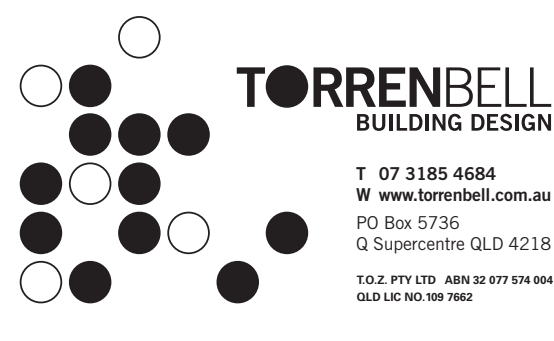
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CROESE - RAYMOND TERRACE RD

PROJECT:
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LOT 10 SECTION 48 D.P.758274
No. 45 RAYMOND TERRACE ROAD
EAST MAITLAND, NSW 2323**

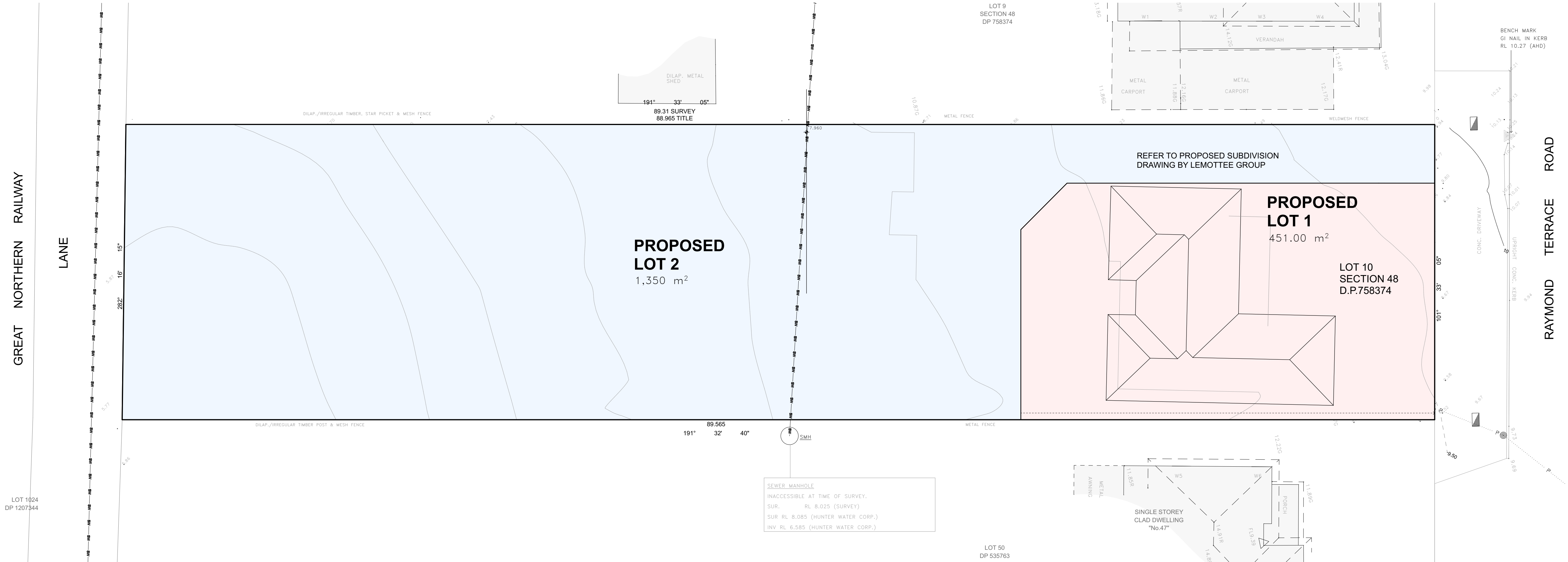
DRAWING TITLE:
PROPOSED SUBDIVISION PLAN

DATE: **19/09/25**

SCALE: **1:150 @ A1**

DRAWING No: **2085A - A1.03**

ISSUE: **E**



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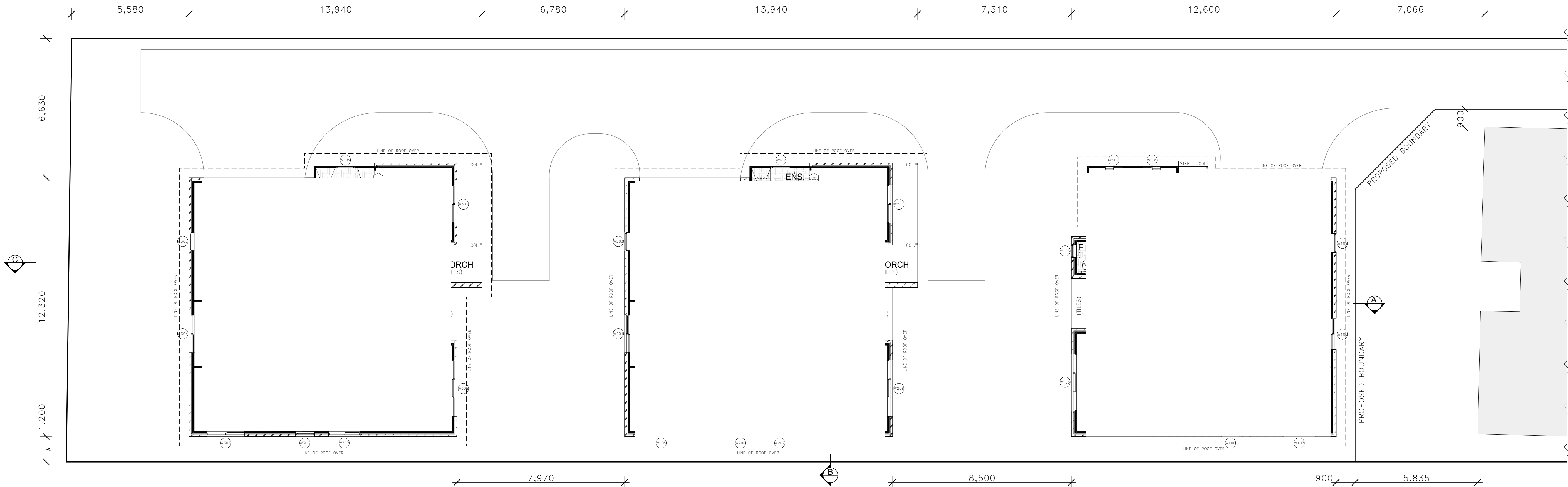
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Accreditation No.: HERA 10004
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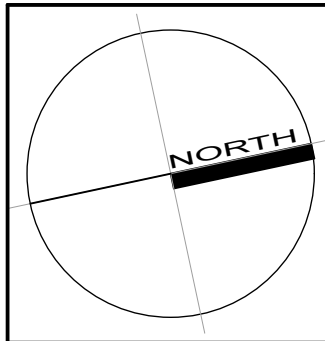
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FLOOR PLAN OVERALL
SCALE 1:100

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T.O.Z. PTY LTD ABN 92 077 538 006
QLD LIC NO 109 7082

CLIENT:
CROESE - RAYMOND TERRACE RD

PROJECT:
PROPOSED NEW MULTI-RES
LOT 10 SECTION 48 D.P.758274
No. 45 RAYMOND TERRACE ROAD
EAST MAITLAND, NSW 2323

DRAWING TITLE:
FLOOR PLAN OVERALL

DATE: 19/09/25
SCALE: 1:100 @ A1
DRAWING No: 2085A - A1.05
ISSUE: F

**Certificate No. #HR-4Y3R0I-01**
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MAITLAND, NSW, 2323

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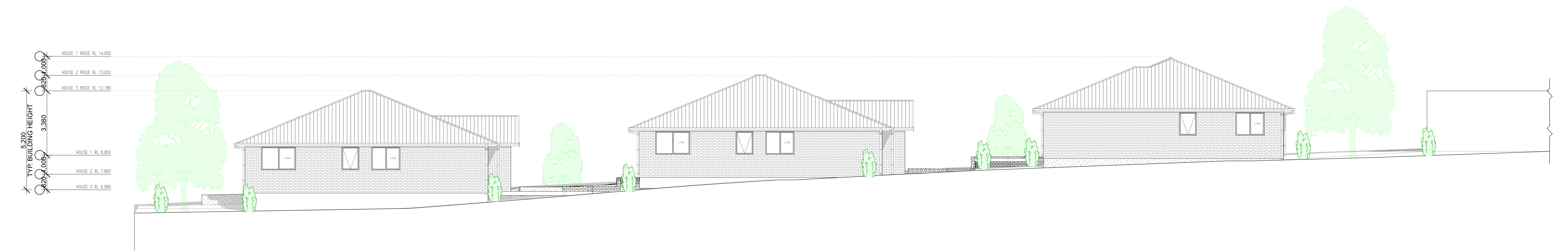
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OVERALL DRIVEWAY ELEVATION - WEST

SCALE 1:100



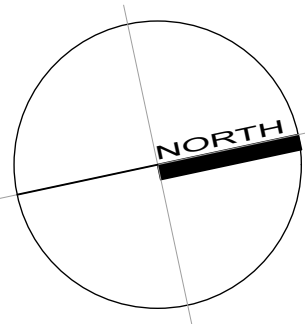
OVERALL BACK ELEVATION - EAST

SCALE 1:100

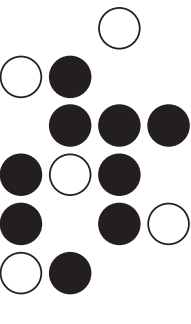
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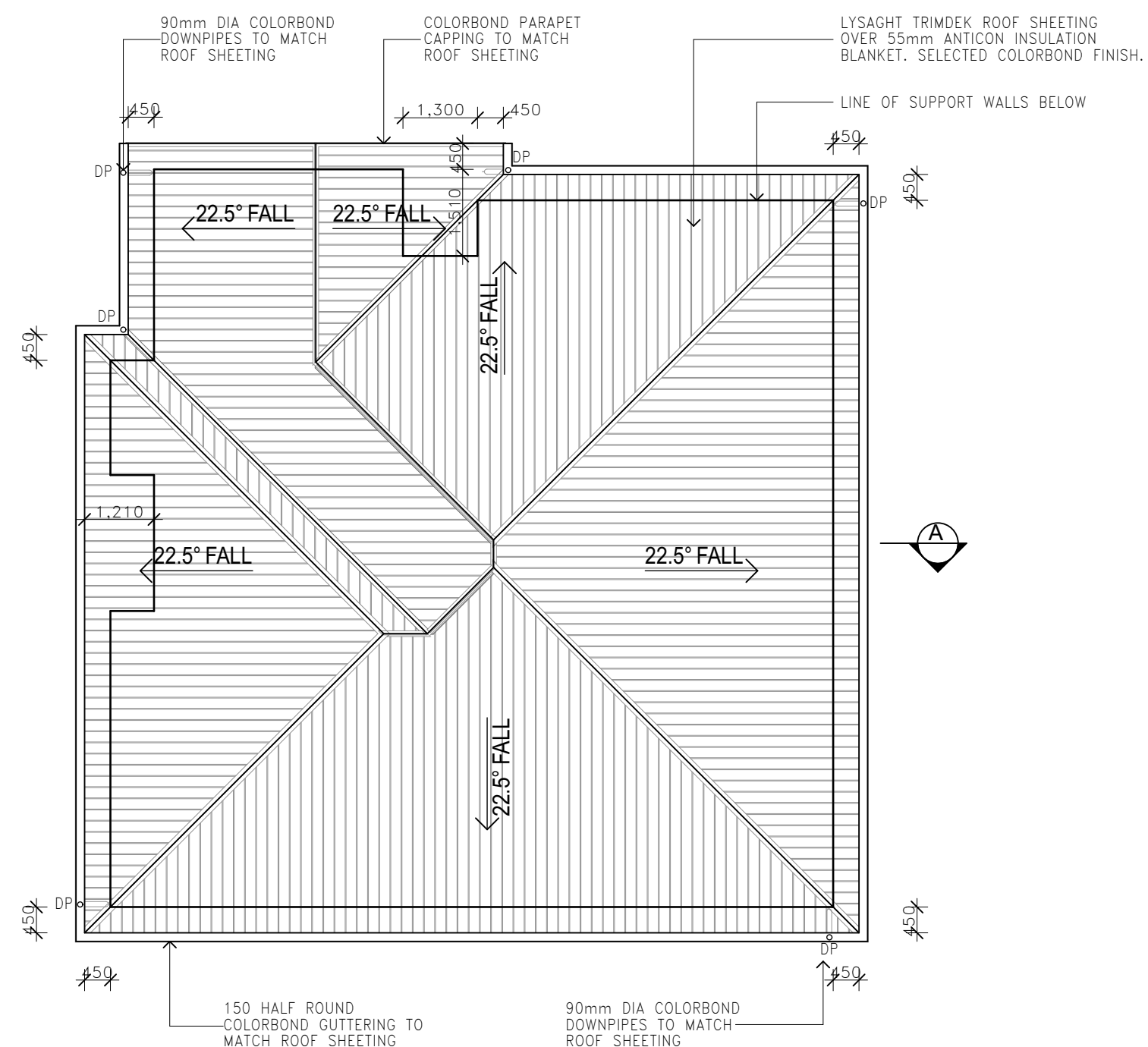
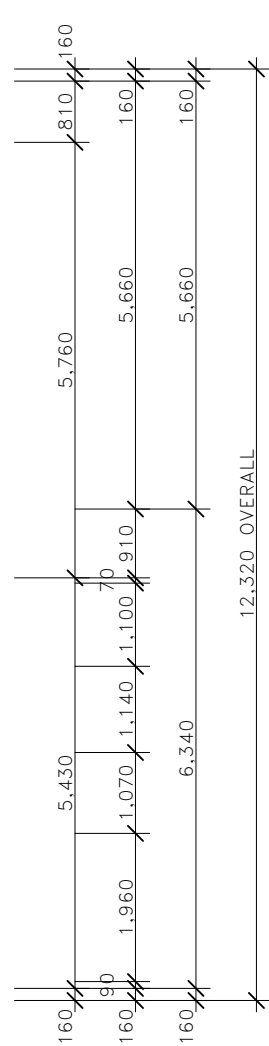
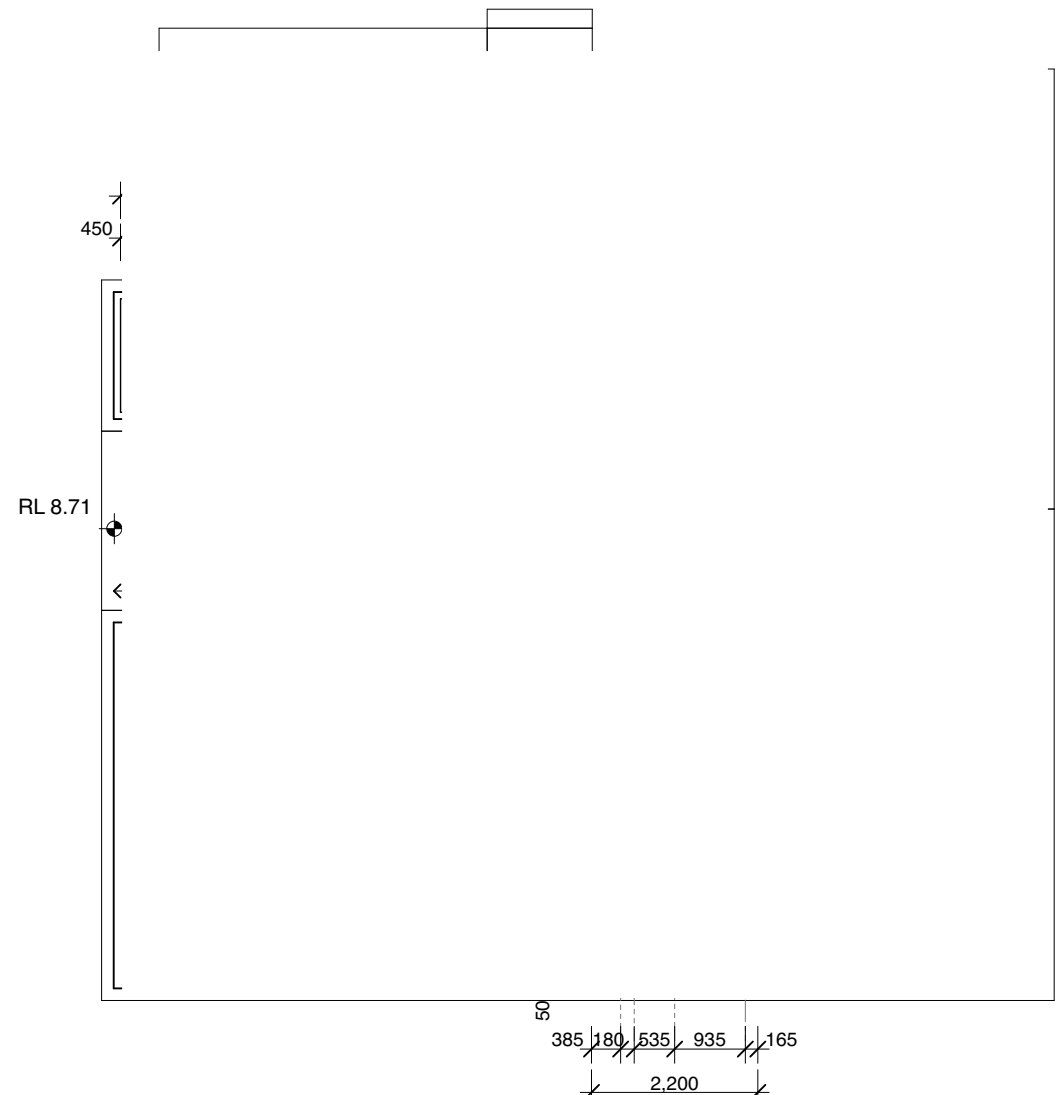
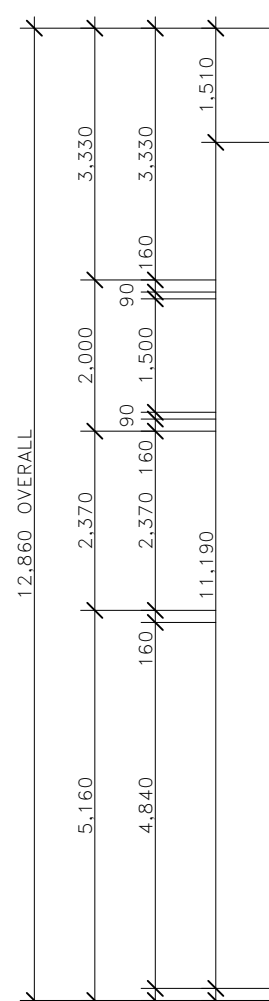
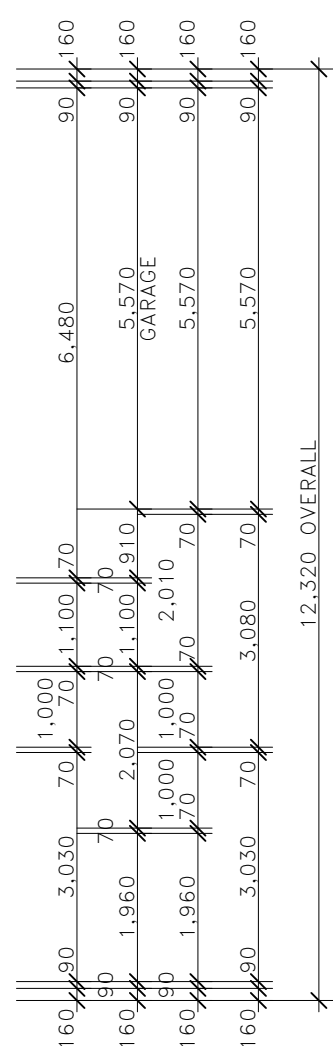
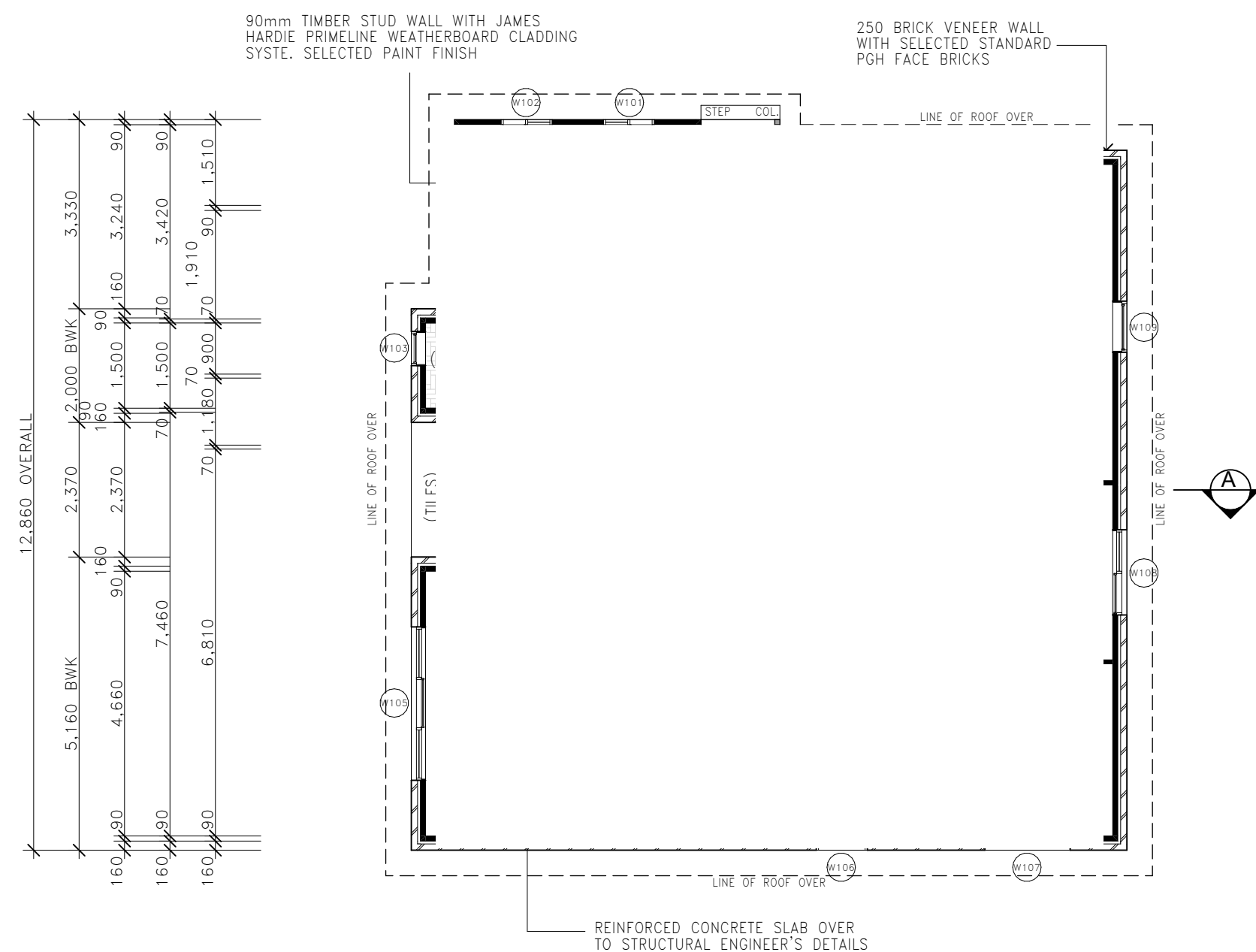
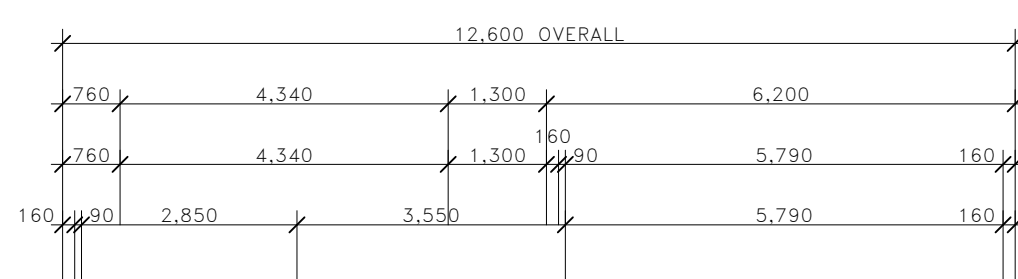
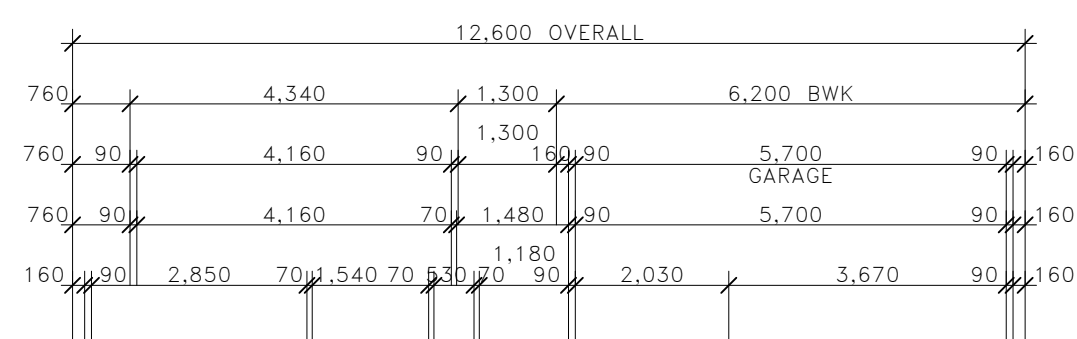
T.O.Z. PTY LTD ABN 92 077 538 006
QLD LIC NO 109 7982

CLIENT:
CROESE - RAYMOND TERRACE RD

PROJECT:
PROPOSED NEW MULTI-RES
LOT 10 SECTION 48 D.P.758274
No. 45 RAYMOND TERRACE ROAD
EAST MAITLAND, NSW 2323

DRAWING TITLE:
ELEVATIONS OVERALL

DATE: 19/09/25
SCALE: 1:100 @ A1
DRAWING No: 2085A - A1.06
ISSUE: E



HOUSE 1 PROPOSED FLOOR PLAN

SCALE 1:100

HOUSE 1 PROPOSED SET OUT PLAN

SCALE 1:100

HOUSE 1 PROPOSED ROOF PLAN

SCALE 1:100

UNIT 1

SUMMARY OF BASIX COMMITMENTS

This is a summary of the BASIX Commitments as detailed in the BASIX Certificate. Builders and Owners must refer to the CURRENT BASIX Certificate for Complete details. For definitions refer to basix.nsw.gov.au

WATER COMMITMENTS

FIXTURES			
ALL SHOWER HEADS	ALL TOILETS	ALL KITCHEN TAPS	ALL BATHROOM TAPS
3 STAR(<=9L/min)	3 STAR(<=4L/min)	3 STAR(<=9L/min)	3 STAR(<=9L/min)
LIGHTING			

	LIGHTING
DWELLING No.	MINIMUM OF 40% OF NEW OR ALTERED LIGHT FIXTURES ARE FITTED WITH FLUORESCENT.

	THERMAL COMMITMENTS
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FLOOR, WALLS & CEILING/ROOF		
CONSTRUCTION	ADDITIONAL INSULATION (R-VALUE)	OTHER
WAFFLE POD CONCRETE SLAB		-
EXTERNAL WALL - FRAMED (W/BOARD)	R2.5 WALL BATTS	-
EXTERNAL WALL - BRICK VENEER	R2.5 WALL BATTS	-

INTERNAL PLASTERBOARD WALL	1
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INTERNAL PLASTERBOARD WALL SHARED WITH GARAGE		R15 WALL BATTIS	
FLAT CEILING, METAL ROOF, FRAMED		CEILING: R5.0 BATTIS DOOR: R1.3 ANTI-COM PLANET	
ENERGY COMMITMENTS			
HOT WATER		BATH./KITCH./L'DRY VENTILATION SYSTEM	
DWELLING No.	HOT WATER SYSTEM	EACH ROOM	OPERATION CONTROL
-	SOLAR (ELECTRIC BOOSTED) 26-30 RLCs	-	-

ACOUSTIC NOTES:

WALLS:

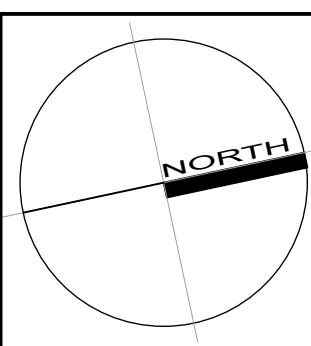
MASONRY, BRICK VENEER CONSTRUCTION IS ACCEPTABLE, INTERNALLY LINED WITH 10MM PLASTERBOARD, PLUS R2/S2 CAVITY INSULATION.

WHERE LIGHT-WEIGHT CLADDING IS INSTALLED (I.E. ALUMINIUM COMPOSITE PANEL, AXON, SHADOWCLAD, WEATHERTEX, OR SIMILAR) INTERNAL LINING TO ROOMS MUST BE MINIMUM 13MM PLASTERBOARD, PLUS R2/S2 CAVITY INSULATION.

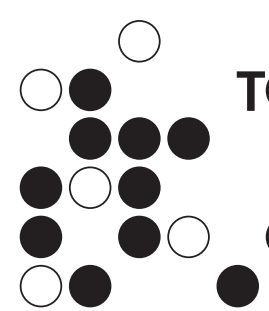
ROOF/CEILING:

CONSTRUCTION IS TO CONSIST OF COLBORD WITH A 30-40MM ANTICON FOIL FACED BUILDING BLANKET HARD UNDER THE ROOF SHEETING (IN SITUATIONS WHERE JOISTS ARE AT CENTRES CLOSE ENOUGH TO AVOID EXCESSIVE SAGGING OF THE BLANKET MAY BE OMITTED). CLOSE OFF EAVES GAPS WITH 2 LAYERS S3/R3 INSULATION IN CEILING VOID, TIGHTLY PACKED AT THE BUILDING PERIMETER AT 600MM WIDTH, ALTERNATIVELY 1 LAYER R4.1 BATTS WILL SUFFICE. ALL CEILINGS ARE TO CONSIST OF 1 LAYER 10-13MM PLASTERBOARD.

TO FURTHER ASSIST IN LOW FREQUENCY ATTENUATION, ALL CEILING VOIDS SHOULD CONTAIN A LAYER OF FIBREGLASS OR ROCKWOOL INSULATION. THE INSULATION IS TO BE INSTALLED IN ADDITION TO, NOT IN LIEU OF THE BUILDING BLANKET. SPECIALISED ACOUSTIC INSULATION IS PREFERRED, HOWEVER, DENSE THERMAL INSULATION (EG. R3 BATTS) WILL SUFFICE AND IS MUCH LESS EXPENSIVE (\$15/M2 FOR ROCKWOOL 350 AND \$5/M2 FOR R3 BATTS).



G	FOR APPROVAL	19/9/2025
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A	DRAFT SET FOR REVIEW	18/6/2025
Rev	Transmittal Set Name	Date
AMENDMENT:		



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W www.torrenbell.com.au
PO Box 5736

T.O.Z. PTY LTD ABN 32 077 574 004
QLD LIC NO. 109 7662

CLIENT:
CROESE - RAYMOND TERRACE RD

PROJECT:
PROPOSED NEW MULTI-RES
LOT 10 SECTION 48 D.P.758274
No. 45 RAYMOND TERRACE ROAD
EAST MAITLAND, NSW 2323

DRAWING TITLE:
HOUSE 1 PROPOSED FLOOR PLANS

DATE: 19/09/25

SCALE: 1:100 @ A1

DRAWING No: 2085A - A1.0

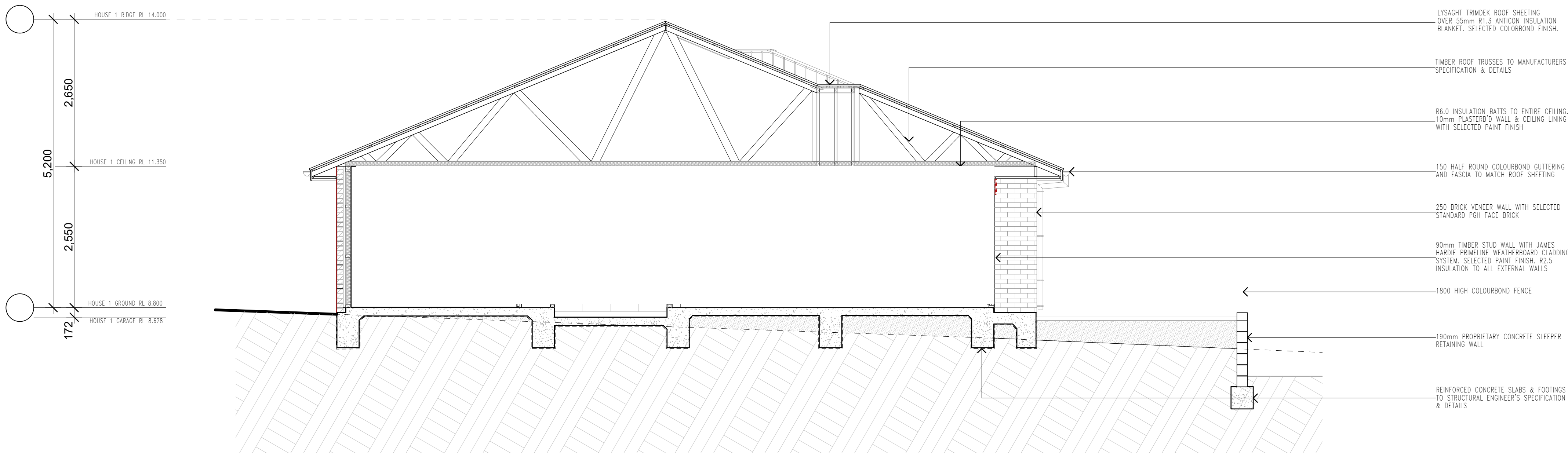
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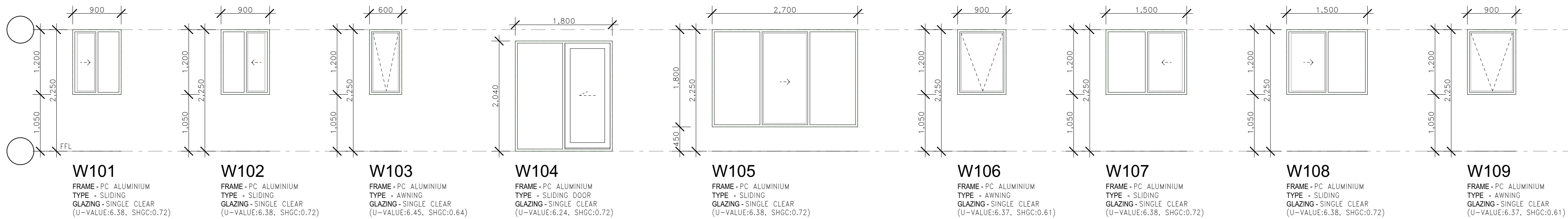
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ISSUE: E



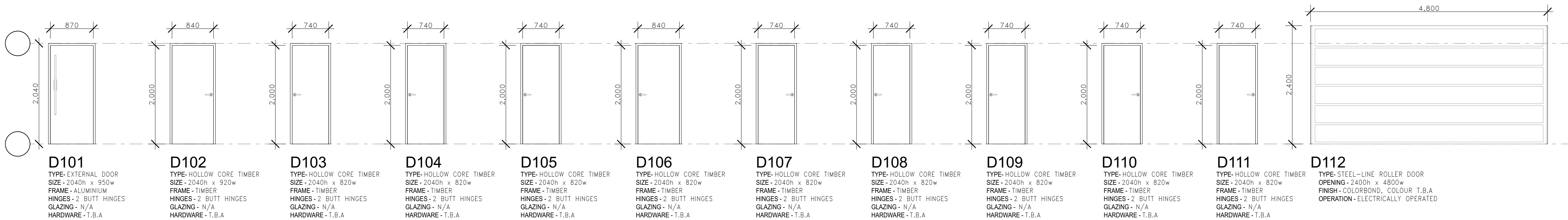
HOUSE 1 SECTION A

SCALE 1:50



HOUSE 1 WINDOW SCHEDULE

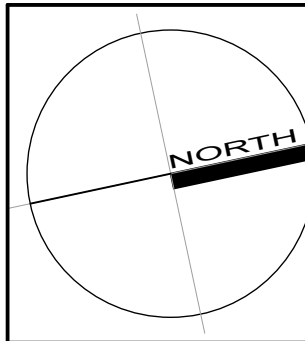
SCALE 1:50



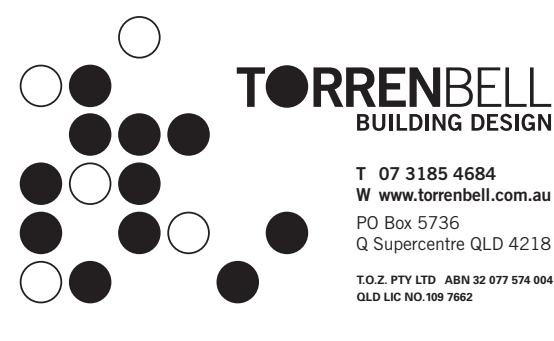
HOUSE 1 DOOR SCHEDULE

SCALE 1:50

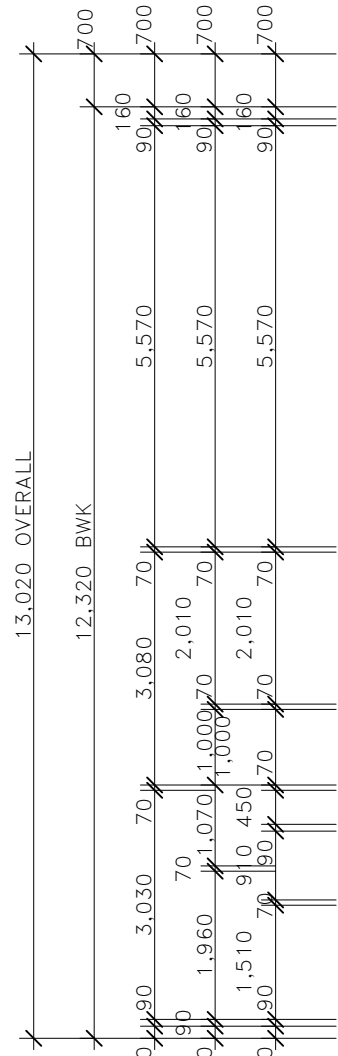
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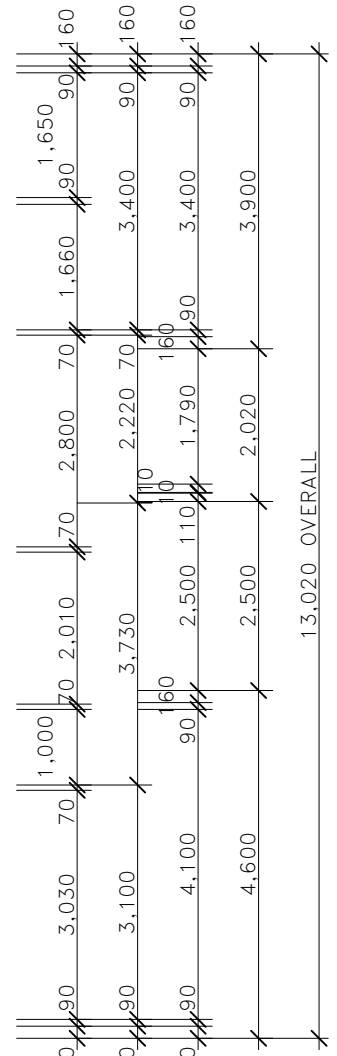
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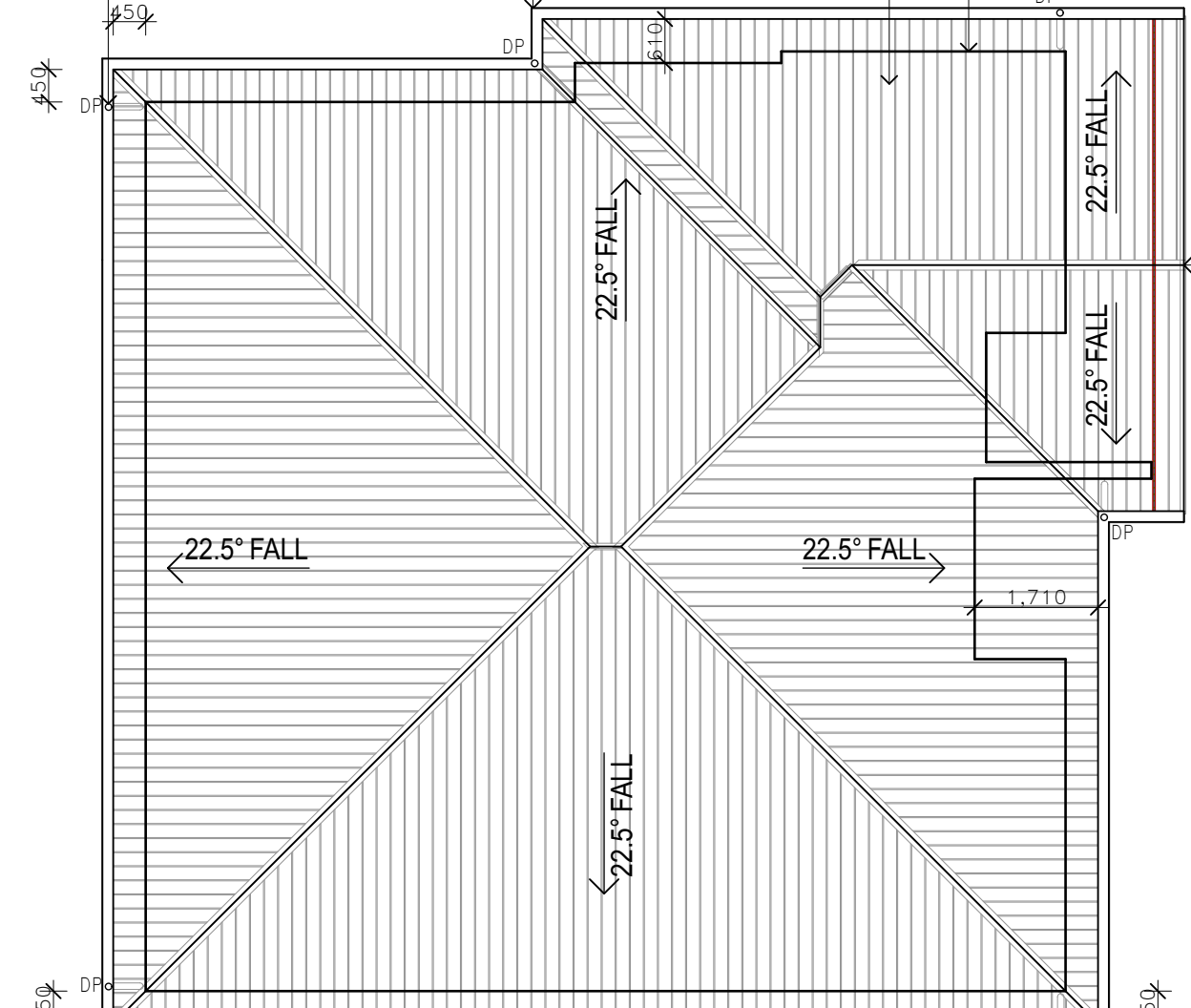
CLIENT: CROESE - RAYMOND TERRACE RD	DRAWING TITLE: HOUSE 1 SECTION AND WINDOW & DOOR SCHEDULE
PROJECT: PROPOSED NEW MULTI-RES LOT 10 SECTION 48 D.P.758274 No. 45 RAYMOND TERRACE ROAD EAST MAITLAND, NSW 2323	DATE: 19/09/25
	SCALE: 1:50 @ A1
	DRAWING No: 2085A - A1.09
	ISSUE: E



SCALE 1:100



SCALE 1:100



SCALE 1:100

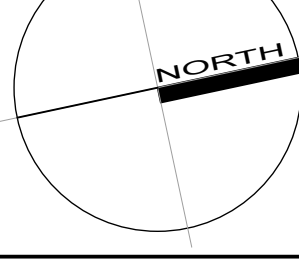
UNIT 2

SUMMARY OF BASIX COMMITMENTS			
This is a summary of the BASIX Commitments as detailed in the BASIX Certificate. Builders and Owners must refer to the CURRENT BASIX Certificate for Complete details. For definitions refer to basix.nsw.gov.au			
WATER COMMITMENTS			
FIXTURES			
ALL SHOWER HEADS	ALL TOILETS	ALL KITCHEN TAPS	ALL BATHROOM TAPS
3 STAR<=9L/min	3 STAR<=4L/min	3 STAR<=9L/min	3 STAR<=9L/min
LIGHTING			
DWELLING NO.	MINIMUM OF 40% OF NEW OR ALTERED LIGHT FIXTURES ARE FITTED WITH FLUORESCENT, COMPACT FLUORESCENT OR LIGHT EMITTING-DIODE (LED) LAMPS		
-			
THERMAL COMMITMENTS			
FLOOR, WALLS & CEILING/ROOF			
CONSTRUCTION	ADDITIONAL INSULATION (R-VALUE)		OTHER
WAFFLE PSD CONCRETE SLAB		-	
EXTERNAL WALL - FRAMED (90/90/40)	42.5 WALL BATTIS	-	
EXTERNAL WALL - BRICK VENER	42.5 WALL BATTIS	-	
INTERNAL PLASTERBOARD WALL	N/A	-	
INTERNAL PLASTERBOARD WALL SHARED WITH GARAGE	97.5 WALL BATTIS	-	
FLAT CEILING, METAL ROOF- FRAMED	CEILING: 97.5 BATTIS ROOF: 97.5 AIRLOCK BLANKET	-	
WATER COMMITMENTS			
HOT WATER		BATH./KITCH./L'DRY VENTILATION SYSTEM	
DWELLING NO.	HOT WATER SYSTEM	EACH ROOM	OPERATION CONTROL
-	SOLAR (ELECTRIC BOOSTED) 26-30. REG'd		

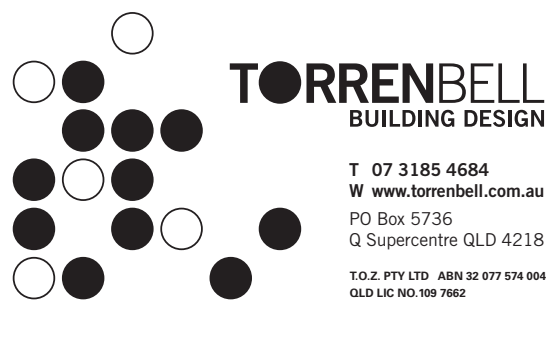
WALLS:

MASONR

CONSTRUCTION

[illegible]

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AMENDMENT:		



CLIENT:
CROESE - RAYMOND TERRACE RD

PROJECT:
PROPOSED NEW MULTI-RES
LOT 10 SECTION 48 D.P.758274
No. 45 RAYMOND TERRACE ROAD
EAST MAITLAND, NSW 2323

DRAWING TITLE:
HOUSE 2 PROPOSED FLOOR PLANS

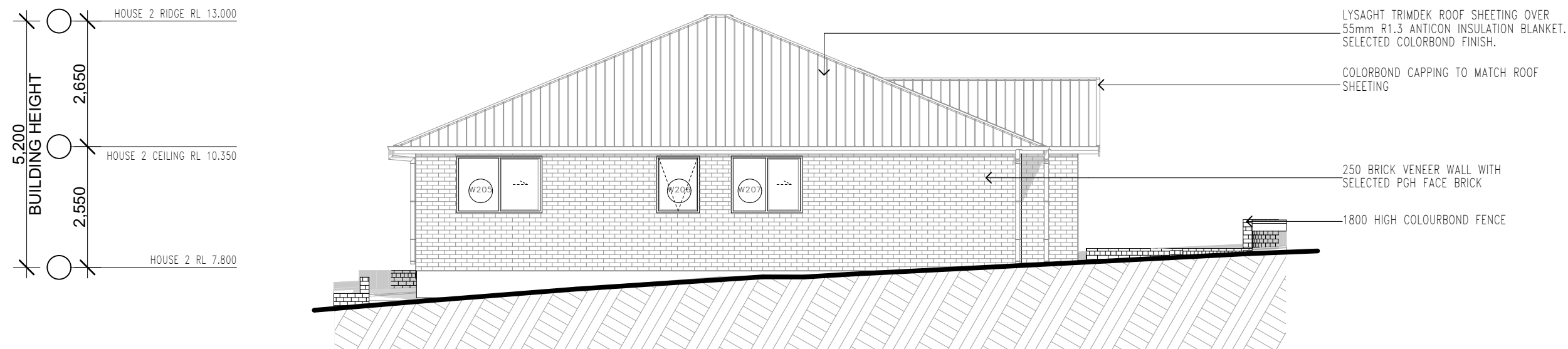
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ISSUE:	G

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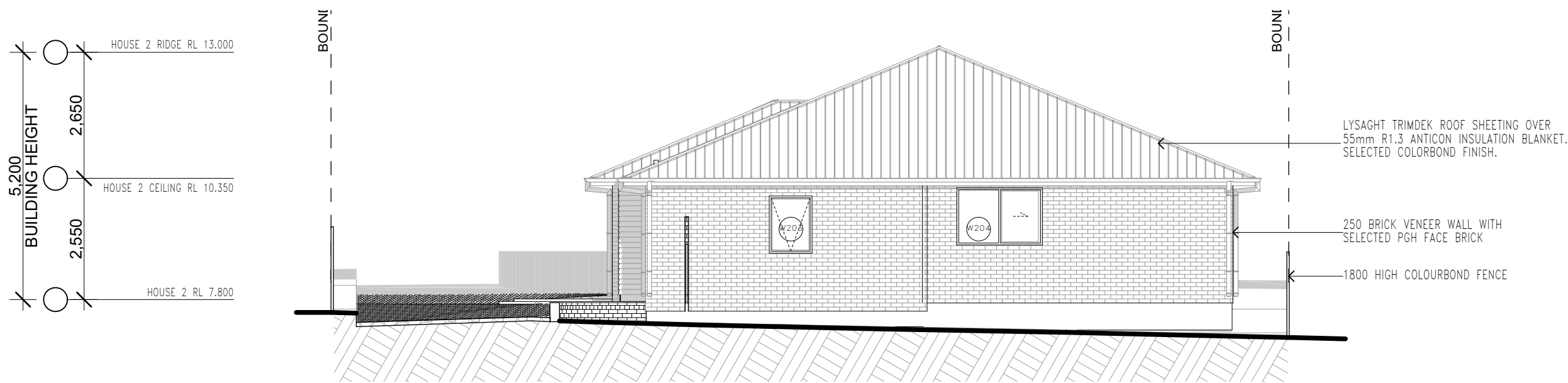
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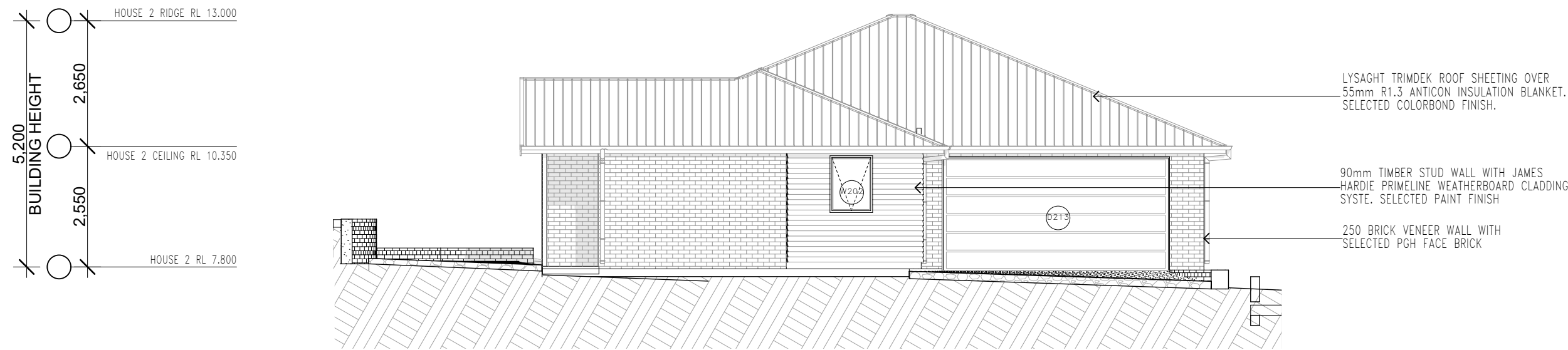
HOUSE 2 NORTH ELEVATION
SCALE 1:100



HOUSE 2 EAST ELEVATION
SCALE 1:100



HOUSE 2 SOUTH ELEVATION
SCALE 1:100



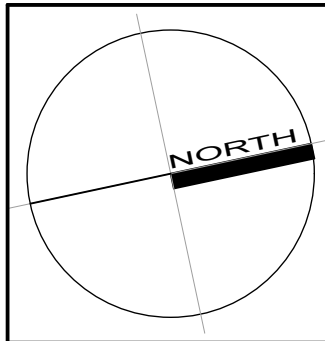
HOUSE 2 WEST ELEVATION
SCALE 1:100

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Rev	Transmittal Set Name	Date
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QLD LIC NO 709 7082

CLIENT:
CROESE - RAYMOND TERRACE RD

PROJECT:
**PROPOSED NEW MULTI-RES
LOT 10 SECTION 48 D.P.758274
No. 45 RAYMOND TERRACE ROAD
EAST MAITLAND, NSW 2323**

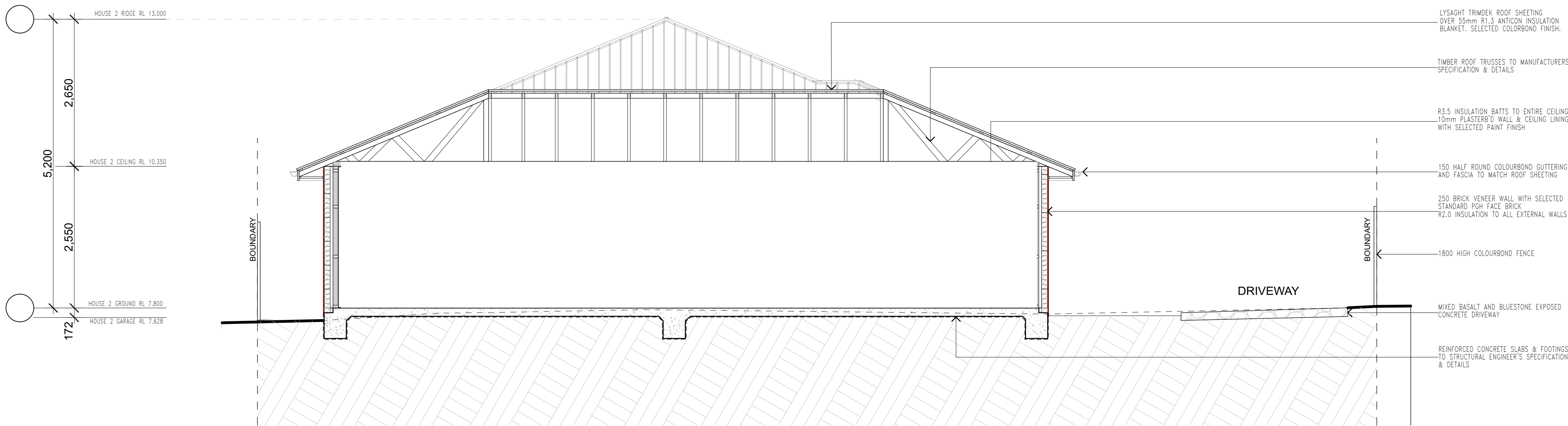
DRAWING TITLE:
HOUSE 2 ELEVATIONS

DATE: **19/09/25**

SCALE: **1:100 @ A1**

DRAWING No: **2085A - A1.11**

ISSUE: **E**



HOUSE 2 SECTION B

SCALE 1:50

W201 FRAME - PC ALUMINIUM TYPE - SLIDING GLAZING - SINGLE CLEAR (U-VALUE:6.38, SHGC:0.72)	W202 FRAME - PC ALUMINIUM TYPE - AWNING GLAZING - SINGLE CLEAR (U-VALUE:6.37, SHGC:0.61)	W203 FRAME - PC ALUMINIUM TYPE - AWNING GLAZING - SINGLE CLEAR (U-VALUE:6.45, SHGC:0.64)	W204 FRAME - PC ALUMINIUM TYPE - SLIDING GLAZING - SINGLE GLAZE LAMINATED OR VLAM HUSH GLASS OR SINGLE GLAZE 5-8mm CLEAR FLOAT GLASS MIN. Rw = 30 (U-VALUE:6.38, SHGC:0.72)	W205 FRAME - PC ALUMINIUM TYPE - SLIDING GLAZING - SINGLE GLAZE 5-8mm CLEAR FLOAT GLASS MIN. Rw = 28 (U-VALUE:6.38, SHGC:0.72)	W206 FRAME - PC ALUMINIUM TYPE - AWNING GLAZING - SINGLE CLEAR (U-VALUE:6.37, SHGC:0.61)	W207 FRAME - PC ALUMINIUM TYPE - SLIDING GLAZING - SINGLE GLAZE 5-8mm CLEAR FLOAT GLASS MIN. Rw = 27 (U-VALUE:6.38, SHGC:0.72)	W208 FRAME - PC ALUMINIUM TYPE - SLIDING GLAZING - SINGLE CLEAR (U-VALUE:6.38, SHGC:0.72)	W209 FRAME - PC ALUMINIUM TYPE - SLIDING DOOR GLAZING - SINGLE CLEAR (U-VALUE:6.24, SHGC:0.72)

ACOUSTIC NOTES:

GLASS INSTALLED IN WINDOW ASSEMBLIES MUST COMPLY WITH AS1288-2006. MATERIALS, CONSTRUCTION AND INSTALLATION OF ALL WINDOWS ARE TO COMPLY WITH THE REQUIREMENTS OF AS2047-2014.

*THE TYPICAL GLAZING SHOWN IN THE WINDOW SCHEDULE SHOULD BE USED AS A GUIDE ONLY. THE SUPPLIER OF THE WINDOW/DOOR MUST BE ABLE TO PROVIDE EVIDENCE THAT THE COMPLETE SYSTEM WILL ACHIEVE THE SPECIFIED RW PERFORMANCE, I.E. DO NOT SIMPLY INSTALL OUR RECOMMENDED GLASS IN A STANDARD WINDOW FRAME.

HOUSE 2 WINDOW SCHEDULE

SCALE 1:50

D201 TYPE - EXTERNAL DOOR SIZE - 2040h x 950w FRAME - ALUMINIUM HINGES - 2 BUTT HINGES GLAZING - N/A HARDWARE - T.B.A	D202 TYPE - HOLLOW CORE TIMBER SIZE - 2040h x 920w FRAME - TIMBER HINGES - 2 BUTT HINGES GLAZING - N/A HARDWARE - T.B.A	D203 TYPE - HOLLOW CORE TIMBER SIZE - 2040h x 820w FRAME - TIMBER HINGES - 2 BUTT HINGES GLAZING - N/A HARDWARE - T.B.A	D204 TYPE - HOLLOW CORE TIMBER SIZE - 2040h x 820w FRAME - TIMBER HINGES - 2 BUTT HINGES GLAZING - N/A HARDWARE - T.B.A	D205 TYPE - HOLLOW CORE TIMBER SIZE - 2040h x 920w FRAME - TIMBER HINGES - 2 BUTT HINGES GLAZING - N/A HARDWARE - T.B.A	D206 TYPE - HOLLOW CORE TIMBER SIZE - 2040h x 820w FRAME - TIMBER HINGES - 2 BUTT HINGES GLAZING - N/A HARDWARE - T.B.A	D207 TYPE - HOLLOW CORE TIMBER SIZE - 2040h x 820w FRAME - TIMBER HINGES - 2 BUTT HINGES GLAZING - N/A HARDWARE - T.B.A	D208 TYPE - HOLLOW CORE TIMBER SIZE - 2040h x 820w FRAME - TIMBER HINGES - 2 BUTT HINGES GLAZING - N/A HARDWARE - T.B.A	D209 TYPE - HOLLOW CORE TIMBER SIZE - 2040h x 820w FRAME - TIMBER HINGES - 2 BUTT HINGES GLAZING - N/A HARDWARE - T.B.A	D210 TYPE - HOLLOW CORE TIMBER SIZE - 2040h x 820w FRAME - TIMBER HINGES - 2 BUTT HINGES GLAZING - N/A HARDWARE - T.B.A	D211 TYPE - HOLLOW CORE TIMBER SIZE - 2040h x 820w FRAME - TIMBER HINGES - 2 BUTT HINGES GLAZING - N/A HARDWARE - T.B.A	D212 TYPE - HOLLOW CORE TIMBER SIZE - 2040h x 820w FRAME - TIMBER HINGES - 2 BUTT HINGES GLAZING - N/A HARDWARE - T.B.A	D213 TYPE - STEEL-LINE ROLLER DOOR OPENING - 2400h x 4800w FINISH - COLORBOND, COLOUR T.B.A OPERATION - ELECTRICALLY OPERATED

HOUSE 2 DOOR SCHEDULE

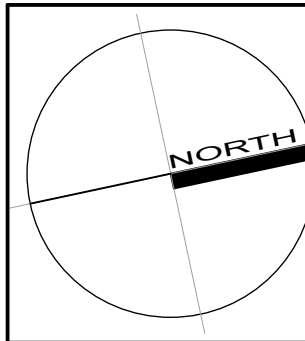
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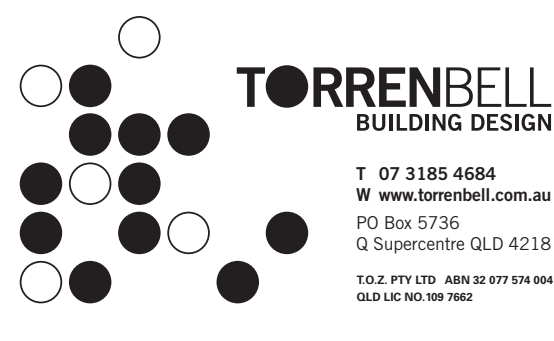
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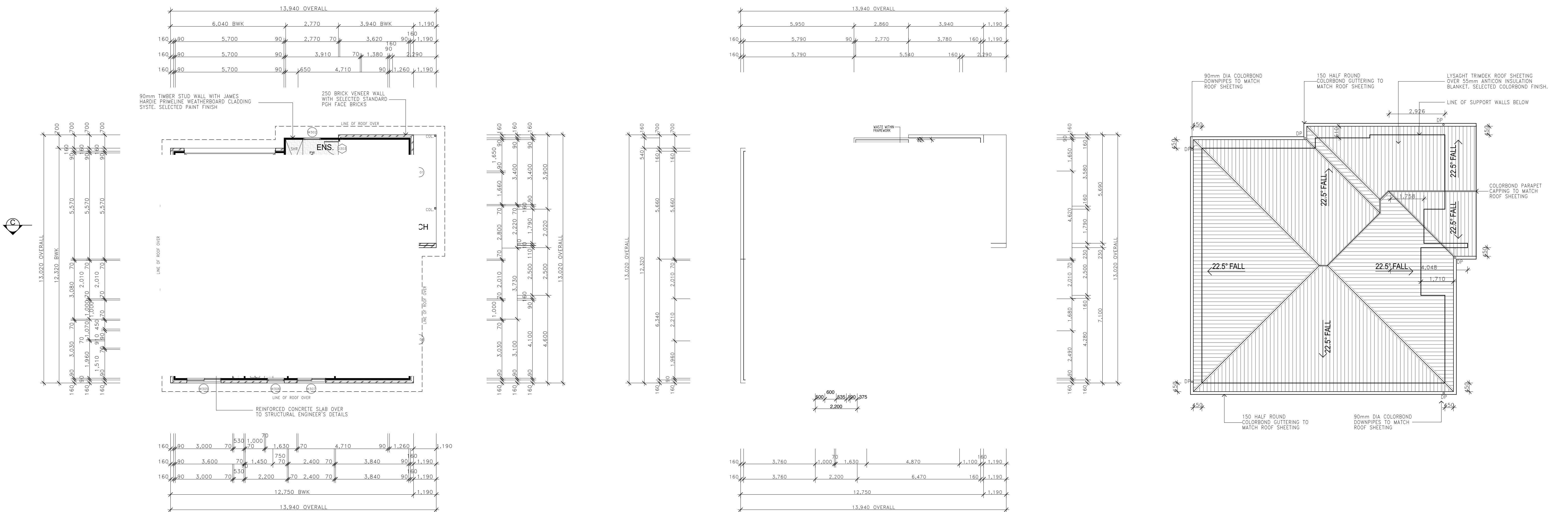


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AMENDMENT:		



CLIENT:	CROESE - RAYMOND TERRACE RD
PROJECT:	PROPOSED NEW MULTI-RES LOT 10 SECTION 48 D.P.758274 No. 45 RAYMOND TERRACE ROAD EAST MAITLAND, NSW 2323

DRAWING TITLE:	HOUSE 2 SECTION AND WINDOW & DOOR SCHEDULE
DATE:	19/09/25
SCALE:	1:50 @ A1
DRAWING No:	2085A - A1.12
ISSUE:	F



HOUSE 3 PROPOSED FLOORPLAN

SCALE 1:100

HOUSE 3 PROPOSED SET OUT PLAN

SCALE 1:100

HOUSE 3 PROPOSED ROOF PLAN

SCALE 1:100

UNIT 3

SUMMARY OF BASIX COMMITMENTS

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WATER COMMITMENTS	
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FIXTURES			
ALL SHOWER HEADS	ALL TOILETS	ALL KITCHEN TAPS	ALL BATHROOM TAPS
3 STAR(<=9L/min)	3 STAR(<=4L/min)	3 STAR(<=9L/min)	3 STAR(<=9L/min)

	LIGHTING
--	----------

DWELLING No.	MINIMUM OF 40% OF NEW OR ALTERED LIGHT FIXTURES ARE FITTED WITH FLUORESCENT, COMPACT FLUORESCENT OR LIGHT EMITTING-DIODE (LED) LAMPS
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THERMAL COMMITMENTS	
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FLOOR, WALLS & CEILING/ROOF		
CONSTRUCTION	ADDITIONAL INSULATION (R-VALUE)	OTHER
WAFFLE POD CONCRETE SLAB		-
EXTERNAL WALL - FRAMED (W/BOARD)	R2.0 WALL BATTS	-
EXTERNAL WALL - BRICK VENEER	R2.0 WALL BATTS	-

INTERNAL PLASTERBOARD WALL	M
INTERNAL PLASTERBOARD WALL CHARGED WITH CARBON	

INTERIOR PLASTERBOARD WALL SHOWN IN BATH GARAGE	RECY. WALL BATTIS
FLAT CEILING, METAL ROOF, FRAMED	RECY. RECS BATTIS
	ROOF: 9.5" ANTIION BATTIS

ENERGY COMMITMENTS

	HOT WATER	BATH./KITCH./L'DRY VENTILATION SYSTEM
DWELLING No.	HOT WATER SYSTEM	EACH ROOM
	OPERATION CONTROL	
-	SOLAR (ELECTRIC BOOSTED) 26-30 RECS	-

ACOUSTIC NOTES:

WALLS:

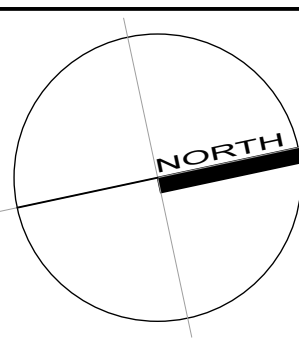
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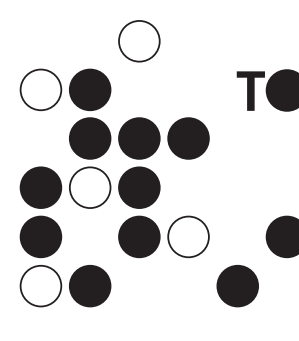
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Q Supercentre QLD 4218

T.O.Z. PTY LTD ABN 32 077 574 604
G.P.O. BOX 400 3002

CLIENT:
CROESE - RAYMOND TERRACE RD

PROJECT:
PROPOSED NEW MULTI-RES
LOT 10 SECTION 48 D.P.758274
No. 45 RAYMOND TERRACE ROAD
EAST MAITLAND, NSW 2323

DRAWING TITLE:
HOUSE 3 PROPOSED FLOOR PLANS

DATE: 19/09/25

SCALE: 1:100 @ A1

DRAWING No: 2085A - A1.13

ISSUE: G

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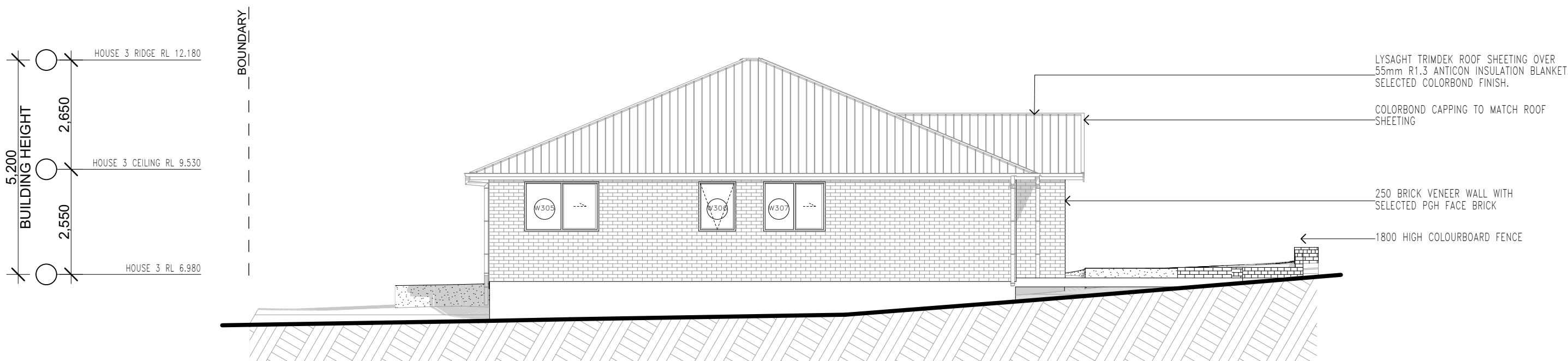
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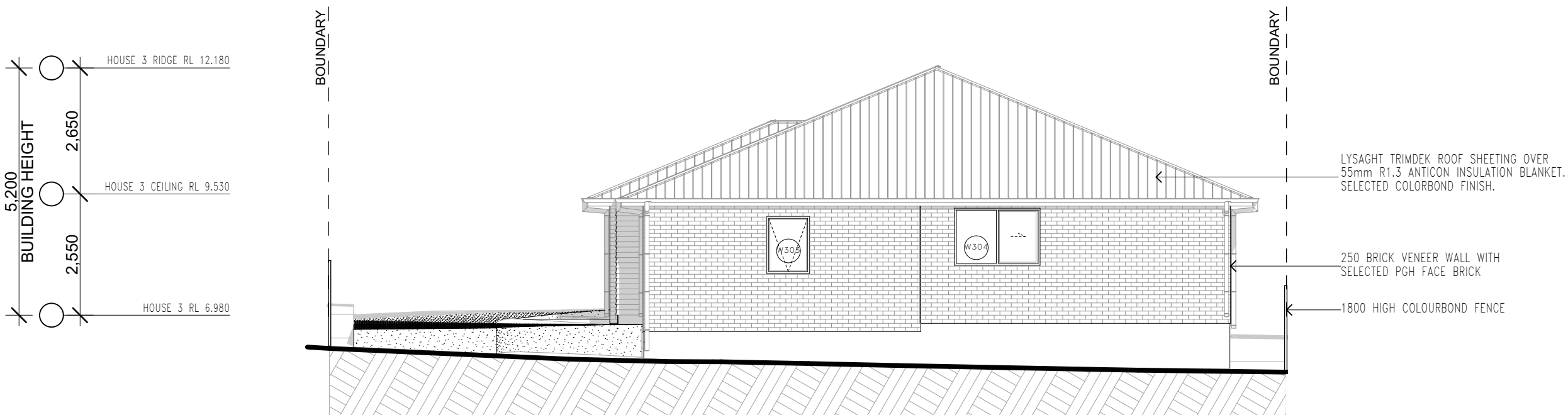
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HOUSE 3 NORTH ELEVATION
SCALE 1:100



HOUSE 3 EAST ELEVATION
SCALE 1:100



HOUSE 3 SOUTH ELEVATION
SCALE 1:100

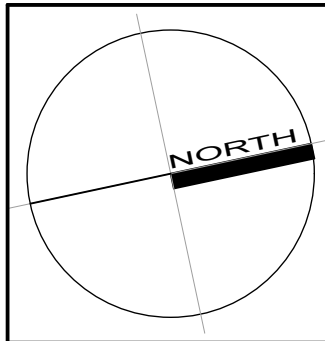


HOUSE 3 WEST ELEVATION
SCALE 1:100

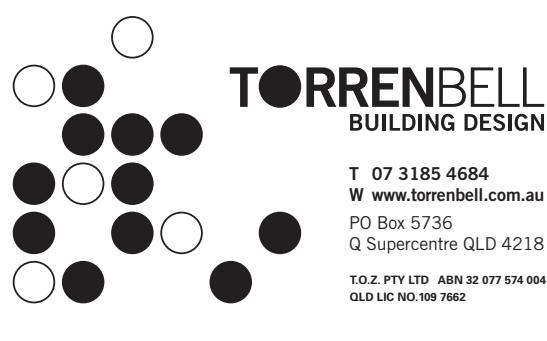
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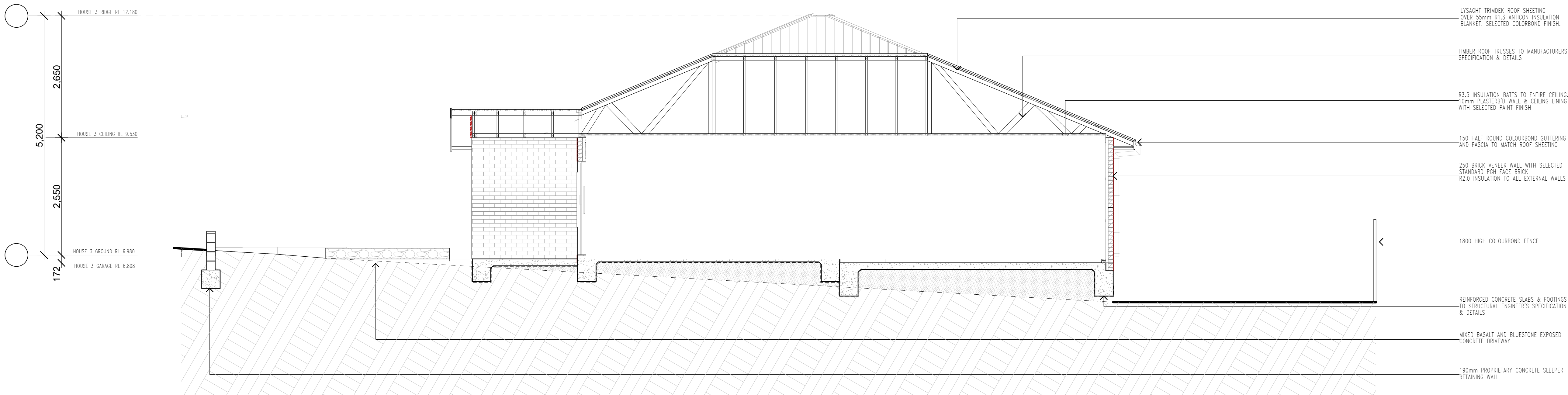
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E	FOR APPROVAL	19/9/2025
D	FOR APPROVAL	5/8/2025
C	DRAFT SET FOR REVIEW	31/7/2025
B	DRAFT SET FOR REVIEW	7/7/2025
A	DRAFT SET FOR REVIEW	26/6/2025
Rev / Transmittal Set Name		Date
AMENDMENT:		

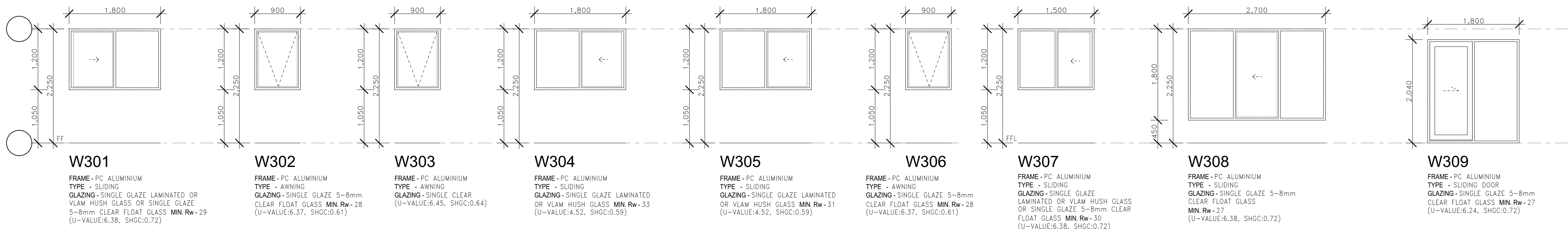


CLIENT:	CROESE - RAYMOND TERRACE RD	DRAWING TITLE:	HOUSE 3 ELEVATIONS
PROJECT:	PROPOSED NEW MULTI-RES LOT 10 SECTION 48 D.P.758274 No. 45 RAYMOND TERRACE ROAD EAST MAITLAND, NSW 2323	DATE:	19/09/25
		SCALE:	1:100 @ A1
		DRAWING No:	2085A - A1.14
		ISSUE:	E



HOUSE 3 SECTION C

SCALE 1:50



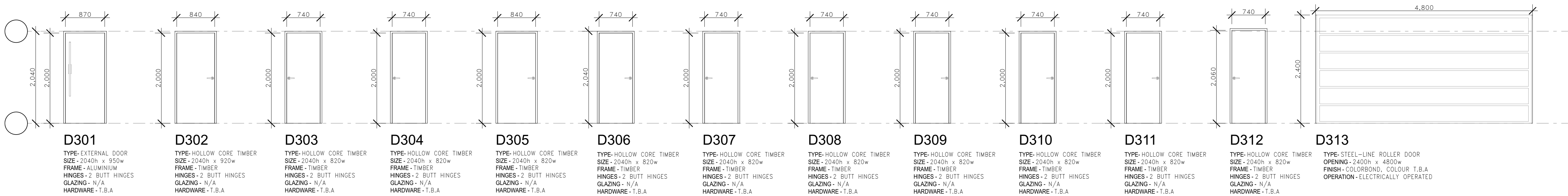
ACOUSTIC NOTES:

GLASS INSTALLED IN WINDOW ASSEMBLIES MUST COMPLY WITH AS1288-2006. MATERIALS, CONSTRUCTION AND INSTALLATION OF ALL WINDOWS ARE TO COMPLY WITH THE REQUIREMENTS OF AS2047-2014.

*THE TYPICAL GLAZING SHOWN IN THE WINDOW SCHEDULE SHOULD BE USED AS A GUIDE ONLY. THE SUPPLIER OF THE WINDOW/DOOR MUST BE ABLE TO PROVIDE EVIDENCE THAT THE COMPLETE SYSTEM WILL ACHIEVE THE SPECIFIED RW PERFORMANCE, I.E. DO NOT SIMPLY INSTALL OUR RECOMMENDED GLASS IN A STANDARD WINDOW FRAME.

HOUSE 3 WINDOW SCHEDULE

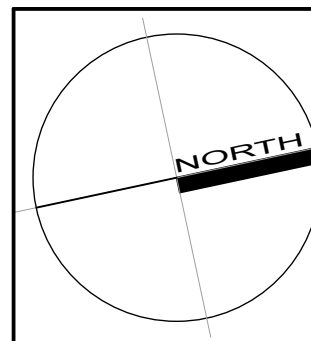
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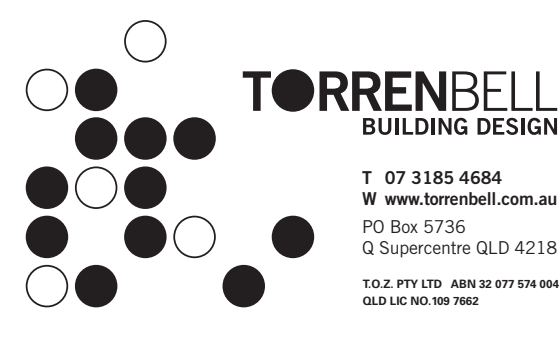
HOUSE 3 DOOR SCHEDULE

SCALE 1:50

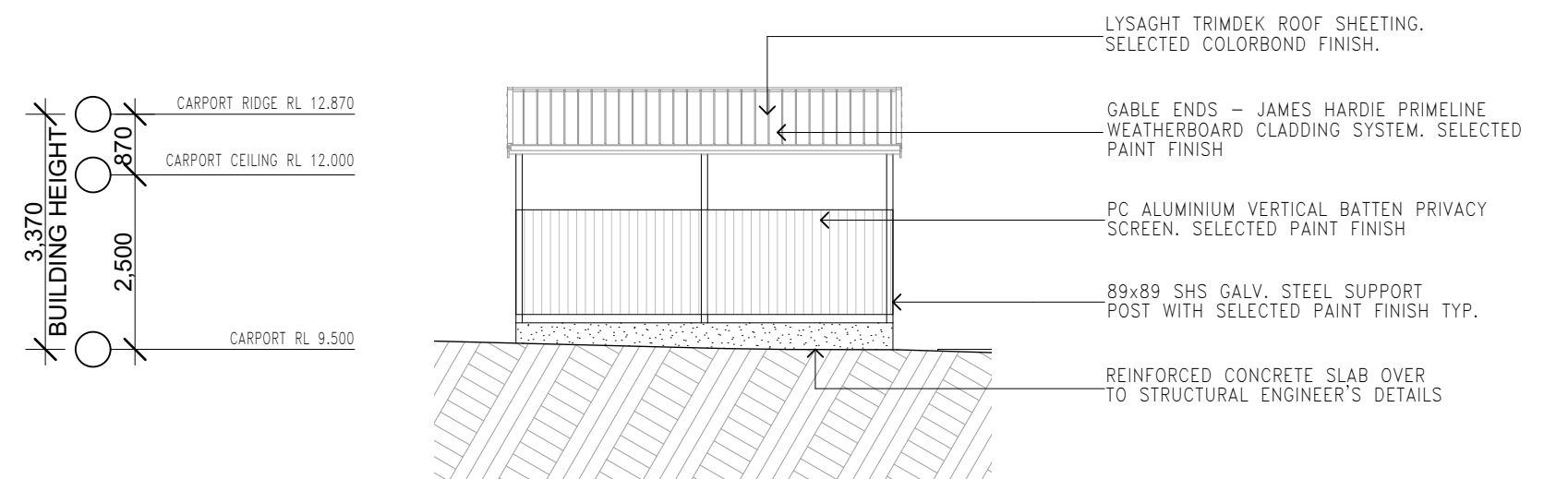
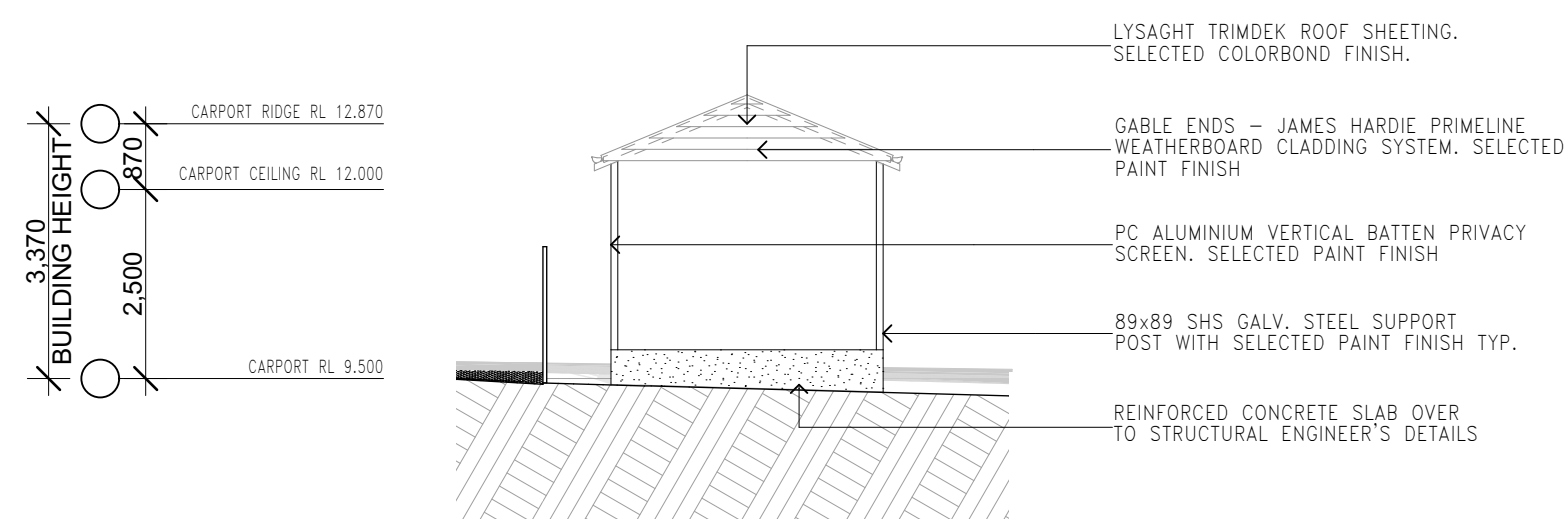
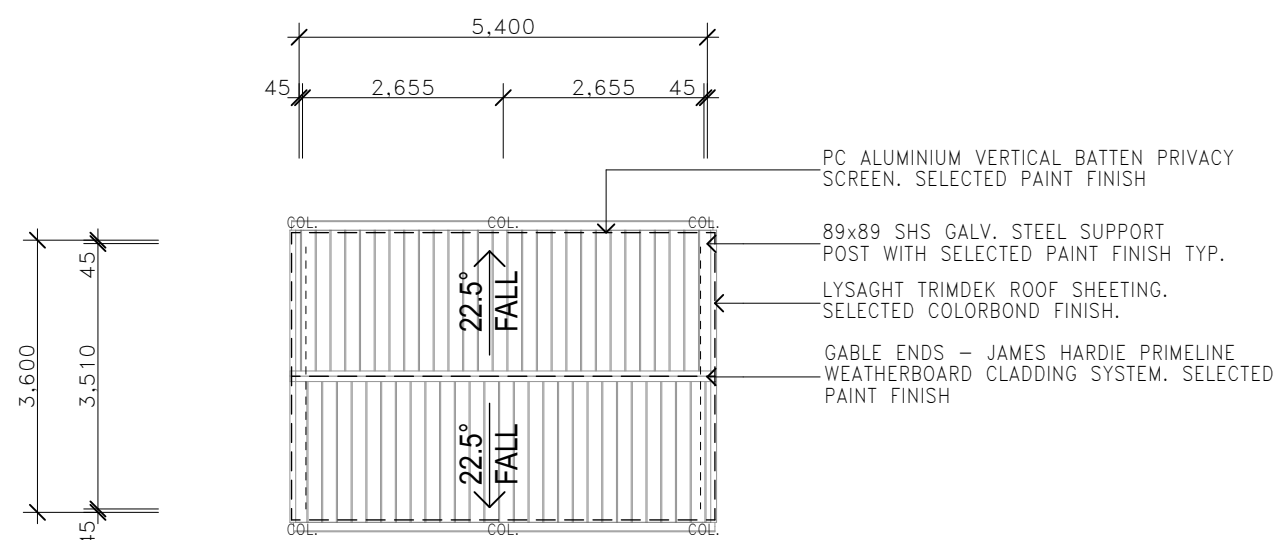
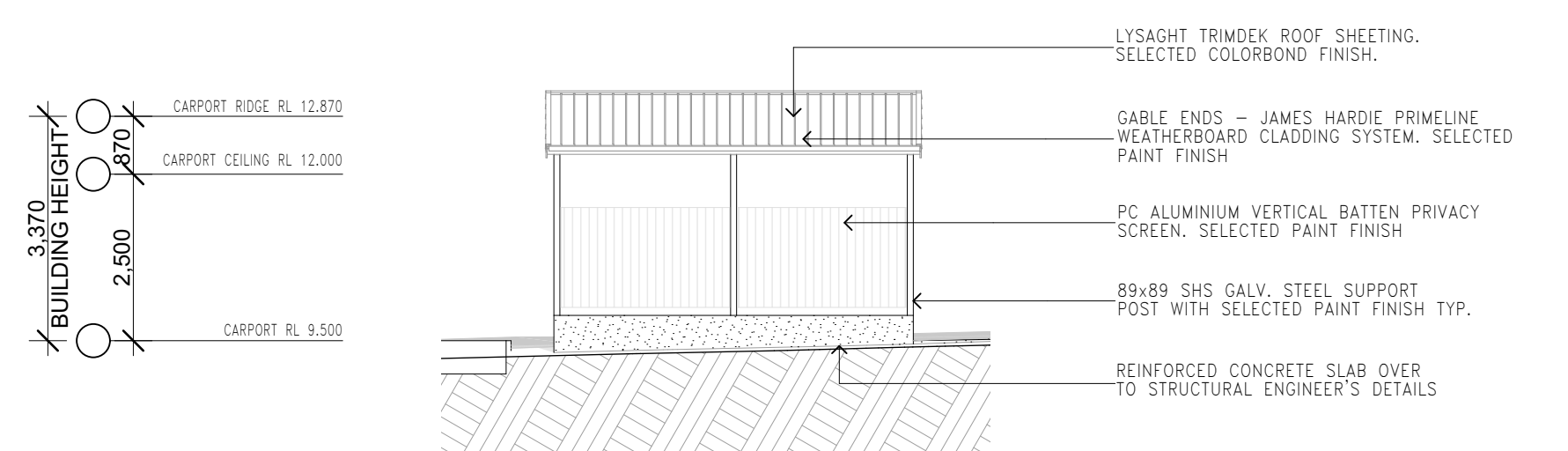
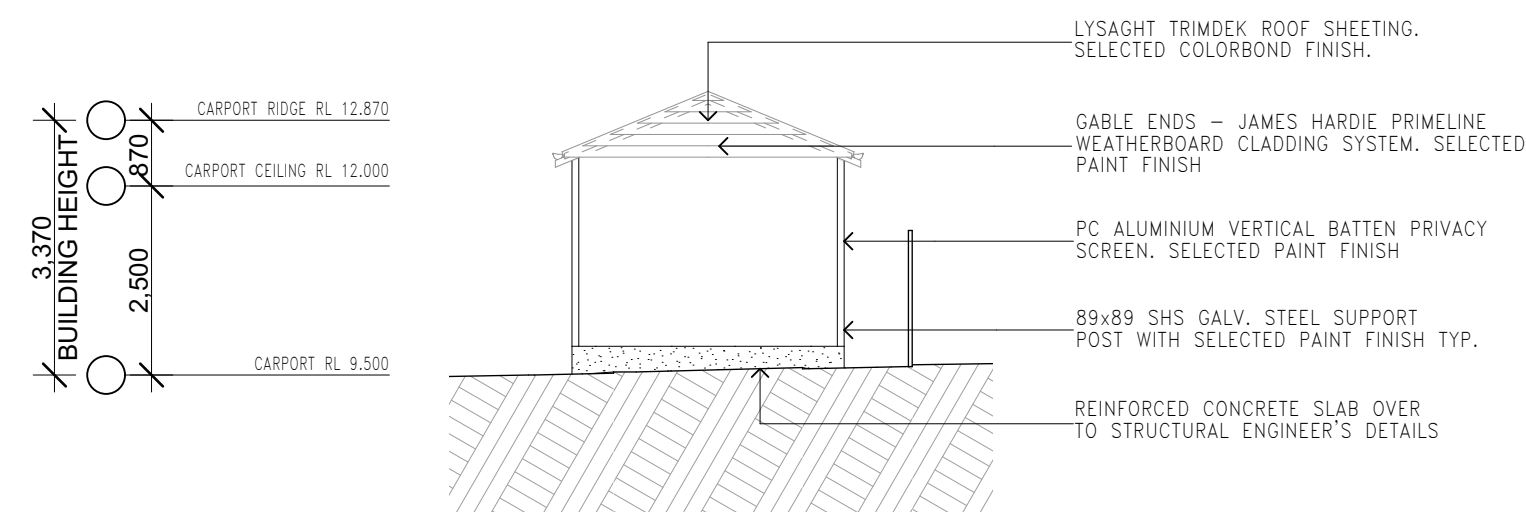
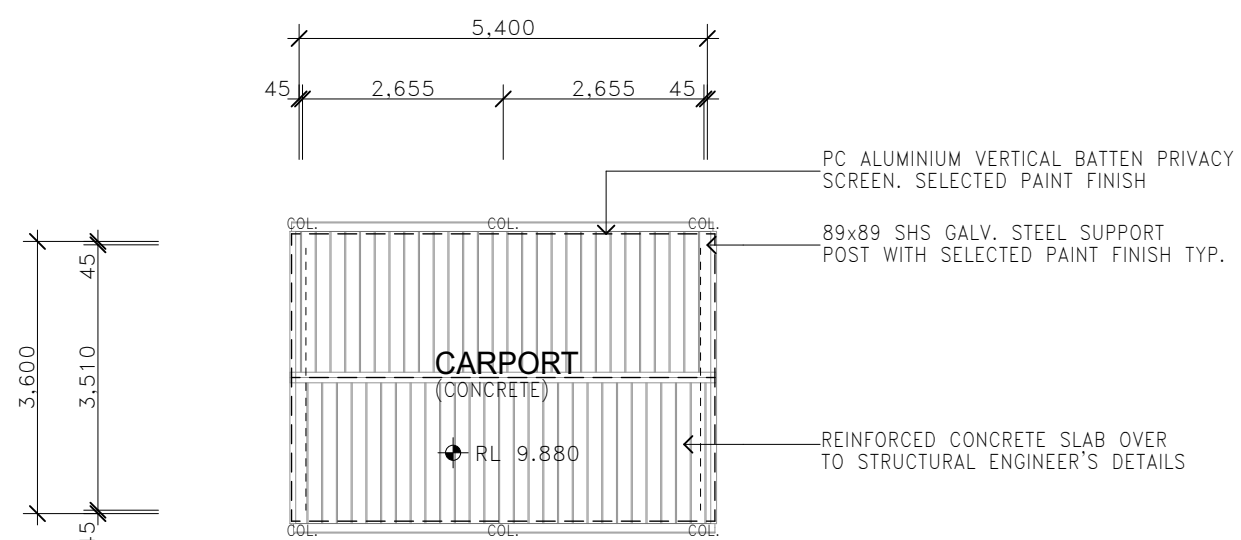
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Rev	Transmittal Set Name	Date
1	FOR APPROVAL	19/8/2025
2	FOR APPROVAL	5/8/2025
3	DRAFT SET FOR REVIEW	31/7/2025
4	DRAFT SET FOR REVIEW	28/7/2025
5	DRAFT SET FOR REVIEW	7/7/2025
6	DRAFT SET FOR REVIEW	26/6/2025



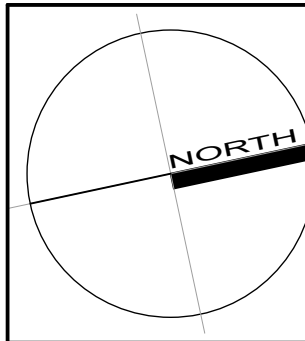
CLIENT: CROESE - RAYMOND TERRACE RD	DRAWING TITLE: HOUSE 3 SECTION AND WINDOW & DOOR SCHEDULE
PROJECT: PROPOSED NEW MULTI-RES LOT 10 SECTION 48 D.P.758274 No. 45 RAYMOND TERRACE ROAD EAST MAITLAND, NSW 2323	DATE: 19/09/25
	SCALE: 1:50 @ A1
	DRAWING No: 2085A - A1.15
	ISSUE: F



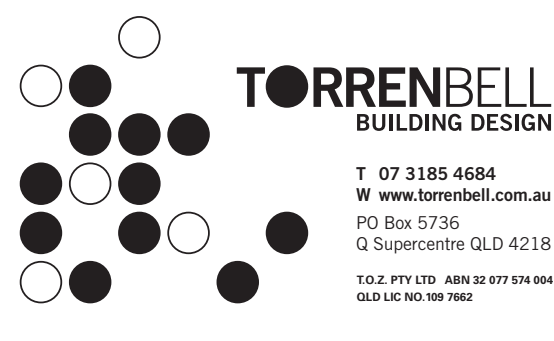
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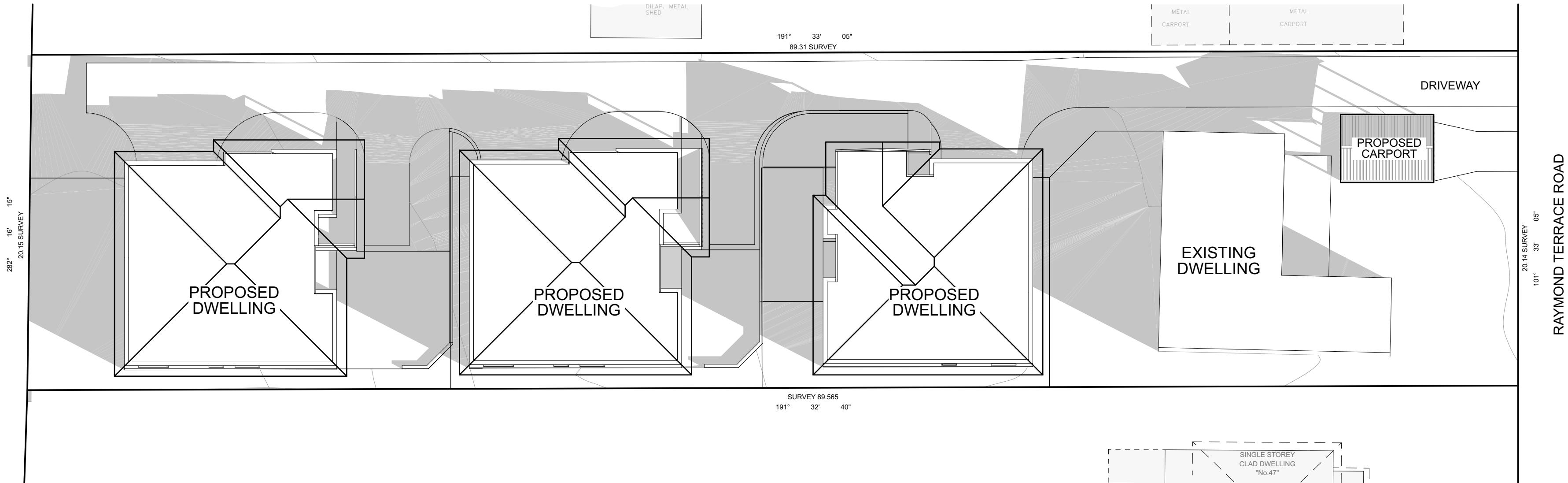
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D	FOR APPROVAL	19/9/2025
C	FOR APPROVAL	5/8/2025
B	DRAFT SET FOR REVIEW	31/7/2025
A	DRAFT SET FOR REVIEW	7/7/2025
Rev	Transmittal Set Name	Date
AMENDMENT:		

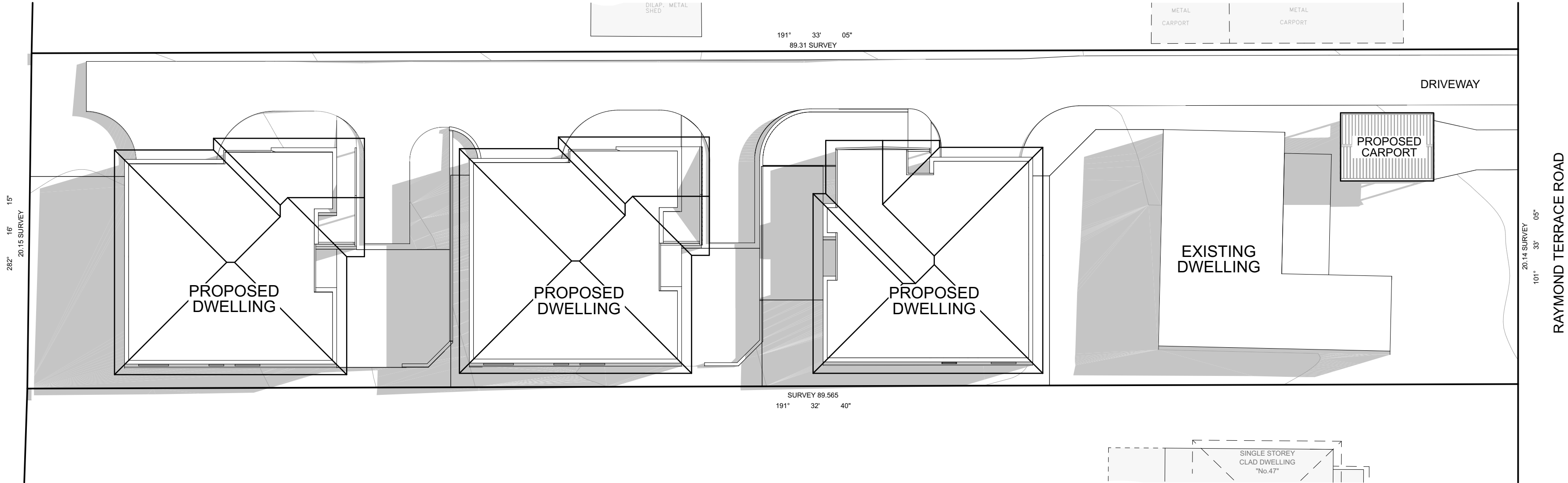


CLIENT: CROESE - RAYMOND TERRACE RD PROJECT: PROPOSED NEW MULTI-RES LOT 10 SECTION 48 D.P.758274 No. 45 RAYMOND TERRACE ROAD EAST MAITLAND, NSW 2323	DRAWING TITLE: PROPOSED CARPORT
	DATE: 19/09/25
	SCALE: 1:100 @ A1
	DRAWING No: 2085A - A1.16
	ISSUE: D



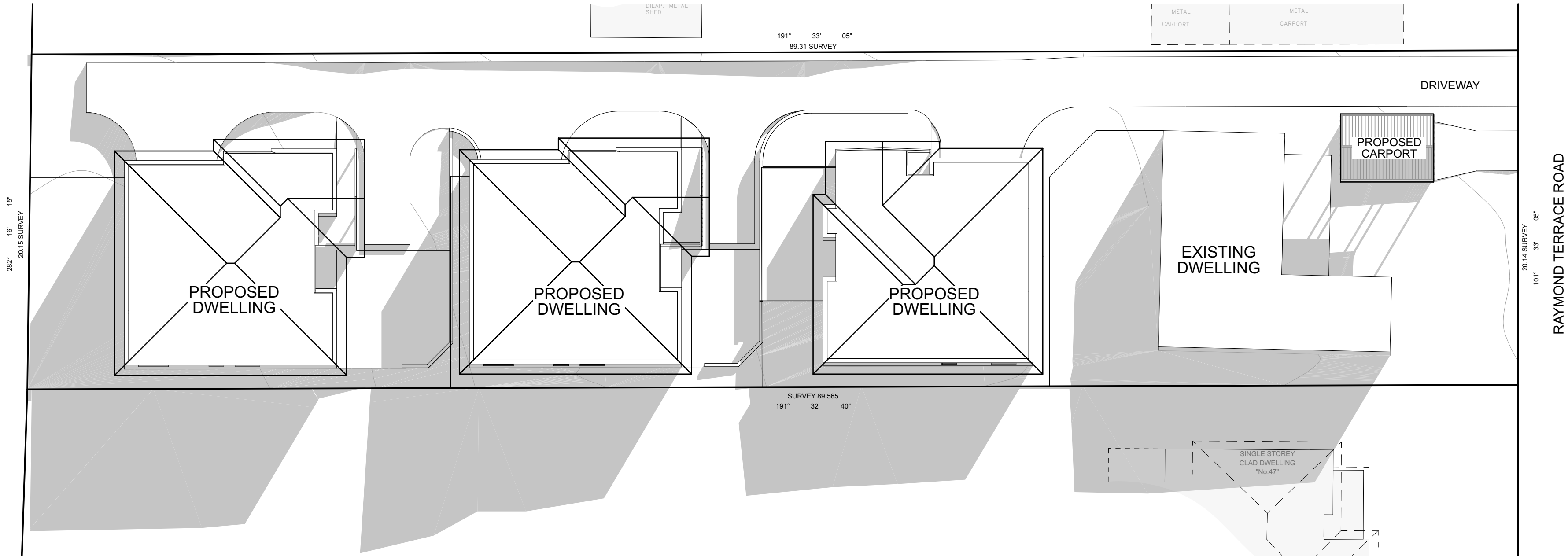
9AM 21ST JUNE

SCALE 1:200



12PM 21ST JUNE

SCALE 1:200

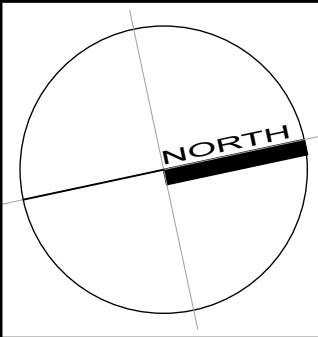


3PM 21ST JUNE

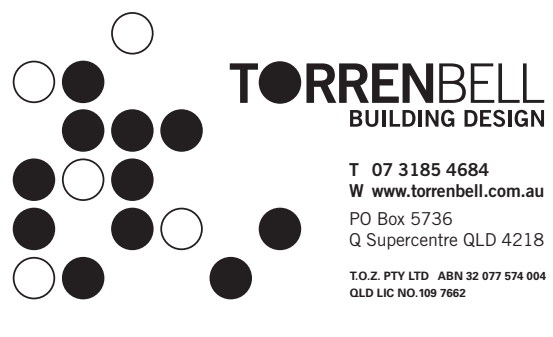
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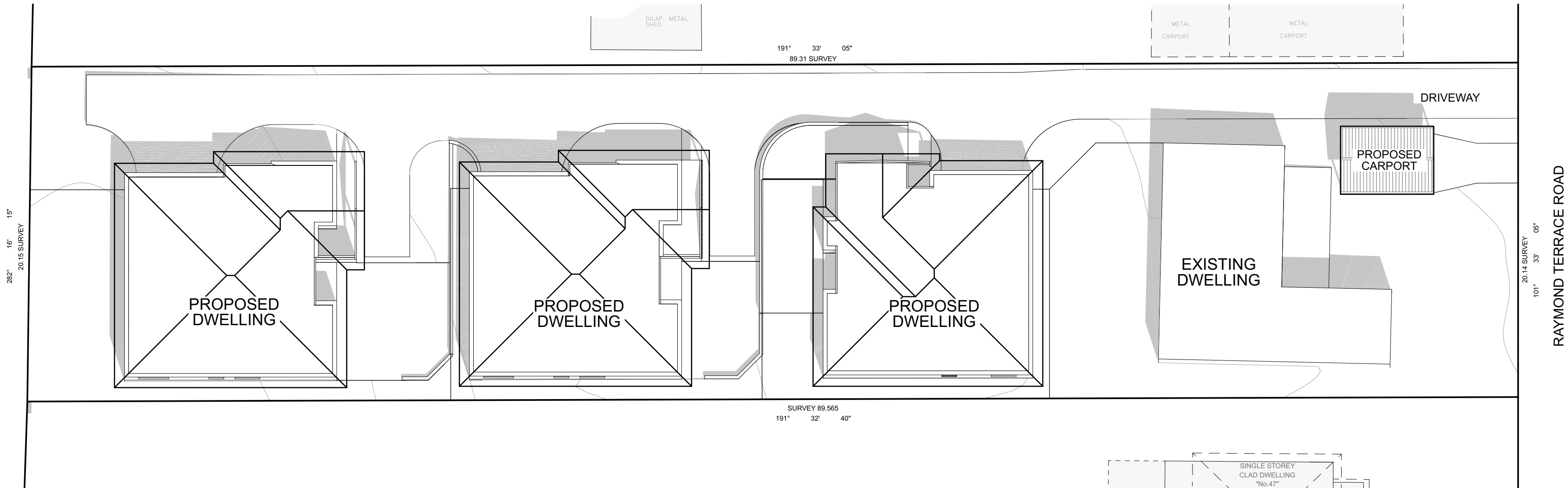
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D	FOR APPROVAL	19/9/2025
C	FOR APPROVAL	5/8/2025
B	DRAFT SET FOR REVIEW	31/7/2025
01	DRAFT SET FOR REVIEW	16/7/2025
Rev	Transmittal Set Name	Date
AMENDMENT:		

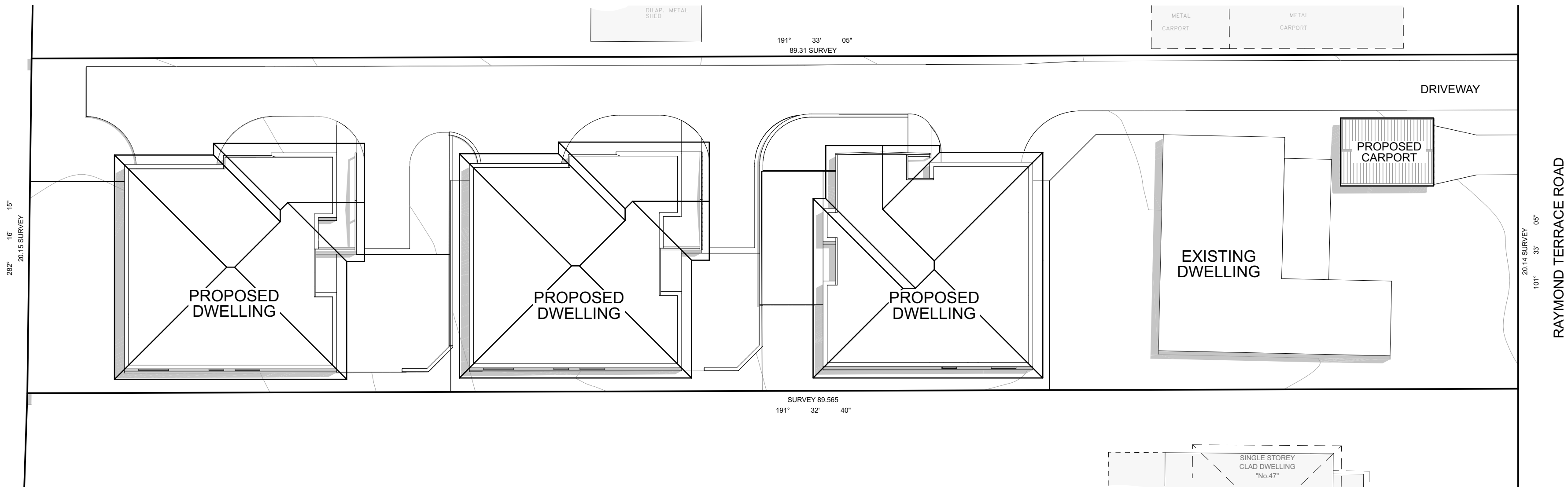


CLIENT: CROESE - RAYMOND TERRACE RD	DRAWING TITLE: SHADOW DIAGRAMS 1
PROJECT: PROPOSED NEW MULTI-RES LOT 10 SECTION 48 D.P.758274 No. 45 RAYMOND TERRACE ROAD EAST MAITLAND, NSW 2323	DATE: 19/09/25
	SCALE: 1:200 @ A1
	DRAWING No: 2085A - A1.17
	ISSUE: D



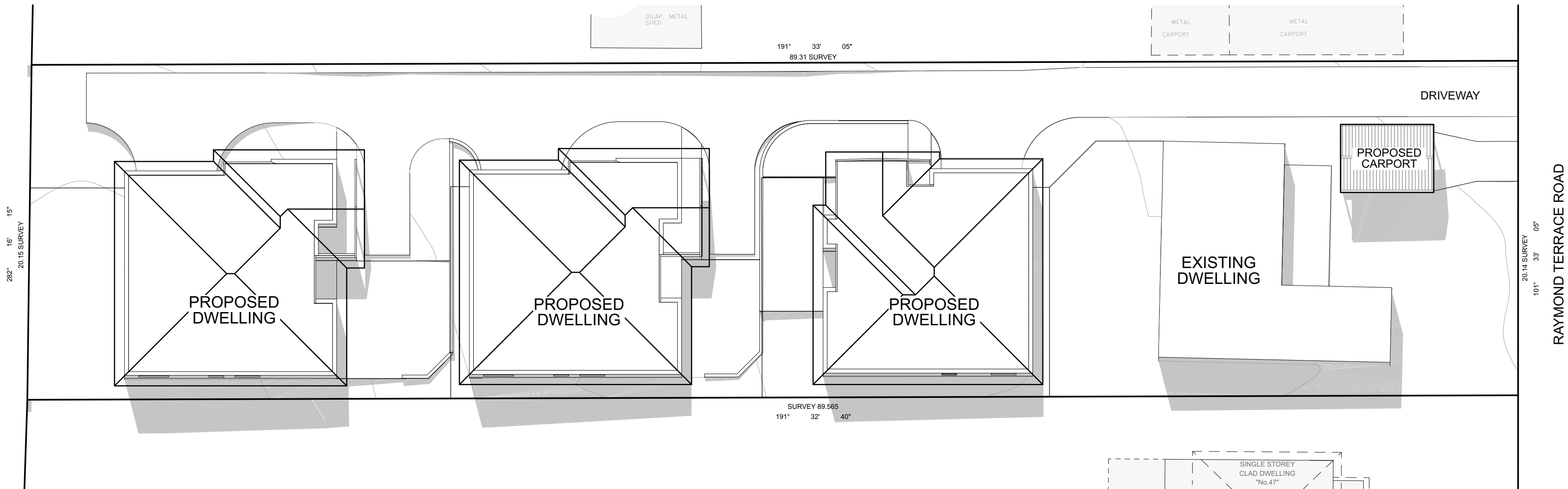
9AM 21ST DEC

SCALE 1:200



12PM 21ST DEC

SCALE 1:200



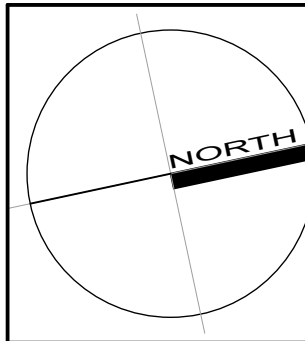
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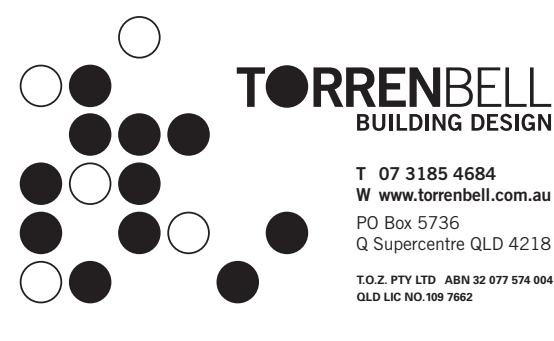
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C	FOR APPROVAL	5/8/2025
B	DRAFT SET FOR REVIEW	31/7/2025
01	DRAFT SET FOR REVIEW	16/7/2025
Rev	Transmittal Set Name	Date
AMENDMENT:		



CLIENT: CROESE - RAYMOND TERRACE RD	DRAWING TITLE: SHADOW DIAGRAMS 2
PROJECT: PROPOSED NEW MULTI-RES LOT 10 SECTION 48 D.P.758274 No. 45 RAYMOND TERRACE ROAD EAST MAITLAND, NSW 2323	DATE: 19/09/25
	SCALE: 1:200 @ A1
	DRAWING No: 2085A - A1.18
	ISSUE: D