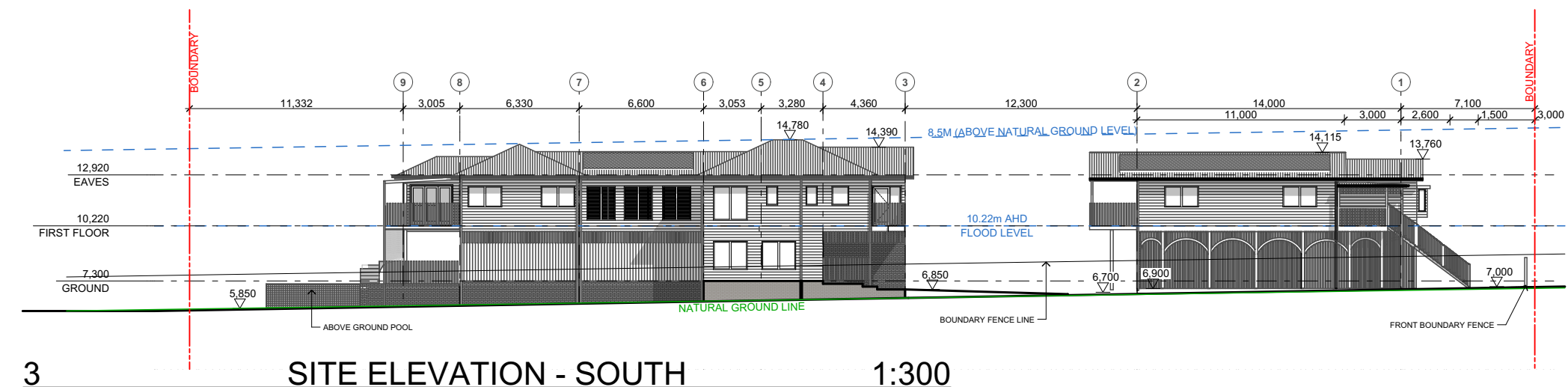
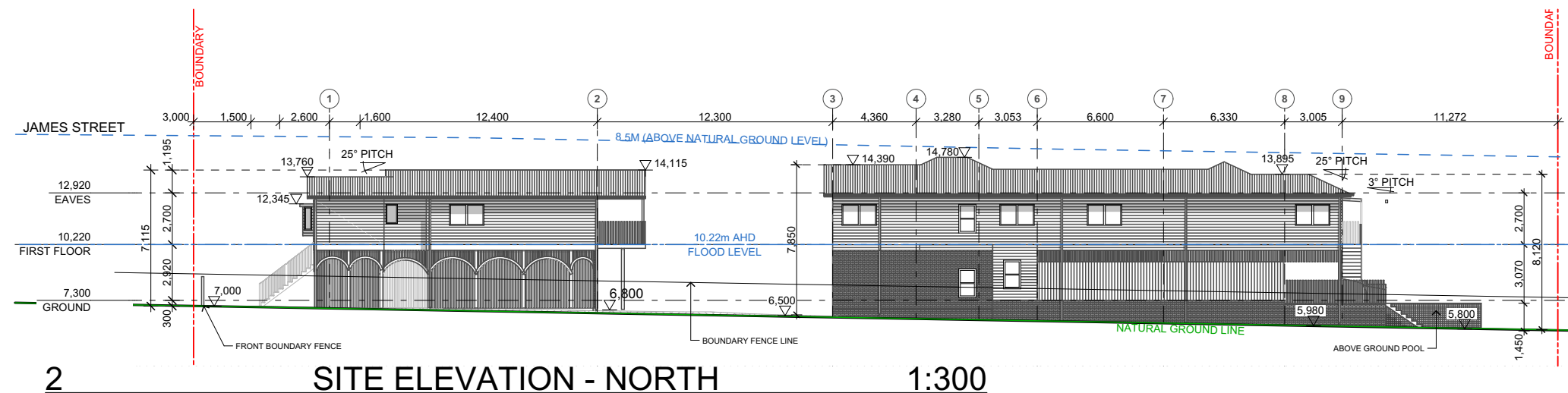
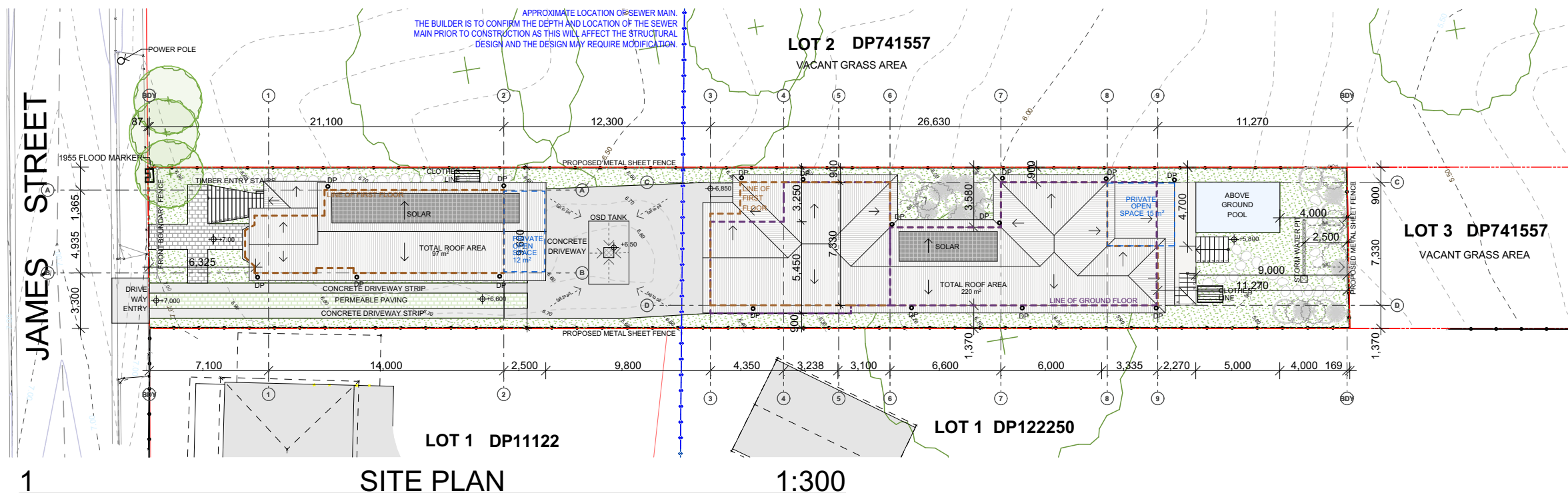


LOT 1
DP998896

LOT 1
DP107900



Building Design
Interior Design
Project Management
Town planning
design@yourhomedesigns.com.au
0407 749 380
www.yourhomedesigns.com.au
112 Government Rd, Nelson Bay, NSW 2315

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•DRAWINGS SHOULD NOT BE USED FOR CONSTRUCTION UNTIL FINAL ISSUE HAS BEEN RELEASED & CERTIFIED BY A STRUCTURAL ENGINEER.
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BUILDER TO CONFIRM LEVELS & DIMENSIONS. ANY DISCREPANCIES ARE TO BE NOTIFIED TO YHD IMMEDIATELY, PRIOR TO CONSTRUCTION.
ALL STRUCTURAL STEEL SHOULD BE SITE MEASURED PRIOR TO FABRICATION

PROPOSED SITE AREAS
SITE AREA: 686m²
LANDSCAPE AREA: 230m²
POOL: 12m²

PROPOSED INTERNAL AREAS
BUILDING A - FIRST FLOOR
BUILDING A - GROUND FLOOR
BUILDING B - FIRST FLOOR
BUILDING B - GROUND FLOOR
PROPOSED EXTERNAL AREAS
BUILDING A - BALC
BUILDING A - PORCH
BUILDING B - FIRST FL BALCONY
BUILDING B - GROUND FL DECK

60.0
65.9
143.7
69.5
339.1 m²
11.4
5.0
15.0
112.6
144.0 m²

Client
HOLLIER
Project Address
1/32 JAMES STREET HORSESHOE BEND, 2320
LOT 1, DP741557
Drawing Title:
NOTIFICATION PLANS

Revision	Date	Designer	Checked by
S1	11/04/25	BB	SR
Pre-DA	22/04/25	BB	SR
Pre-DA	29/04/25	BB	SR
S3.A	11/07/25	BB	SR
S3.B	18/07/25	BB	SR
DA.1	25/08/25	BB	SR
DA.2	12/09/25	BB	BB

PRELIMINARY DRAWINGS
NOT FOR CONSTRUCTION

Scale at A3: 1:300
Job Ref: YHD-860
Page No:
Plot Date: 12/09/2025
Rev
DA



HORSESHOE BEND HOUSE
NEW DWELLING AND SECONDARY DWELLING AT:
1/32 JAMES STREET HORSESHOE BEND, 2320

YOUR
HOME
DESIGNS

PAGE	DRAWING	SCALE
	NOTIFICATION PLANS	1:300
DA.00	COVER PAGE	
DA.01	INDEX + SITE ANALYSIS	
DA.02	BASIX COMMITMENTS	1:3.64
DA.03	EXISTING & DEMOLITION PLAN	1:250
DA.04	PROPOSED SITE PLAN	1:250
DA.05	EROSION & SEDIMENT CONTROL PLAN	
DA.06	STORMWATER PLAN	1:250
DA.07	CUT & FILL PLAN + DRIVEWAY SECTION	
DA.08	PROPOSED FLOOR PLANS 1:200	1:200
DA.09	SITE ELEVATIONS 1:200	1:200
DA.10	BUILDING A - GROUND FLOOR PLAN	1:100
DA.11	BUILDING A - FIRST FLOOR PLAN	1:100
DA.12	BUILDING B - GROUND FLOOR PLAN	1:100
DA.13	BUILDING B - FIRST FLOOR PLAN	1:100
DA.14	JAMES STREET ELEVATION	1:200
DA.15	BUILDING A - ELEVATIONS 1:100 - SHEET 1	1:100
DA.16	BUILDING A - ELEVATIONS 1:100 - SHEET 2	1:100
DA.17	BUILDING B - ELEVATIONS 1:100 - SHEET 1	1:100
DA.18	BUILDING B - ELEVATIONS 1:100 - SHEET 2	1:100
DA.19	SECTION 1	1:100
DA.20	SECTION 2 - SHEET 1	1:100
DA.21	SECTION 2 - SHEET 2	1:100
DA.22	SHADOW DIAGRAMS	
DA.23	PRECEDENT / CONCEPT IMAGES	
DA.24	COLOURS & MATERIALS SCHEDULE	
DA.25	WINDOW SCHEDULE	
DA.26	DOOR SCHEDULE	
DA.27	VEHICLE SWEEP PATHS DIAGRAM	1:250

DEVELOPMENT SUMMARY & SITE ANALYSIS

SITE CONDITIONS

ZONING = R1 RESIDENTIAL
ACID SULPHATE SOILS = CLASS 4
HERITAGE: "LOCAL" CENTRAL MAITLAND HERITAGE CONSERVATION AREA
BUSHFIRE PRONE (BAL) = NA
FLOOD PRONE = FLOOD PLANNING LEVEL = 10.22M AHD
MINES SUBSIDENCE = N/A
COASTAL ENVIRONMENT = N/A
MIN LOT SIZE = 450m²
MAX HEIGHT OF BUILDING = AS PER SURROUNDING CONTEXT

COUNCIL CALCULATIONS

PROPOSED FLOOR SPACE RATIO = 0.3

TOTAL GROSS FLOOR AREA = 204m²
BUILDING A FLOOR AREA = 60m²
BUILDING B FLOOR AREA = 144m²

SITE AREA = 686m²

PROPOSED TOTAL FSR = 29%

BUILDING FOOTPRINT BUILDING A (98m²) + BUILDING B (220m²) = 318m²

TOTAL ROOF AREA = 317m²

BUILDING A (97m²) + BUILDING B (220m²) = 317m²

DRIVEWAY AREA (CONC. WHEEL STRIPS + CENTRAL CONC. SLAB) = 58 m²

CARPARKING SPACES = 2 +

PRIVATE OPEN SPACE:
BUILDING A = 12m²
BUILDING B = 15m²

PROPOSED LANDSCAPE AREA = 276m²

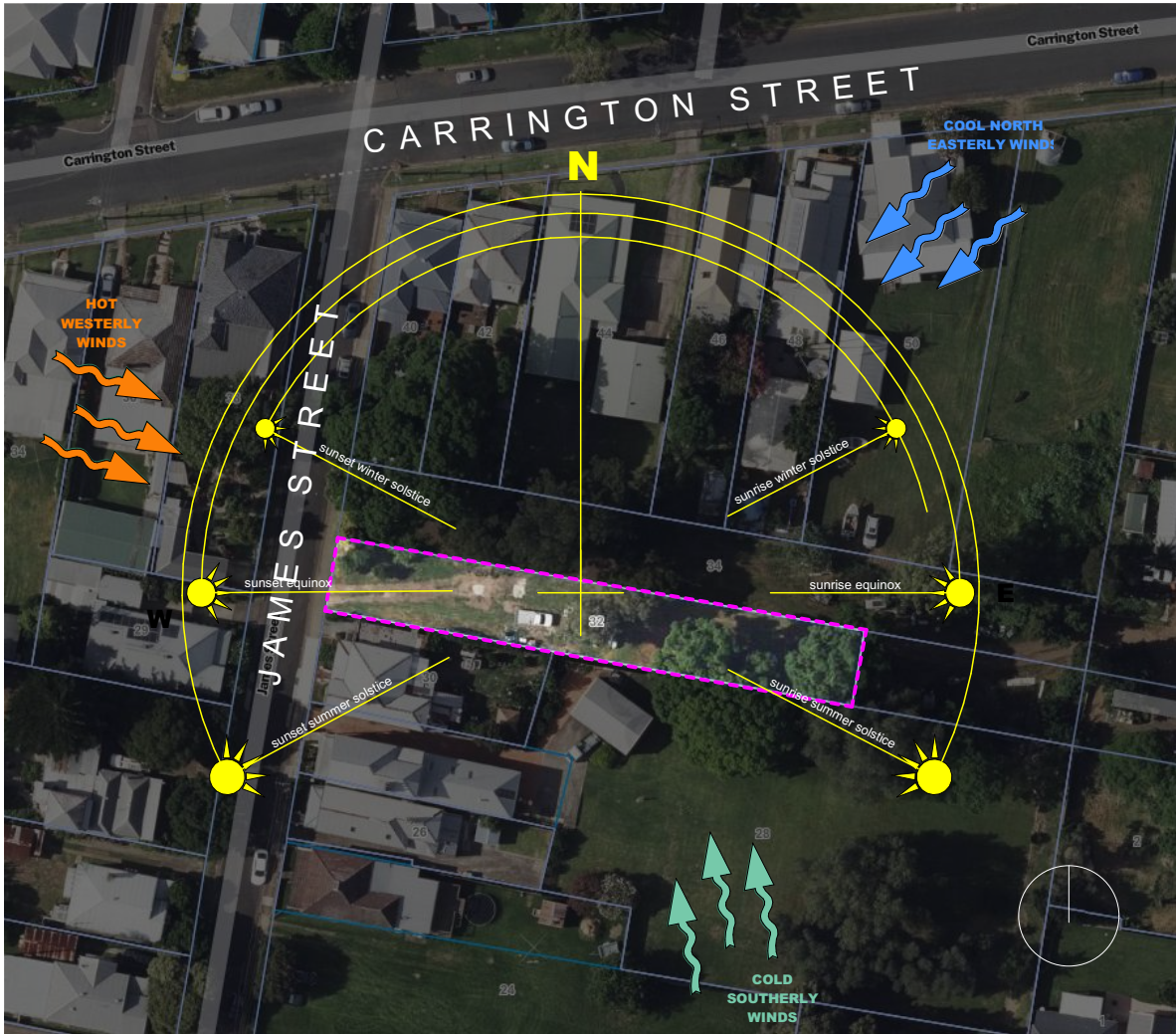
ALLOWED SITE COVERAGE MAX 60% (686 X 0.6) = 411.6m²
PROPOSED SITE COVERAGE = 59% (686-276) = 410m²

ALLOWED MINIMUM UNBUILT AREA 40% = 274.4m²
PROPOSED UNBUILT AREA = 456m²

BASIX SUMMARY

EXISTING FLOOR AREA = 0m²
PROPOSED ENCLOSED HABITABLE FLOOR AREA = 204m²
GARAGE AREA (40 + 65) = 105m²

BASIX NOTE: CHECK BASIX CERTIFICATE FOR ALL FINAL REQUIREMENTS INCLUDING RAINWATER TANK SIZE, CONNECTIONS, USES, WATER RATES & THERMAL SPECIFICATIONS



SITE CONTEXT

DEVELOPMENT APPLICATION FOR 1/32 JAMES STREET HORSESHOE BEND, 2320



Building Design
Interior Design
Project Management
Town planning

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BUILDING B - GROUND FLOOR

60.0
65.9
143.7
69.5
339.1 m²

PROPOSED EXTERNAL AREAS

BUILDING A - BALC
BUILDING A - PORCH
BUILDING B - FIRST FL BALCONY
BUILDING B - GROUND FL DECK

11.4
5.0
15.0
112.6
144.0 m²

Client

HOLLIER

Project Address

1/32 JAMES STREET HORSESHOE BEND, 2320
LOT 1, DP741557

Drawing Title:

INDEX + SITE ANALYSIS

Revision	Date	Designer	Checked by
S1	11/04/25	BB	SR
Pre-DA	22/04/25	BB	SR
Pre-DA	29/04/25	BB	SR
S3.A	11/07/25	BB	SR
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DA.1	25/08/25	BB	SR
DA.2	12/09/25	BB	BB

PRELIMINARY DRAWINGS
NOT FOR CONSTRUCTION

Scale at A3:

Job Ref:

YHD-860

Page No:

DA.01

Plot Date:

12/09/2025

Rev

DA



Multi Dwelling

Certificate number: 18113000M

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at www.planningportal.nsw.gov.au/definitions

Secretary

Date of issue: Friday, 05 September 2020

To be valid, this certificate must be submitted with a development application or lodged with a complying development certificate application within 5 months of the date of issue.

NSW	
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When submitting this BASIX certificate with a development application or complying development certificate application, it must be accompanied by NABERS Certificate HR-NADCHY-GL

Project summary			
Project name	ER11 74132 32 James Street		
Street address	32 JAMES STREET HORSESHOE BEND 2300		
Local Government Area	MULTI-LGA		
Plan type and plan number	Deposited Plan 741557		
Lot No.	1		
Section no.	-		
No. of residential flat buildings	0		
Residential flat buildings no. of dwellings	0		
Multi-dwelling housing no. of dwellings	2		
No. of single dwelling houses	0		
Project score			
Water	✓ 41		Target 40
Thermal Performance	✓ Pass		Target Pass
Energy	✓ 70		Target 70
Materials	✓ -21		Target nil

Certificate Prepared by	
Name / Company name:	Green Choice Consulting
ABN / Company no.:	0369890415

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Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

1. Commitments for multi-dwelling housing

(a) Dwellings

Dwelling no.	Water	Thermal Performance	Energy	Materials
A	✓	✓	✓	✓
All other dwellings	✓	✓	✓	✓

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Floor types		Concrete slab on ground		Suspended floor above enclosed subsoil		Suspended floor above open subsoil	
Dwelling no.	Area (m²)	Insulation	Low emissions option	Dematerialisation	Construction type	Area (m²)	Insulation
A	-	-	-	-	conventional slab	-	-
All other dwellings	29.3	polyisylene	-	-	conventional slab	70.5	flexiglass batts or roll

Floor types		First floor above habitable rooms or mezzanine		Suspended floor above garage		Garage floor	
Dwelling no.	Construction type	Area (m²)	Insulation	Construction type	Area (m²)	Insulation	Low emissions option
A	-	-	-	-	-	-	-
All other dwellings	insulated softwood, frame timber +H2 treated softwood	40.9	flexiglass batts or roll	insulated softwood, frame timber +H2 treated softwood	14.8	flexiglass batts or roll	conventional slab

External walls		External wall type 1		External wall type 2	
Dwelling no.	Wall type	Area (m²)	Insulation	Wall type	Area (m²)
A	-	-	-	-	-
All other dwellings	framed (solid or non-ventilated) frame timber +H2 treated softwood	116.6	flexiglass batts or roll	framed (solid or non-ventilated) frame timber +H2 treated softwood	116.6

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(b) Thermal Performance and Materials		Show on DA plans	Show on CCQDC plans & specs	Certifier check
(a) The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol.				
(b) The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX Certificate, including the details shown in the "Thermal Loads" table below.				
(c) The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Thermal Comfort Protocol requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor, to certify that this is the case.				
(d) The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications.				
(e) The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications.				
(f) Where there is an in-slab heating or cooling system, the applicant must:				
(a) install insulation with an R-value of not less than 1.0 around the vertical edges of the perimeter of the slab; or				
(b) On a suspended floor, install insulation with an R-value of not less than 1.0 underneath the slab and around the vertical edges of the perimeter of the slab.				
(g) The applicant must construct the floors and walls of the development in accordance with the specifications listed in the table below.				
(h) The applicant must show on the plans accompanying the development application for the proposed development, the locations of ceiling fans set out in the Assessor Certificate.				
(i) The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), the locations of ceiling fans set out in the Assessor Certificate.				

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Description of project

Project address		Common area landscape	
Project name	ER11 74132 32 James Street	Common area lawn (m²)	0.00
Street address	32 JAMES STREET HORSESHOE BEND 2300	Common area garden (m²)	0.00
Local Government Area	MULTI-LGA	Area of indigenous or low water use trees (m²)	0.00
Plan type and plan number	Deposited Plan 741557	Assessor details and thermal loads	
Lot No.	1	Assessor number	DAN210245
Section no.	-	Certificate number	HR-NADCHY-GL
Project type		Project score	
No. of residential flat buildings	0	Water	✓ 41
Residential flat buildings no. of dwellings	0	Thermal Performance	✓ Pass
Multi-dwelling housing no. of dwellings	2	Energy	✓ 70
No. of single dwelling houses	0	Materials	✓ -21
Site details			
Site area (m²)	686.00		
Roof area (m²)	217		
Non-residential floor area (m²)	1300		
Residential car spaces	1		
Non-residential car spaces	0		

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Fixtures		Appliances		Individual pool		Individual spa	
Dwelling no.	All shower fixtures	All shower fixtures	HW recirculation or recirculation	All dishwashers	Volume (m³)	Pool cover	Pool heater
A	4 star (4.5 L/min)	4 star (4.5 L/min)	-	-	24.75	no	no
All other dwellings	4 star (4.5 L/min)	4 star (4.5 L/min)	-	-	-	-	-

Alternative water source		Landscaping		Laundry connection		Pool top-up	
Dwelling no.	Alternative water supply system	Size	Configuration	Landscaping	Laundry connection	Pool top-up	Spa top-up
A	Individual water tank (no tank)	2000 L	To collect run-off from at least 97.50 square metres of roof area.	yes	no	yes	no
All other dwellings	Individual water tank (no tank)	2000 L	To collect run-off from at least 250.00 square metres of roof area.	yes	no	yes	no

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External walls		External wall type 1		External wall type 2	
Dwelling no.	Wall type	Area (m²)	Insulation	Wall type	Area (m²)
A	-	-	-	-	-
All other dwellings	framed (solid or non-ventilated) frame timber +H2 treated softwood	244.7	flexiglass batts or roll	framed (solid or non-ventilated) frame timber +H2 treated softwood	244.7

External walls		External wall type 3		External wall type 4	
Dwelling no.	Wall type	Area (m²)	Insulation	Wall type	Area (m²)
A	-	-	-	-	-
All other dwellings	framed (solid or non-ventilated) frame timber +H2 treated softwood	244.7	flexiglass batts or roll	framed (solid or non-ventilated) frame timber +H2 treated softwood	244.7

Internal walls		Internal wall type 1		Internal wall type 2	
Dwelling no.	Wall type	Area (m²)	Insulation	Wall type	Area (m²)
A	-	-	-	-	-
All other dwellings	framed (solid or non-ventilated) frame timber +H2 treated softwood	116.6	flexiglass batts or roll	framed (solid or non-ventilated) frame timber +H2 treated softwood	116.6

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3. Commitments for common areas and central systems/facilities for the development (non-building specific)

(a) Common areas and central systems/facilities		Show on DA plans	Show on CCQDC plans & specs	Certifier check
(a) Water				
(i) In carrying out the development, the applicant installs a showerhead, toilet, tap or clothes washer into a common area, then that item must meet the specifications listed for it in the table.				
(ii) The applicant must install or ensure that the development is serviced by the alternative water supply system specified in the "Central energy system" column of the table below, in each case, the system must be installed, be configured, and be connected, as specified in the table.				
(iii) A swimming pool or spa listed in the table must not have a volume (in kL) greater than that specified for that pool or spa in the table.				
(iv) A pool or spa listed in the table must have a cover or shading if specified for the pool or spa in the table.				
(v) The applicant must install each sprinkler system listed in the table so that the system is configured as specified in the table.				
(vi) The applicant must ensure that the central cooling system for a cooling tower is configured as specified in the table.				
Common areas		Show on DA plans	Show on CCQDC plans & specs	Certifier check
Common areas	Showerheads rating	Water rating	Tap rating	Clothes washers rating
	no common facility	no common facility	no common facility	no common laundry facility

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Description of project

The tables below describe the dwellings and common areas within the project

Multi-dwelling houses

Dwelling no.	Water	Thermal Performance	Energy	Materials
A	✓ 41	✓ Pass	✓ 70	✓ -21
All other dwellings	✓ 41	✓ Pass	✓ 70	✓ -21

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(a) Energy		Show on DA plans	Show on CCQDC plans & specs	Certifier check
(a) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Artificial lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that the "primary type of artificial lighting" for each such room in the dwelling is fluorescent lighting or light emitting diode (LED) lighting. If the term "bedroom" is specified for a particular room or area, then the light fittings in that room or area must only be capable of being used for fluorescent lighting or light emitting diode (LED) lighting.				
(b) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Natural lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that each such room or area is fitted with a window and/or daylight.				
(c) The applicant must install a water heating system for the dwelling's pool or spa. The applicant must:				
(i) install the system specified for the pool in the "Individual Pool" column of the table below (or alternatively must not install any system for the pool, if specified, the applicant must install a timer, to control the pump's pump); and				
(ii) install the system specified for the spa in the "Individual Spa" column of the table below (or alternatively must not install any system for the spa, if specified, the applicant must install a timer to control the pump's pump).				
(d) The applicant must install a water heating system for the dwelling's pool or spa. The applicant must:				
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(ii) install the system specified for the spa in the "Individual Spa" column of the table below (or alternatively must not install any system for the spa, if specified, the applicant must install a timer to control the pump's pump).				
(i) If specified in the table, the applicant must carry out the development so that each refrigerator space in the dwelling is "well ventilated".				
(ii) The applicant must install the photovoltaic system specified for the dwelling under the "Photovoltaic system" heading of the "Alternative energy" column of the table below, and connect the system to that dwelling's electrical system.				

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Water		Kitchen ventilation system		Laundry ventilation system	
Dwelling no.	Water	Kitchen ventilation system	Laundry ventilation system	Water	Laundry ventilation system
A	-	-	-	-	-
All other dwellings	electric storage	individual fan, ducted to outside or roof	manual switch on/off	individual fan, ducted to outside or roof	manual switch on/off

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Ceiling and roof		Raked ceiling / gabled or skillion roof		Flat ceiling / flat roof	
Dwelling no.	Construction type	Area (m²)	Insulation	Construction type	Area (m²)
A	-	-	-	-	-
All other dwellings	framed (solid or non-ventilated) frame timber +H2 treated softwood	244.7	flexiglass batts or roll	framed (solid or non-ventilated) frame timber +H2 treated softwood	244.7

Ceiling type		Frame types	
Dwelling no.	Single glazing (m²)	Double glazing (m²)	Triple glazing (m²)
A	0.6	15.5	-
All other dwellings	0.6	15.5	-

Internal walls		Internal wall type 1		Internal wall type 2	
Dwelling no.	Wall type	Area (m²)	Insulation	Wall type	Area (m²)
A	-	-	-	-	-
All other dwellings	framed (solid or non-ventilated) frame timber +H2 treated softwood	116.6	flexiglass batts or roll	framed (solid or non-ventilated) frame timber +H2 treated softwood	116.6

BASIX Department of Planning, Housing and Infrastructure www.basix.nsw.gov.au Version: 4.03 / EUCALYPTUS_03_01_0 Certificate No.: 18113000M Friday, 05 September 2020 page 1/18

Control energy systems		Type	Specification
Control energy systems	Other	-	-

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No common areas specified.

Common areas		Show on DA plans	Show on CCQDC plans & specs	Certifier check
Common areas	Showerheads rating	Water rating	Tap rating	Clothes washers rating
	no common facility	no common facility	no common facility	no common laundry facility

BASIX Department of Planning, Housing and Infrastructure www.basix.nsw.gov.au Version: 4.03 / EUCALYPTUS_03_01_0 Certificate No.: 18113000M Friday, 05 September 2020 page 1/18

Cooling		Heating		Natural lighting	
Dwelling no.	Living areas	Bedroom areas	Living areas	Bedroom areas	No. of bedrooms or offices
A	1 phase air conditioning (non ducted) 2.5 star (average zone)	1 phase air conditioning (non ducted) 2.5 star (average zone)	1 phase air conditioning (non ducted) 2.5 star (average zone)	1 phase air conditioning (non ducted) 2.5 star (average zone)	1
All other dwellings	1 phase air conditioning (non ducted) 2.5 star (average zone)	1 phase air conditioning (non ducted) 2.5 star (average zone)	1 phase air conditioning (non ducted) 2.5 star (average zone)	1 phase air conditioning (non ducted) 2.5 star (average zone)	2

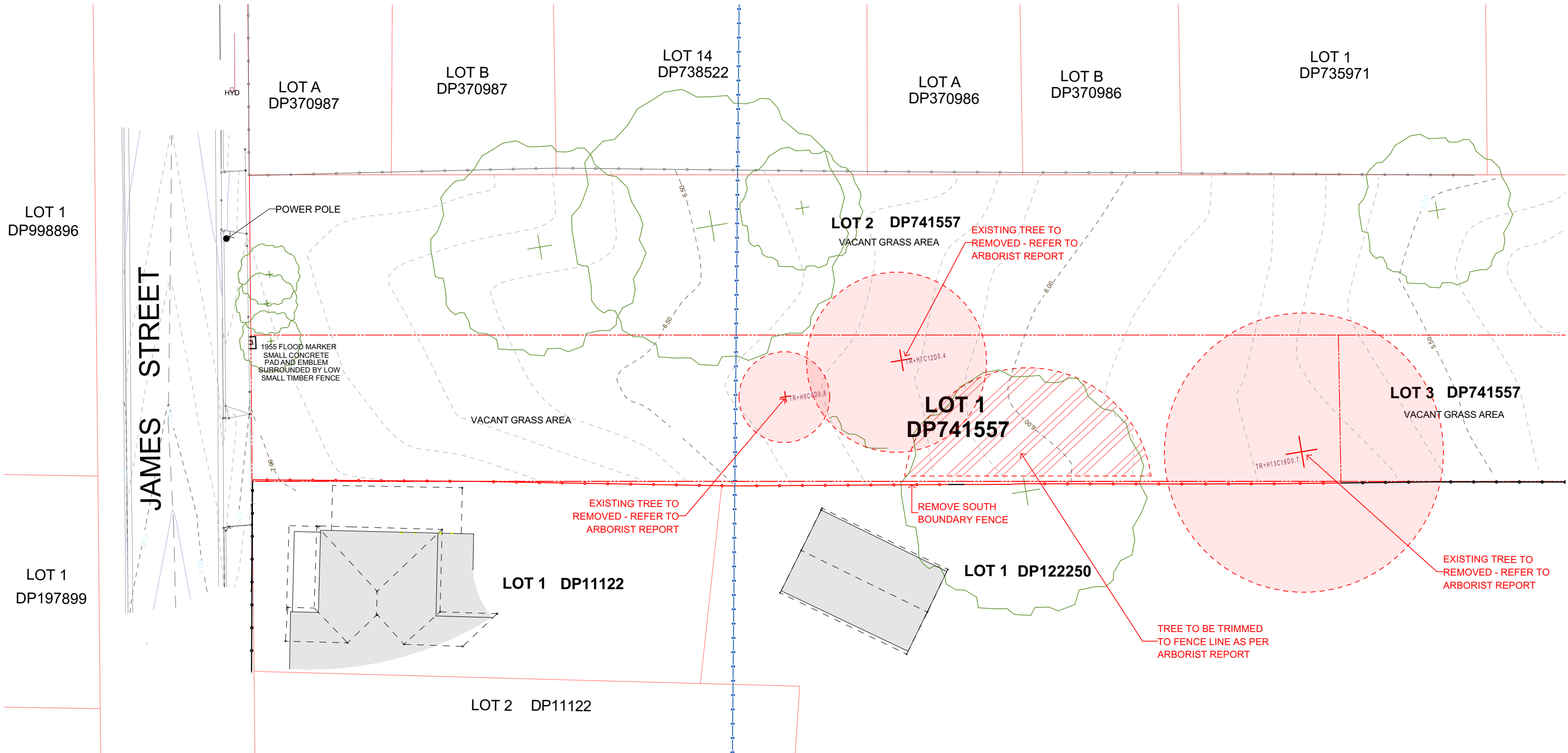
Individual pool		Individual spa	
Dwelling no.	Pool heating system	Pool pump	Spa heating system
A	-	-	-
All other dwellings	no heating	not specified	yes

Alternative energy		Orientation inputs	
Dwelling no.	Photovoltaic system (min rated electrical output in peak kW)	Photovoltaic collector installation	Orientation inputs
A	-	-	-
All other dwellings	-	-	-

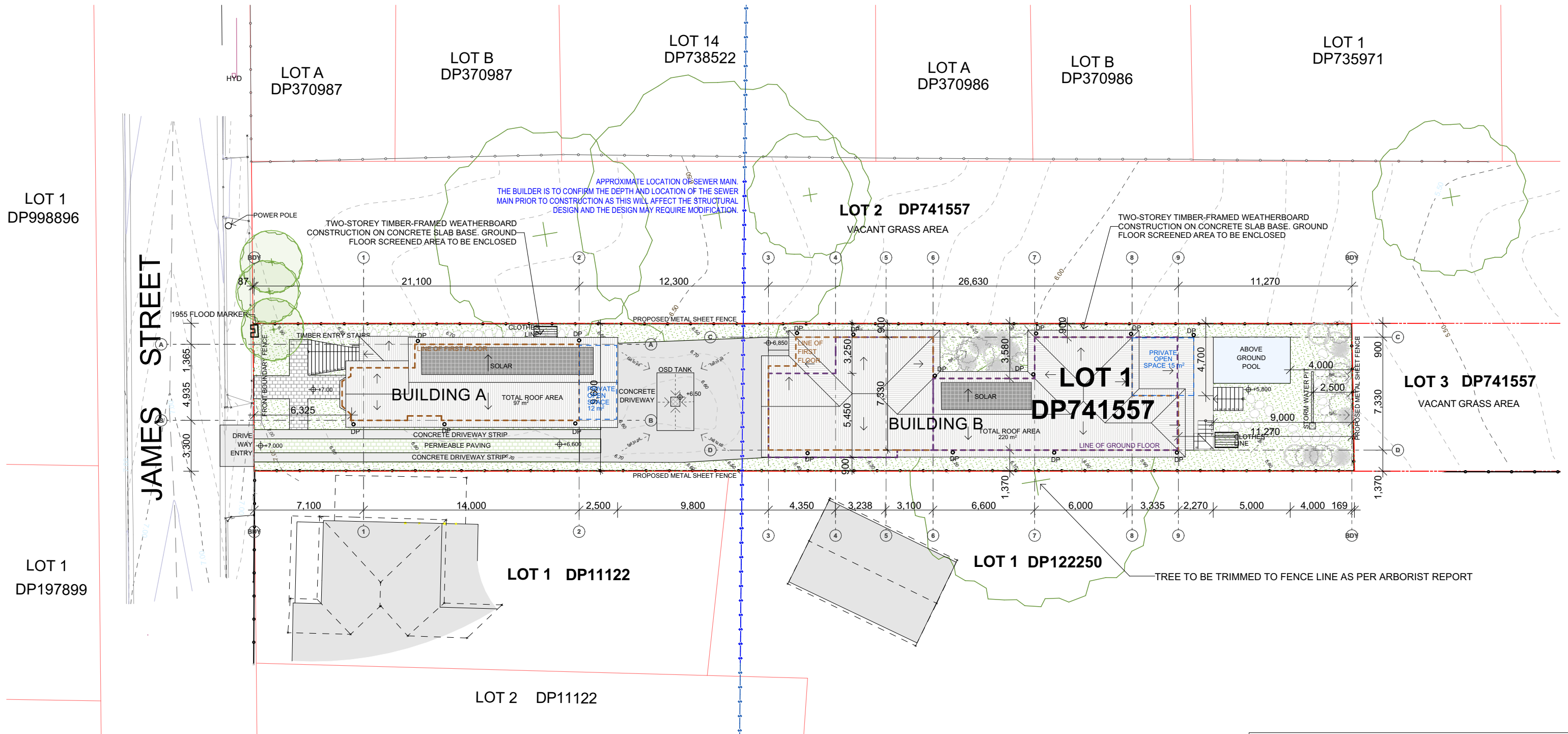
BASIX Department of Planning, Housing and Infrastructure www.basix.nsw.gov.au Version: 4.03 / EUCALYPTUS_03_01_0 Certificate No.: 18113000M Friday, 05 September 2020 page 1/18

2. Commitments for single dwelling houses

Dwellings		Show on DA plans	Show on CCQDC plans & specs	Certifier check
(a) Water				
(i) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below.				
(ii) The applicant must plant indigenous or low water use species of vegetation throughout the area of land specified for the dwelling in the "Indigenous species" column of the table below, as private landscaping for that dwelling. (This area of indigenous vegetation is to be contained within the "Area of garden and lawn" for the dwelling specified in the "Description of Project" table).		✓		
(iii) A rating is specified in the table below for a floor or appliance to be installed in the dwelling. The applicant must ensure that each such floor and appliance meets the rating specified for it.		✓		
(iv) The applicant must install an on-demand hot water recirculation system which regulates all hot water use throughout the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below.		✓		
(v) The applicant must install a water heating system for the dwelling's pool or spa. The applicant must:				
(i) install the system specified for the pool in the "Individual Pool" column of the table below, and				
(ii) install the system specified for the spa in the "Individual Spa" column of the table below, and				
(iii) if the applicant is not installing a water heating system for the pool or spa, the applicant must install a timer, to control the pump's pump.				
(f) If specified in the table, the applicant must carry out the development so that each refrigerator space in the dwelling is "well ventilated".		✓		
(g) The applicant must install the photovoltaic system specified for the dwelling under the "Photovoltaic system" heading of the "Alternative energy" column of the table below, and connect the system to that dwelling's electrical system.		✓		
(h) The applicant must install a water heating system for the dwelling's pool or spa. The applicant must:				
(i) install the system specified for the pool in the "Individual Pool" column of the table below (or alternatively must not install any system for the pool, if specified, the applicant must install a timer, to control the pump's pump); and		✓		
(ii) install the system specified for the spa in the "Individual Spa" column of the table below (or alternatively must not install any system for the spa, if specified, the applicant must install a timer to control the pump's pump).		✓		
(i) The applicant must install a water heating system for the dwelling's pool or spa. The applicant must:				
(i) install the system specified for the pool in the "Individual Pool" column of the table below (or alternatively must not install any system for the pool, if specified, the applicant must install a timer, to control the pump's pump); and				
(ii) install the system specified for the spa in the "Individual Spa" column of the table below (or alternatively must not install any system for the spa, if specified, the applicant must install a timer to control the pump's pump).				
(f) If specified in the table, the applicant must carry out the development so that each refrigerator space in the dwelling is "well ventilated".		✓		
(g) The applicant must install the photovoltaic system specified for the dwelling under the "Photovoltaic system" heading of the "Alternative energy" column of the table below, and connect the system to that dwelling's electrical system.		✓		
(h) The applicant must install a water heating system for the dwelling's pool or spa. The applicant must:				
(i) install the system specified for the pool in the "Individual Pool" column of the table below (or alternatively must not install any system for the pool, if specified, the applicant must install a timer, to control the pump's pump); and		✓		
(ii) install the system specified for the spa in the "Individual Spa" column of the table below (or alternatively must not install any system for the spa, if specified, the applicant must install a timer to control the pump's pump).		✓		
(i) The applicant must install a water heating system for the dwelling's pool or spa. The applicant must:				
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(ii) install the system specified for the spa in the "Individual Spa" column of the table below (or alternatively must not install any system for the spa, if specified, the applicant must install a timer to control the pump's pump).				
(f) If specified in the table, the applicant must carry out the development so that each refrigerator space in the dwelling is "well ventilated".		✓		
(g) The applicant must install the photovoltaic system specified for the dwelling under the "Photovoltaic system" heading of the "Alternative energy" column of the table below, and connect the system to that dwelling's electrical system.		✓		
(h) The applicant must install a water heating system for the dwelling's pool or spa. The applicant must:				
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(ii) install the system specified for the spa in the "Individual Spa" column of the table below (or alternatively must not install any system for the spa, if specified, the applicant must install a timer to control the pump's pump).		✓		
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(ii) install the system specified for the spa in the "Individual Spa" column of the table below (or alternatively must not install any system for the spa, if specified, the applicant must install a timer to control the pump's pump).				
(f) If specified in the table, the applicant must carry out the development so that each refrigerator space in the dwelling is "well ventilated".		✓		
(g) The applicant must install the photovoltaic system specified for the dwelling under the "Photovoltaic system" heading of the "Alternative energy" column of the table below, and connect the system to that dwelling's electrical system.		✓		
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(f) If specified in the table, the applicant must carry out the development so that each refrigerator space in the dwelling is "well ventilated".		✓		
(g) The applicant must install the photovoltaic system specified for the dwelling under the "Photovoltaic system" heading of the "Alternative energy" column of the table below, and connect the system to that dwelling's electrical system.		✓		
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(ii) install the system specified for the spa in the "Individual Spa" column of the table below (or alternatively must not install any system for the spa, if specified, the applicant must install a timer to control the pump's pump).		✓		
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(i) install the system specified for the pool in the "Individual Pool" column of the table below (or alternatively must not install any system for the pool, if specified, the applicant must install a timer, to control the pump's pump); and				
(ii) install the system specified for the spa in the "Individual Spa" column of the table below (or alternatively must not install any system for the spa, if specified, the applicant must install a timer to control the pump's pump).				
(f) If specified in the table, the applicant must carry out the development so that each refrigerator space in the dwelling is "well ventilated".		✓		
(g) The applicant must install the photovoltaic system specified for the dwelling under the "Photovoltaic system" heading of the "Alternative energy" column of the table below, and connect the system to that dwelling's electrical system.		✓		
(h) The applicant must install a water heating system for the dwelling's pool or spa. The applicant must:				
(i) install the system specified for the pool in the "Individual Pool" column of the table below (or alternatively must not install any system for the pool, if specified, the applicant must install a timer, to control the pump's pump); and		✓		
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(i) The applicant must install a water heating system for the dwelling's pool or spa. The applicant must:				
(i) install the system specified for the pool in the "Individual Pool" column of the table below (or alternatively must not install any system for the pool,				



SURVEY BOUNDARY COORDINATES TO BE CONFIRMED BY SURVEYOR PRIOR TO CONSTRUCTION



SURVEY BY OTHERS

SETBACKS ARE APPROXIMATES ONLY & BASED OFF CURRENT SURVEYORS DOCUMENTATION AT THE TIME OF BEING ISSUED TO THE DESIGNER WITH THE CONCEPT DESIGNS. ALL SITE BOUNDARIES ARE THE BE CONFIRMED BY THE SURVEYOR PRIOR TO & DURING CONSTRUCTION ANY SITE/SURVEY DISCREPANCIES ARE TO BE NOTIFIED TO YHD IMMEDIATELY, PRIOR TO CONSTRUCTION. SURVEY BOUNDARY COORDINATES TO BE CONFIRMED BY SURVEYOR PRIOR TO CONSTRUCTION

SEDIMENT CONTROL NOTES

SEDIMENT FENCE
AN EROSION AND SEDIMENT CONTROL PLAN SHOULD BE IMPLEMENTED ON SITE AND PRIOR TO CONSTRUCTION. 1000 WIDE SEDIMENT FENCES SHOULD BE USED WHERE STORMWATER LEAVES THE SITE TO REDUCE SEDIMENT FROM BEING TRACKED OFF SITE AND ONTO ROAD.

DIVERSION DRAINS
APPROX 150MM - TO BE USED TO DIRECT UP-SLOPE WATER AROUND SITE. WATER SHALL BE DIRECTED TO A STABLE AREA FOR ABSORPTION OR TO A PROTECTED SEDIMENT CONTROLLED AREA.

STOCKPILES
A SLOPED VEE DRAIN (MIN 100 FALL) FROM BUILDING AND BOUNDARY SHOULD BE USED TO PROTECT STORMWATER DISCHARGE INTO NEIGHBOURING PROPERTIES

A RAISED AREA ACROSS THE HUMP CAN BE USED TO DIRECT STORMWATER RUNOFF INTO A SEDIMENT CONTROLLED AREA. CALL DIAL BEFORE YOU DIG TO DETERMINE LOCATION OF SERVICES

WASTE MANAGEMENT
A WASTE MANAGEMENT PLAN SHOULD BE USED TO EFFECTIVELY DISPOSE OF ALL WASTE OFF SITE TO ENSURE AGAINST THE CONTAMINATION OF STORMWATER

STOCKPILES
TO BE LOCATED UPHILL TO ENSURE THE PROTECTION FROM STORMWATER RUNOFF & DRAINAGE PATHWAYS - IF UNABLE TO BE STORED UPHILL, A BANK OR DIVERSION DRAIN SHALL BE USED AROUND THE STOCKPILE AREAS.

CONTAMINANTS MANAGEMENT
ALL CONTAMINANTS SHOULD BE PREVENTED FROM DISCHARGING INTO DRAINS. A DEDICATED AREA FOR CONCRETE WASTE, EQUIPMENT & PAINT CLEANING MUST BE UTILIZED. MINIMISE DUST BY USING EQUIPMENT THAT RECYCLES WATER, FILTERS DUST AND CONTAINS SLURRY.

LEGEND

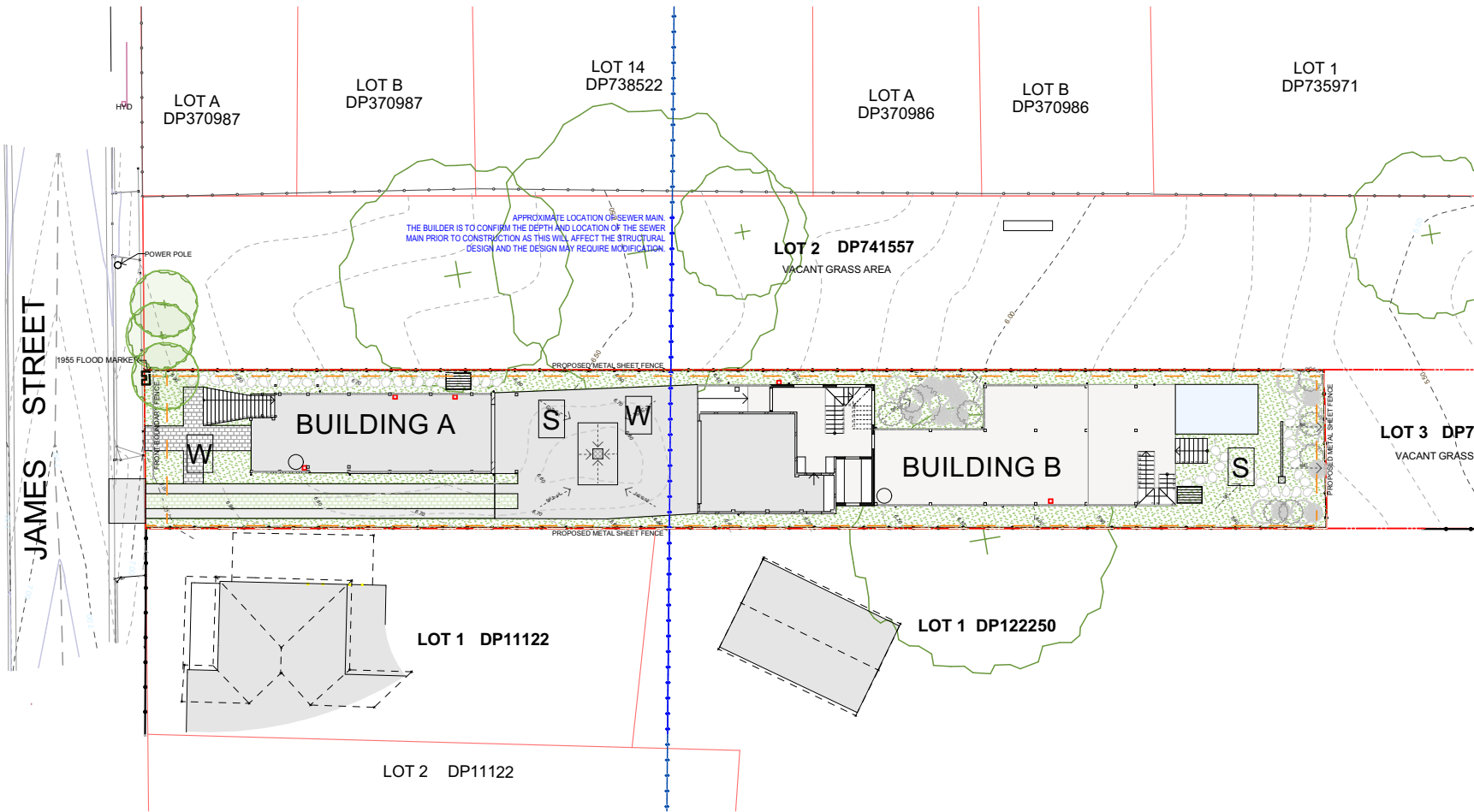
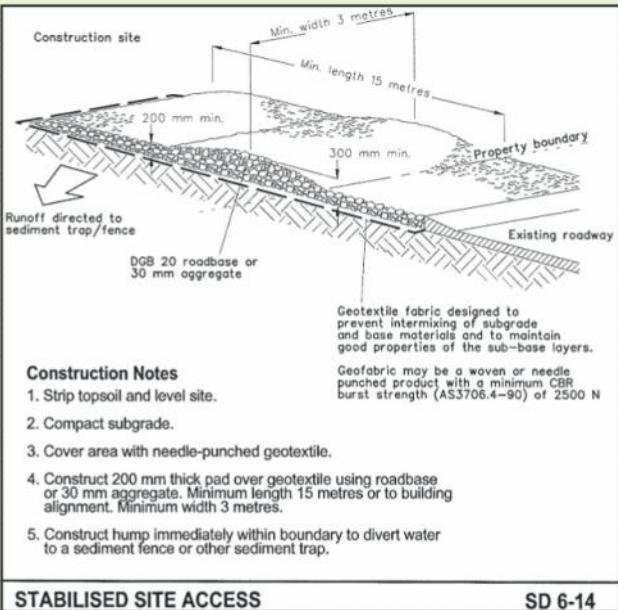
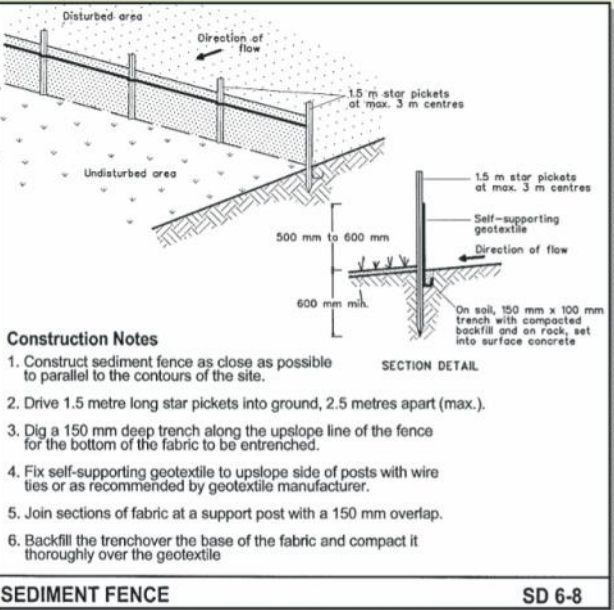
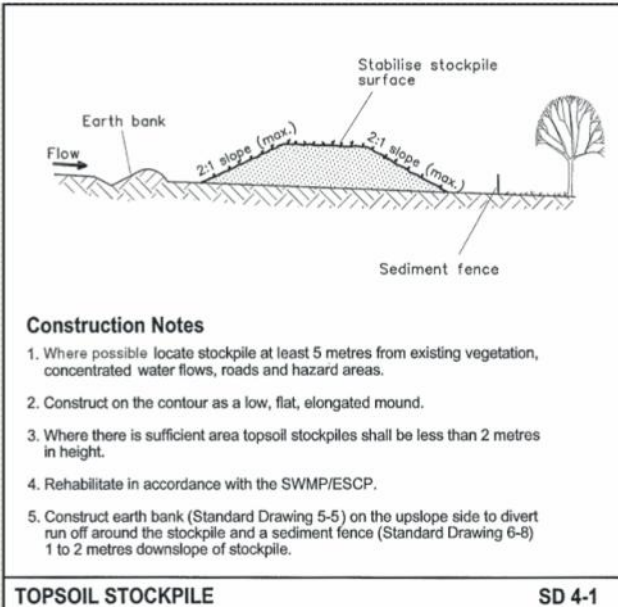
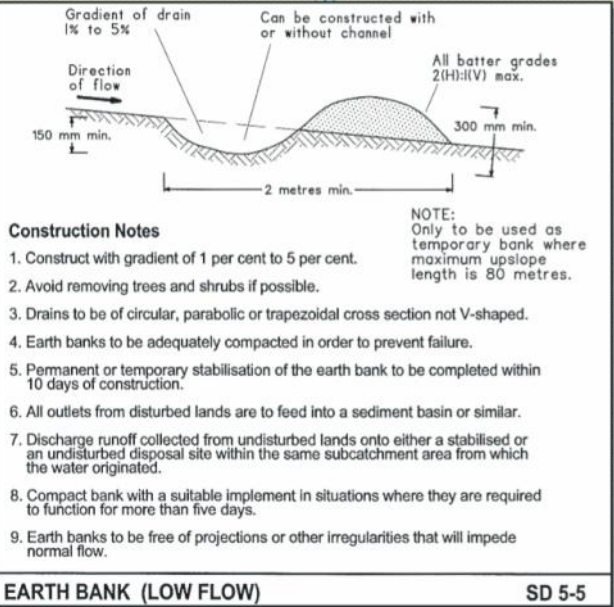
SEDIMENT FENCE
STOCKPILE
WASTE MANAGEMENT

WARNING

BEWARE OF EXISTING UNDERGROUND SERVICES - CONTRACTOR TO CONFIRM PRIOR TO SITE WORKS

ANY DAMAGE TO THE ROAD VERGE LANDSCAPING OR SERVICES DURING HOUSE AND LANDSCAPE CONSTRUCTION WILL BE RECTIFIED AT CONTRACTORS COST

PLEASE ENSURE BUILDERS USE NOMINATED ACCESS ONLY TO ENTER SITE TO AVOID DAMAGE TO EROSION & SEDIMENT CONTROLS



LEGEND

WATER RE-USE LINE

WATER OVERFLOW LINE

DOWNPIPE

DP

STORMWATER TREATMENT SUMMARY

SITE AREA: 686m²

ROOF AREA: 92m²+ 220m²

OTHER HARDSTAND TREATMENT AREA: (driveway + central slab) 122m²

TOTAL IMPERVIOUS AREA: 342m²

SITE DISCHARGE INDEX: Total imp. area/site area = 0.50 = 49.9%

TANK SIZE: = 2000 L (MIN. BASIX REQUIREMENT)

ROOF AREA TO TANK: 100%

TREATMENT TYPE: RAINGARDEN

TREATMENT SIZE: ≈ 7.0 m² (2 % of 342 m² impervious, rounded up)

SIZING METHODOLOGY USED: DEEMED TO COMPLY

NOTES:

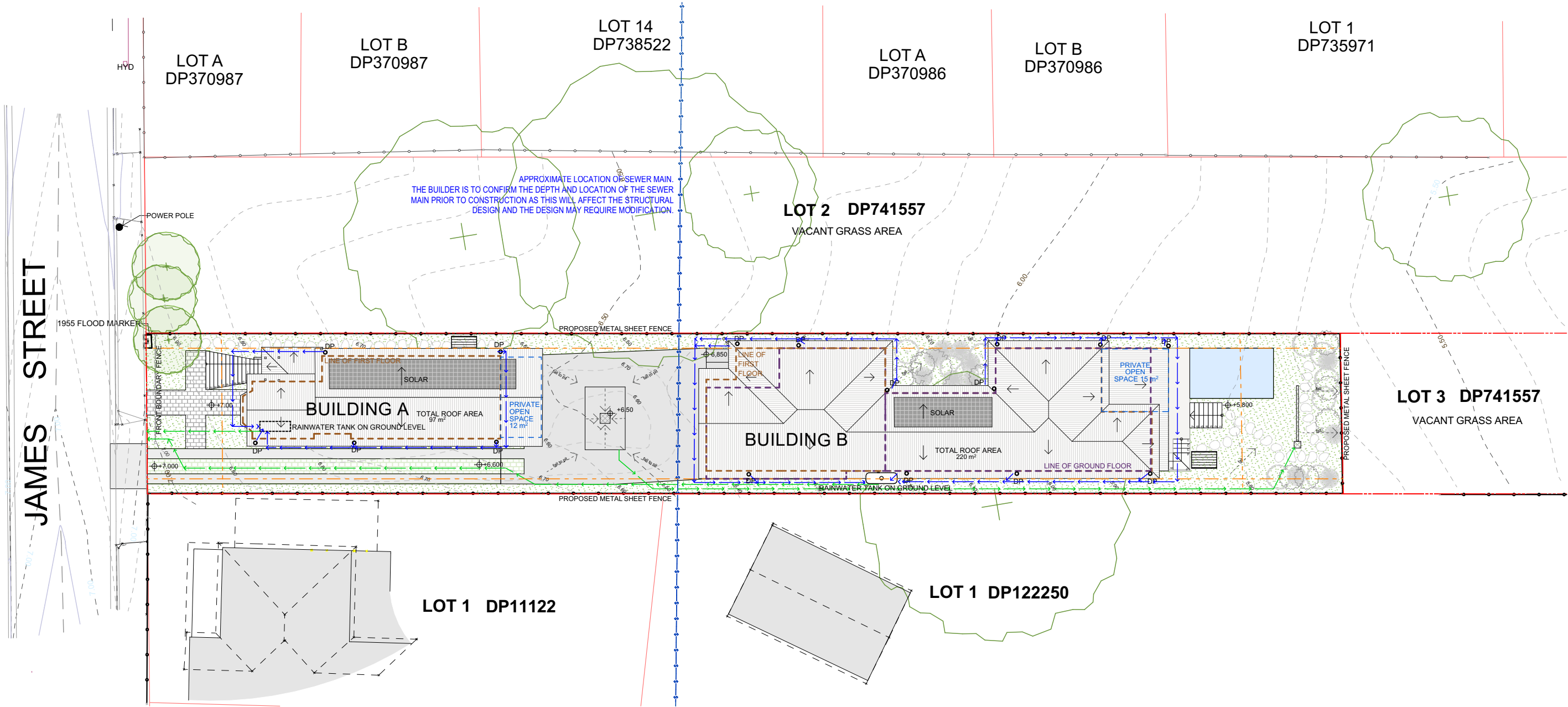
- ALL DOWNPIPES SHOWN INDICATIVELY. LOCATIONS ON SITE MAY DIFFER FROM SHOWN. DISCREPANCIES TO BE NOTIFIED TO THE DESIGNER IMMEDIATELY.

- ALL STORMWATER WORK TO BE IN ACCORDANCE WITH AS 3500 AND ALL STATUTORY REQUIREMENTS.

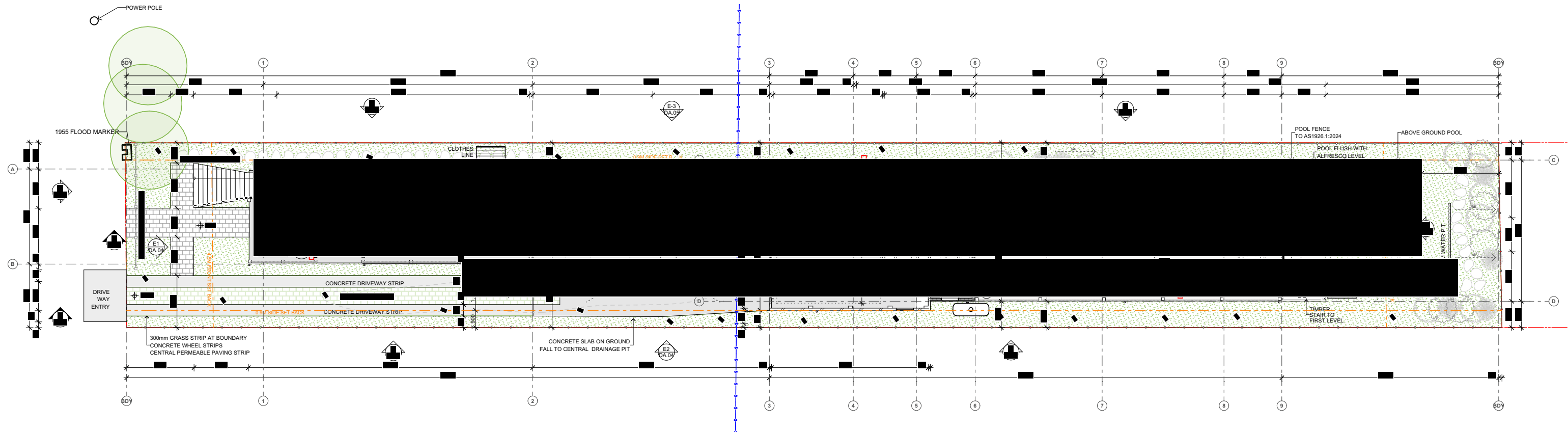
- ALL WORK TO BE CARRIED OUT BY A LICENSED PLUMBER

INSTALLATION AND CONNECTION OF RWT TO LOCAL CITY REGULATIONS.

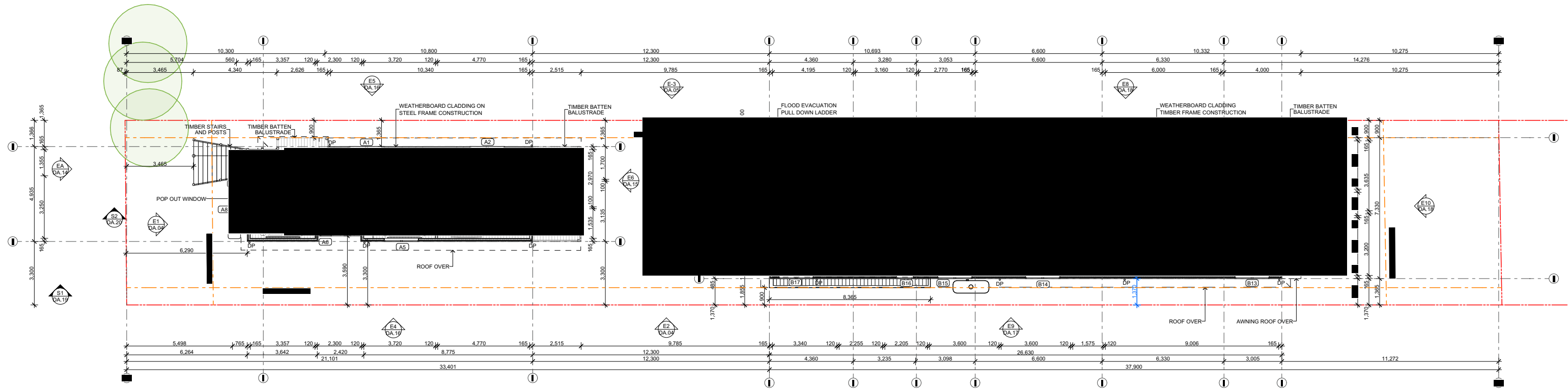
- STORMWATER DETAILS TO COMPLY WITH THE CONDITIONS OF CONSENT



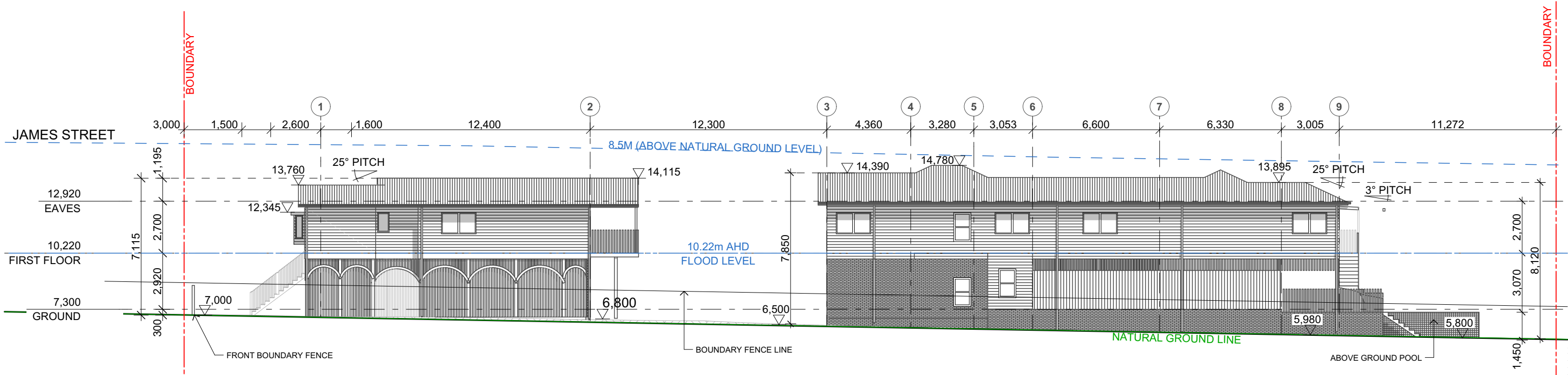
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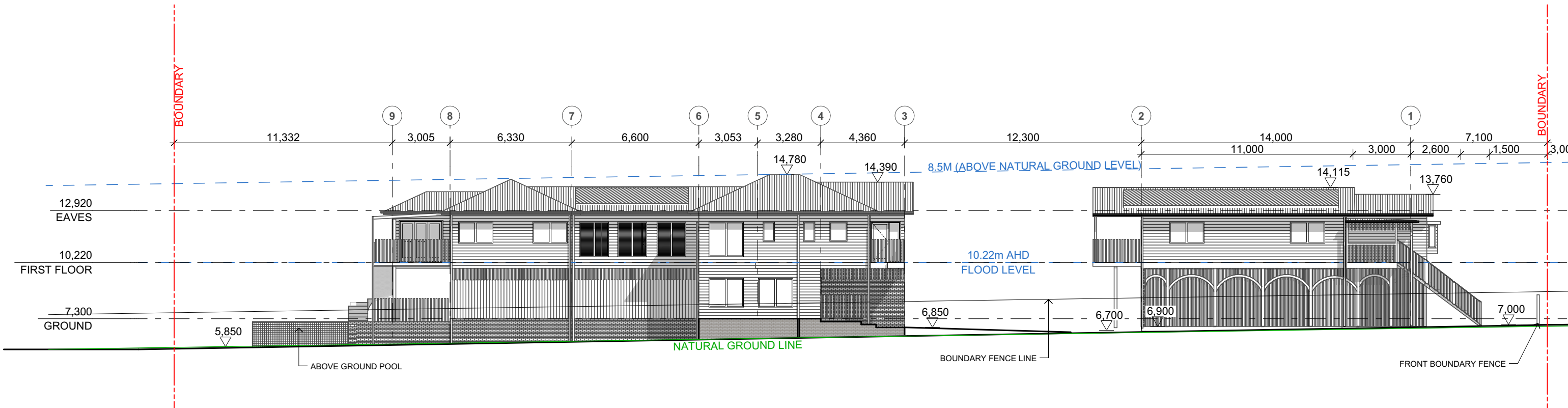
1. GROUND LEVEL 1:200



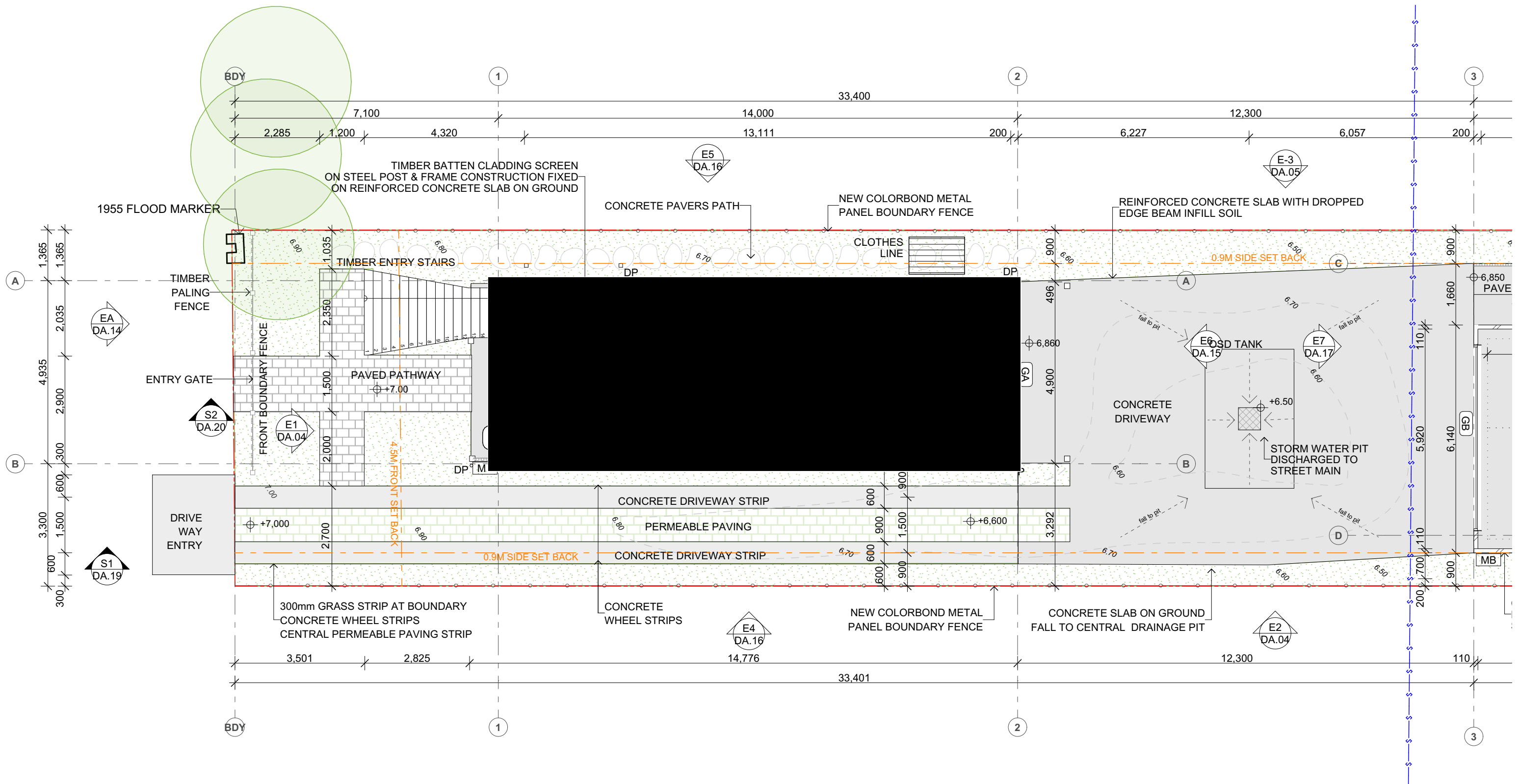
2. FIRST FLOOR 1:200



E2 SITE ELEVATION - NORTH 1:200



E3 SITE ELEVATION - SOUTH 1:200



LEGEND

- HWU HOT WATER UNIT
MB ELECTRICAL METER BOX
PS PLUMBING STACK
SA SMOKE ALARM AS PER AS3786



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ALL STRUCTURAL STEEL SHOULD BE SITE MEASURED PRIOR TO FABRICATION

PROPOSED SITE AREAS
SITE AREA: 686m2
LANDSCAPE AREA: 230m2
POOL: 12m2

PROPOSED INTERNAL AREAS
BUILDING A - FIRST FLOOR
BUILDING A - GROUND FLOOR
BUILDING B - FIRST FLOOR
BUILDING B - GROUND FLOOR
PROPOSED EXTERNAL AREAS
BUILDING A - BALC
BUILDING A - PORCH
BUILDING B - FIRST FL BALCONY
BUILDING B - GROUND FL DECK

60.0
65.9
143.7
69.5
339.1 m²
11.4
5.0
15.0
112.6
144.0 m²

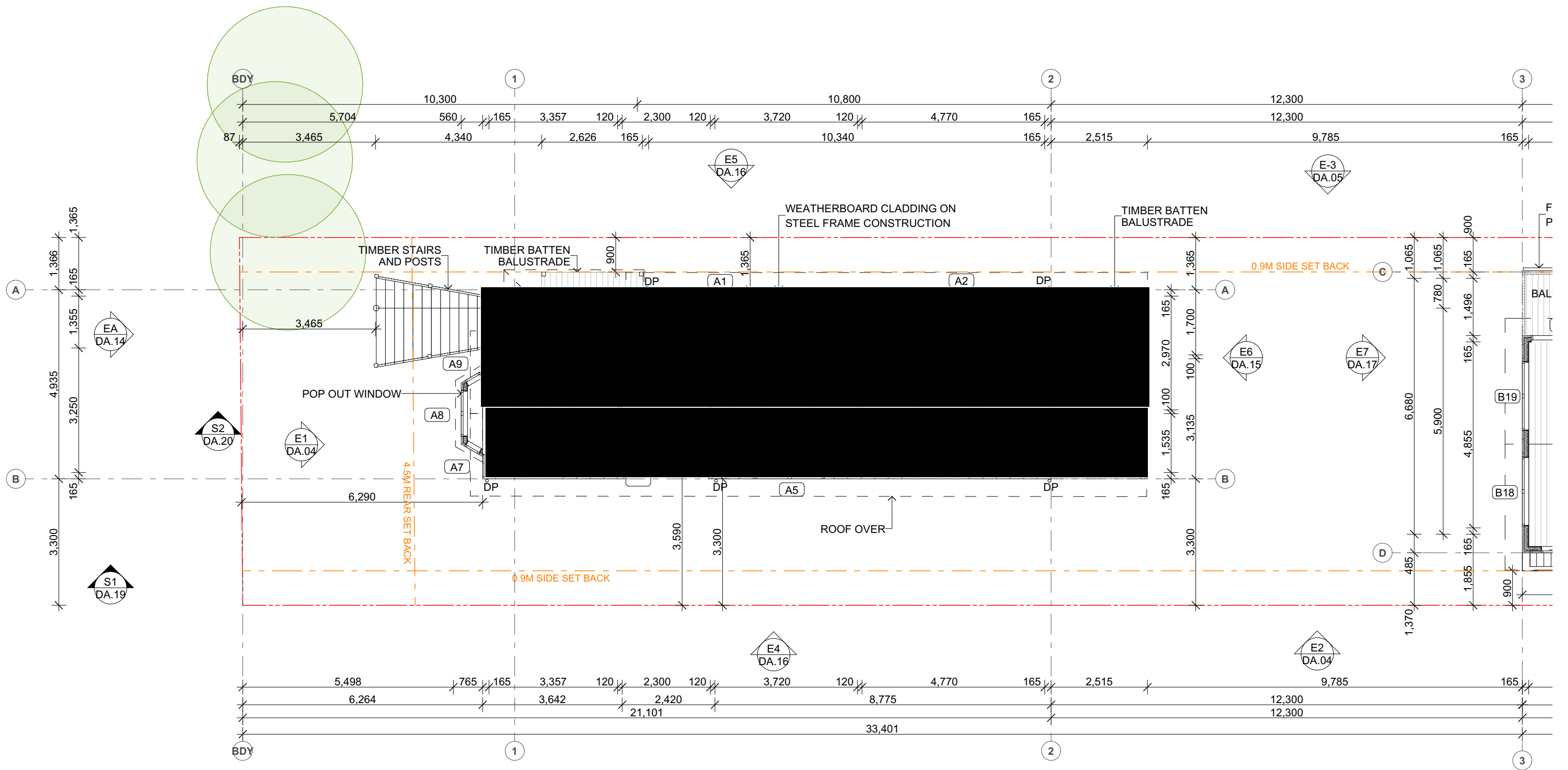
Client
HOLLIER
Project Address
1/32 JAMES STREET HORSESHOE BEND, 2320
LOT 1, DP741557
Drawing Title:
BUILDING A - GROUND FLOOR PLAN

Revision	Date	Designer	Checked by
S1	11/04/25	BB	SR
Pre-DA	22/04/25	BB	SR
Pre-DA	29/04/25	BB	SR
S3.A	11/07/25	BB	SR
S3.B	18/07/25	BB	SR
DA.1	25/08/25	BB	SR
DA.2	12/09/25	BB	BB

PRELIMINARY DRAWINGS
NOT FOR CONSTRUCTION

Scale at A3: 1:100
Job Ref: YHD-860
Page No: DA.10
Plot Date: 12/09/2025
Rev: DA





LEGEND

- HWU HOT WATER UNIT
MB ELECTRICAL METER BOX
PS PLUMBING STACK
SA SMOKE ALARM AS PER AS3786

BASIX AND ENERGY REQUIREMENTS TO BE FULLY ADDRESSED AND DOCUMENTED AT CC STAGE:

- NOMINATE ALL DOWNLIGHTS AS IC/IC-F RATED
- R2.7 INSULATION TO INTERNAL BATHROOM WALLS
- R6.0 INSULATION TO SUSPENDED FRAMED FLOOR
- R6.0 CEILING INSULATION TO ALL FLOORS (EXCLUDING GARAGE)
- REFLECTIVE WALL WRAP TO ALL EXTERNAL WALLS (CLASS 4 IF REQUIRED FOR CONDENSATION)
- R2.7 EXTERNAL WALL INSULATION (EXCLUDING GARAGE)
- R1.3 REFLECTIVE BLANKET TO ROOF
- 2 X CEILING FANS TO KITCHEN/LIVING (MIN 1800MM DIA)

BASIX AND ENERGY REQUIREMENTS TO BE FULLY ADDRESSED AND DOCUMENTED AT CC STAGE:

- CEILING FANS TO MASTER, BED 2, BED 3 (MIN 1200MM DIA)
- R2.3 / 50MM INSULATION UNDER SLAB ON GROUND (EXCL. LAUNDRY & GARAGE)
- THERMALLY BROKEN DOUBLE GLAZED LOW-E WINDOWS/DOORS (EXCL. GARAGE, LAUNDRY, BATHROOM)
- R2.3 INSULATION TO ENTRY WALLS ADJOINING WORKSHOP & GARAGE
- R2.7 INSULATION TO LAUNDRY/ENTRY & ENTRY/SUBFLOOR WALLS
- 35MM XCEM ALPHAFLOOR TO SUSPENDED FLOOR
- 25MM XPS CORE INSULATED ENTRY DOOR
- R1.3 REFLECTIVE BLANKET TO GARAGE ROOF
- ADJUSTABLE EXTERNAL SHADING (BLINDS/SHUTTERS/LOUVRES) TO WINDOWS B9, B10, B11, B12



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PROPOSED SITE AREAS

SITE AREA: 686m²
LANDSCAPE AREA: 230m²
POOL: 12m²

PROPOSED INTERNAL AREAS

BUILDING A - FIRST FLOOR
BUILDING A - GROUND FLOOR
BUILDING B - FIRST FLOOR
BUILDING B - GROUND FLOOR

60.0
65.9
143.7
69.5
339.1 m²

PROPOSED EXTERNAL AREAS

BUILDING A - BALC
BUILDING A - PORCH
BUILDING B - FIRST FL BALCONY
BUILDING B - GROUND FL DECK

11.4
5.0
15.0
112.6
144.0 m²

Client

HOLLIER

Project Address

1/32 JAMES STREET HORSESHOE BEND, 2320
LOT 1, DP741557

Drawing Title:

BUILDING A - FIRST FLOOR PLAN

Revision	Date	Designer	Checked by
S1	11/04/25	BB	SR
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DA.1	25/08/25	BB	SR
DA.2	12/09/25	BB	BB

PRELIMINARY DRAWINGS
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Scale at A3: 1:100

Job Ref:

YHD-860

Page No:

DA.11

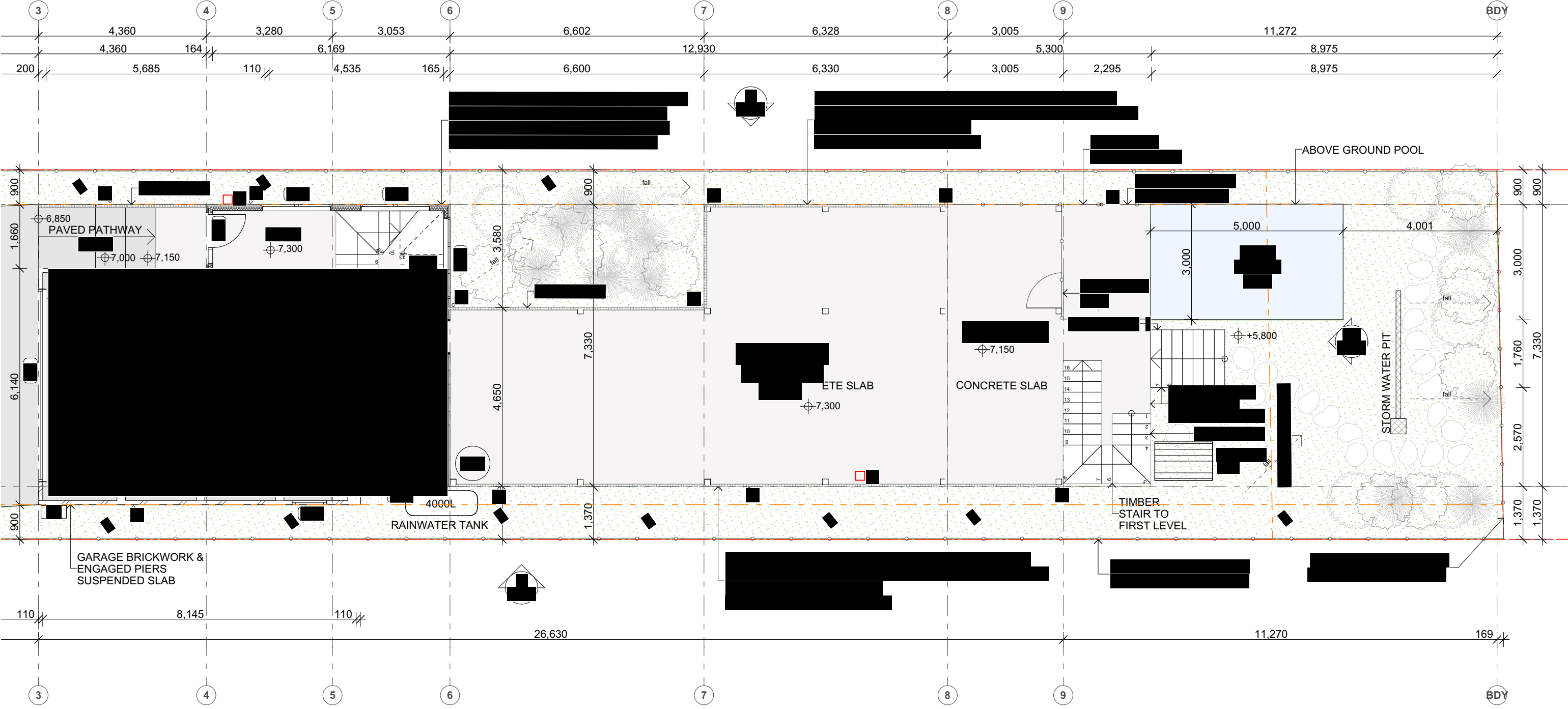
Plot Date:

12/09/2025

Rev

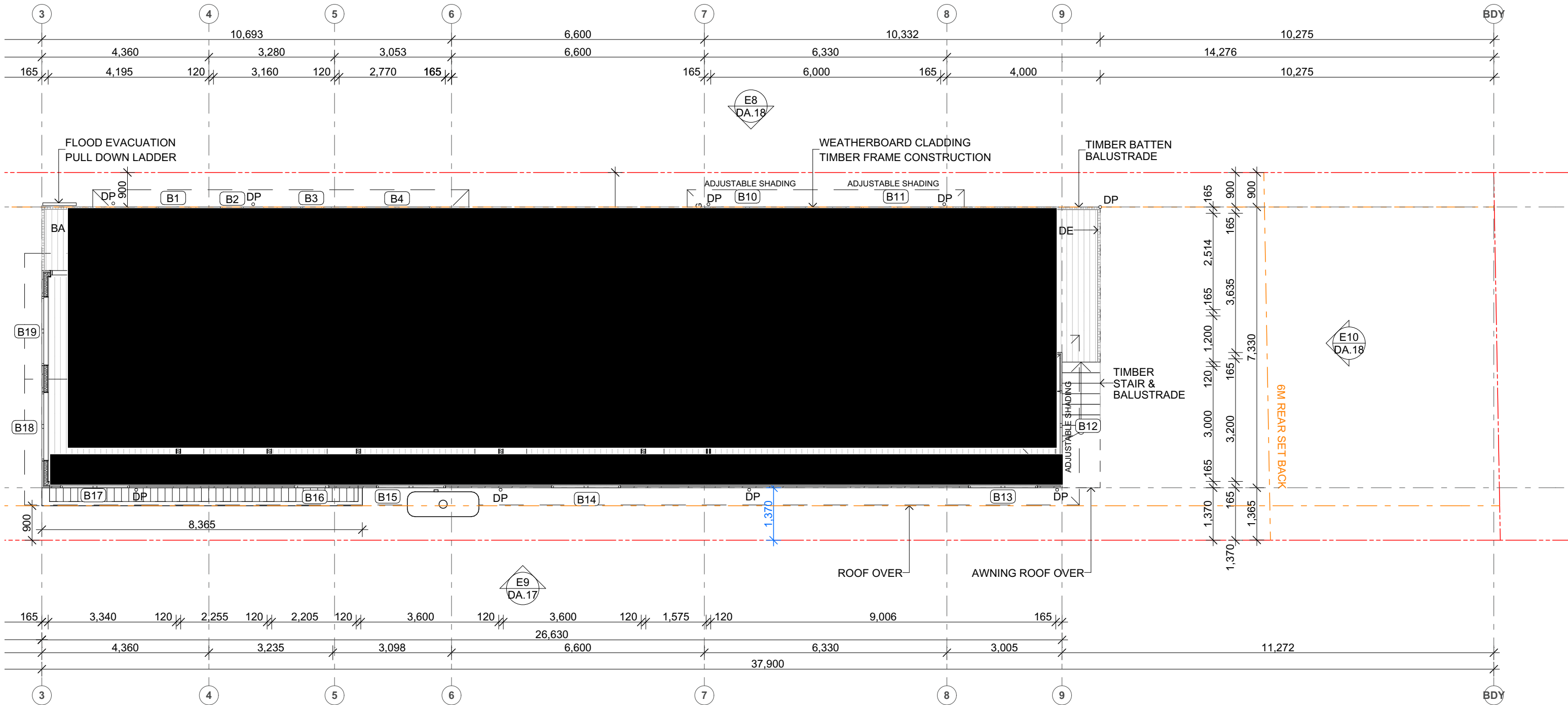
DA





LEGEND

- HWU HOT WATER UNIT
- MB ELECTRICAL METER BOX
- PS PLUMBING STACK
- SA SMOKE ALARM AS PER AS3786



LEGEND

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SITE AREA: 686m²
LANDSCAPE AREA: 230m²
POOL: 12m²

PROPOSED INTERNAL AREAS

BUILDING A - FIRST FLOOR
BUILDING A - GROUND FLOOR
BUILDING B - FIRST FLOOR
BUILDING B - GROUND FLOOR

PROPOSED EXTERNAL AREAS

BUILDING A - BALC
BUILDING A - PORCH
BUILDING B - FIRST FL BALCONY
BUILDING B - GROUND FL DECK

60.0
65.9
143.7
69.5
339.1 m²

11.4
5.0
15.0
112.6
144.0 m²

Client

HOLLIER

Project Address

1/32 JAMES STREET HORSESHOE BEND, 2320
LOT 1, DP741557

Drawing Title:

BUILDING B - FIRST FLOOR PLAN

Revision	Date	Designer	Checked by
S1	11/04/25	BB	SR
Pre-DA	22/04/25	BB	SR
Pre-DA	29/04/25	BB	SR
S3.A	11/07/25	BB	SR
S3.B	18/07/25	BB	SR
DA.1	25/08/25	BB	SR
DA.2	12/09/25	BB	BB

PRELIMINARY DRAWINGS
NOT FOR CONSTRUCTION

Scale at A3: 1:100

Job Ref:

YHD-860

Page No:

DA.13

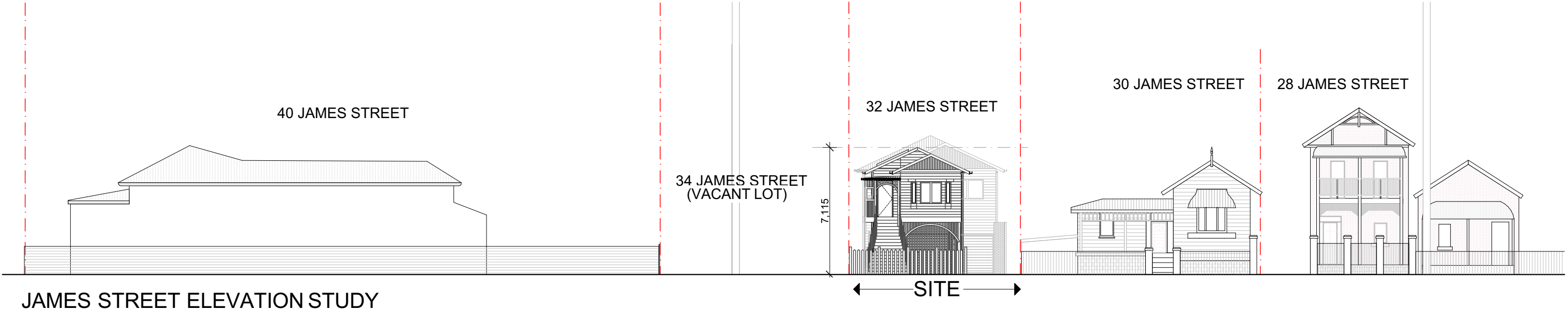
Plot Date:

12/09/2025

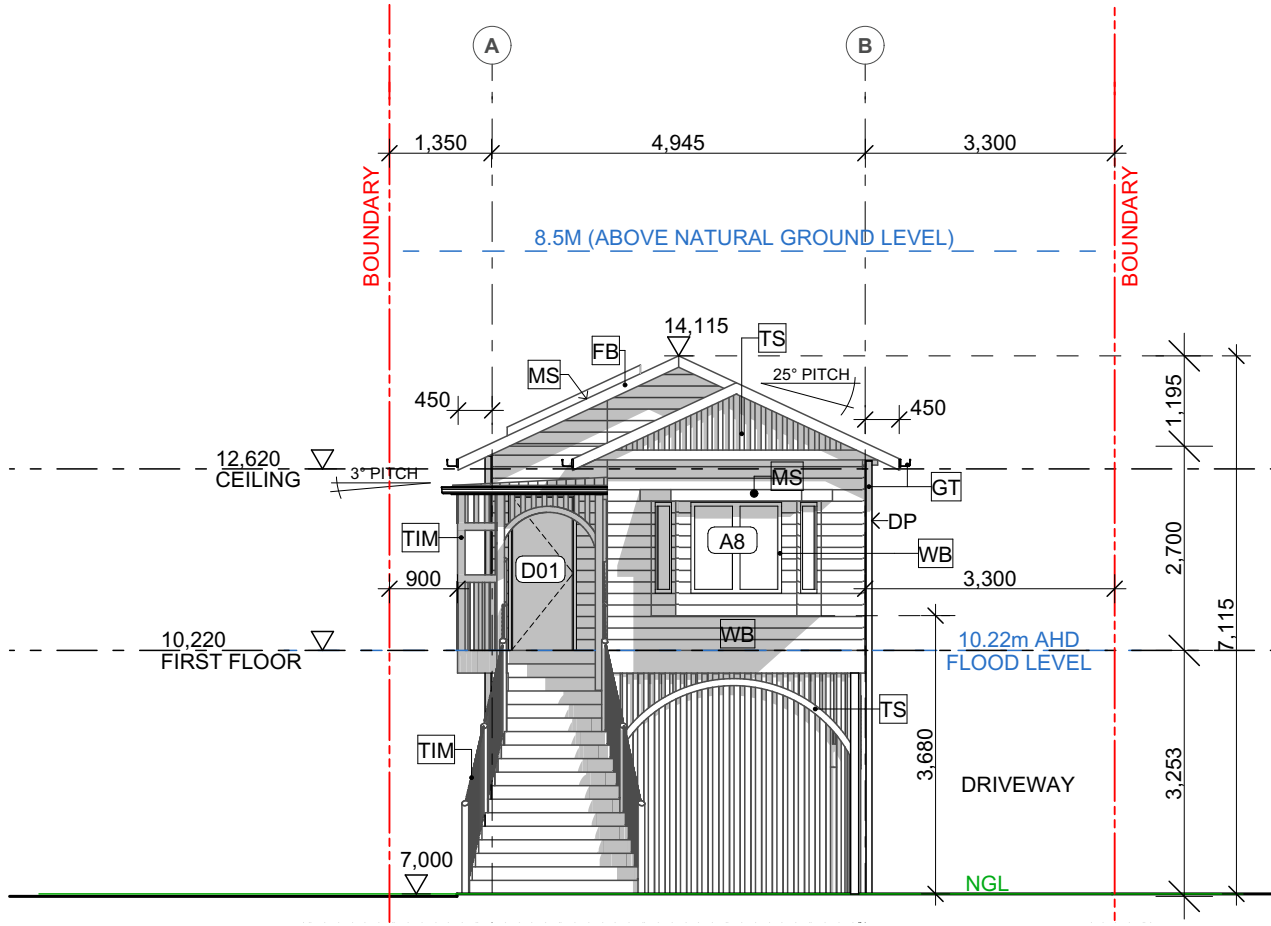
Rev

DA

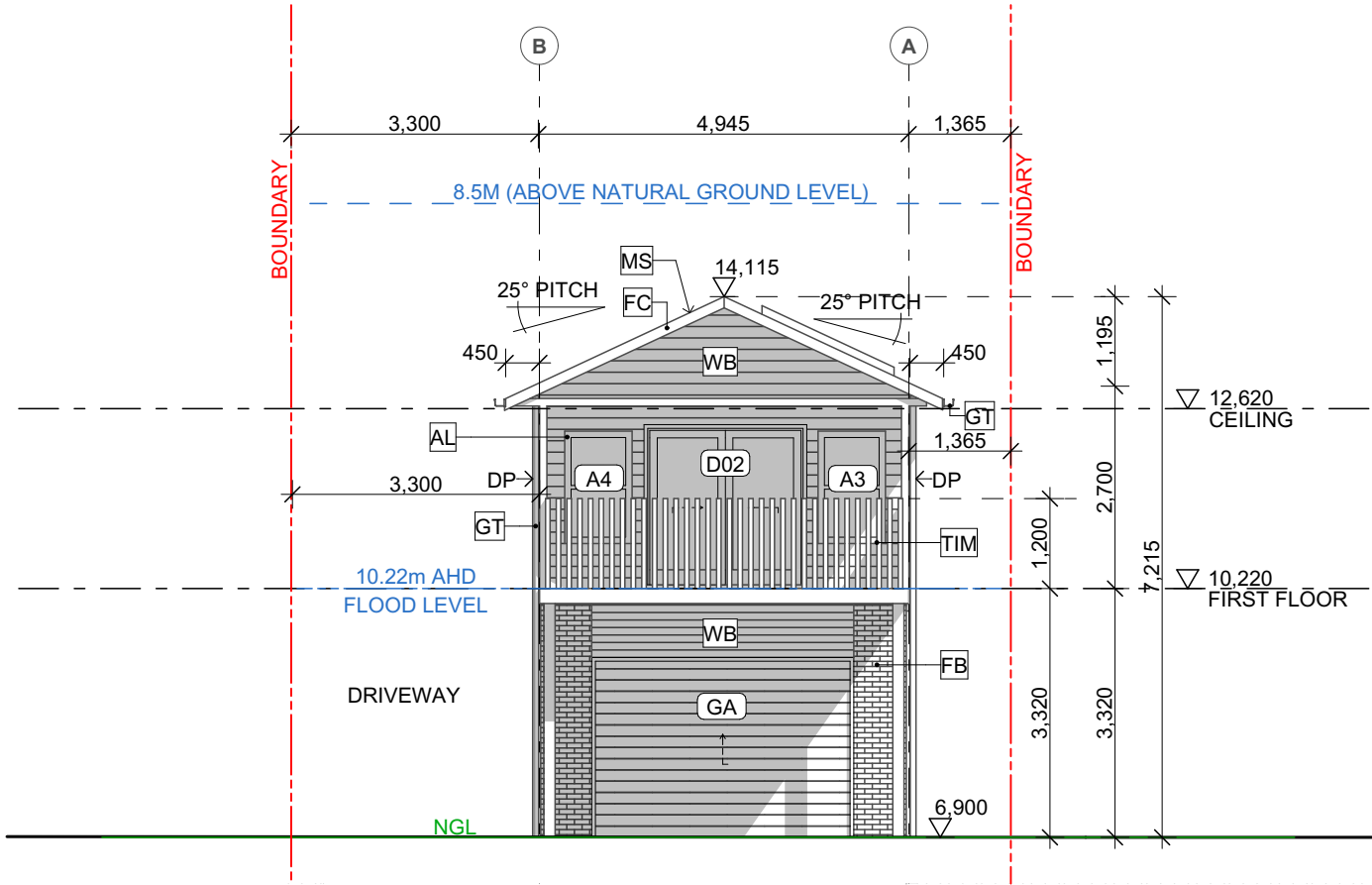




SURROUNDING NEIGHBOURHOOD CONTEXT



E1 BUILDING A - WEST ELEVATION 1:100



E6 BUILDING A - NORTH 1:100

CODE	ELEMENT	MATERIAL / PRODUCT	COLOUR / FINISH	NOTES
AL	DOORS & WINDOWS	POWDER-COATED ALUMINUM FRAMES	WHITE	HAMPTONS-STYLE PROPORTIONS
FB	GARAGE WALLS (EXTERNAL) & FOUNDATION WALL	FACE BRICK	CREAM	TRADITIONAL OR PAINTED CREAM FACE BRICK
FC	FASCIA BOARD	TIMBER OR FIBRE CEMENT	WHITE	PAINTED FASCIA BOARD
GT	GUTTERS & DOWNPIPES	COLORBOND OR SIMILAR	MATCH ROOF / SHALE GREY	TO MATCH ROOF SHEETING
MF	SIDE BOUNDARY FENCE	METAL PANEL FENCE	SHALE GREY	1800MM HIGH
MS	METAL ROOF SHEETING	COLORBOND LONGLINE PROFILE	SHALE GREY	METAL ROOF SHEETING
TBS	FRONT BOUNDARY FENCE	TIMBER PICKET	NATURAL TIMBER	1200MM HIGH
TIM	TIMBER BALUSTRADE	TIMBER	WHITE (PAINTED)	HAMPTONS-STYLE BALUSTRADE
TS	TIMBER BATTEN SCREEN & BRACKETS	TIMBER (DECORATIVE)	WHITE (PAINTED)	VERTICAL BATTENS FOR SCREENING
WB	EXTERNAL WALL CLADDING	JAMES HARDIE LINEA 150MM WEATHERBOARD OR SIMILAR	WHITE	HORIZONTAL PROFILE, PAINTED WHITE



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60.0
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143.7
69.5
339.1 m²

11.4
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Project Address
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LOT 1, DP741557**

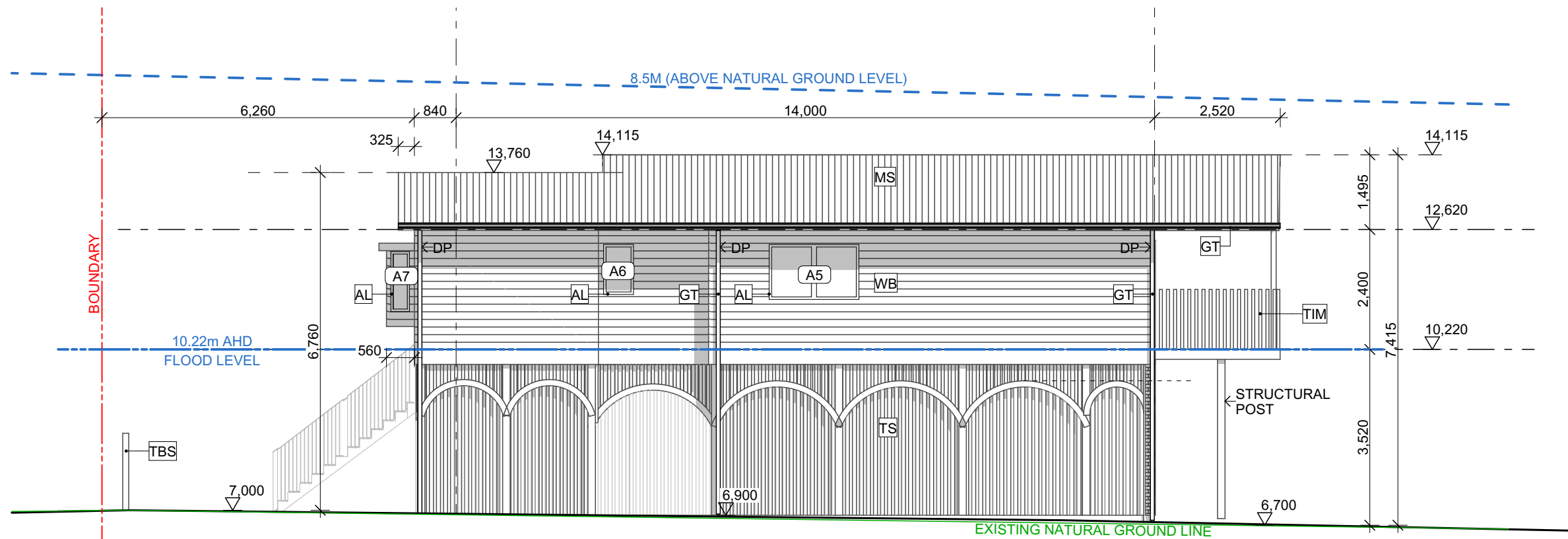
Drawing Title:
BUILDING A - ELEVATIONS 1:100 - SHEET 1

Revision	Date	Designer	Checked by
S1	11/04/25	BB	SR
Pre-DA	22/04/25	BB	SR
Pre-DA	29/04/25	BB	SR
S3.A	11/07/25	BB	SR
S3.B	18/07/25	BB	SR
DA.1	25/08/25	BB	SR
DA.2	12/09/25	BB	BB

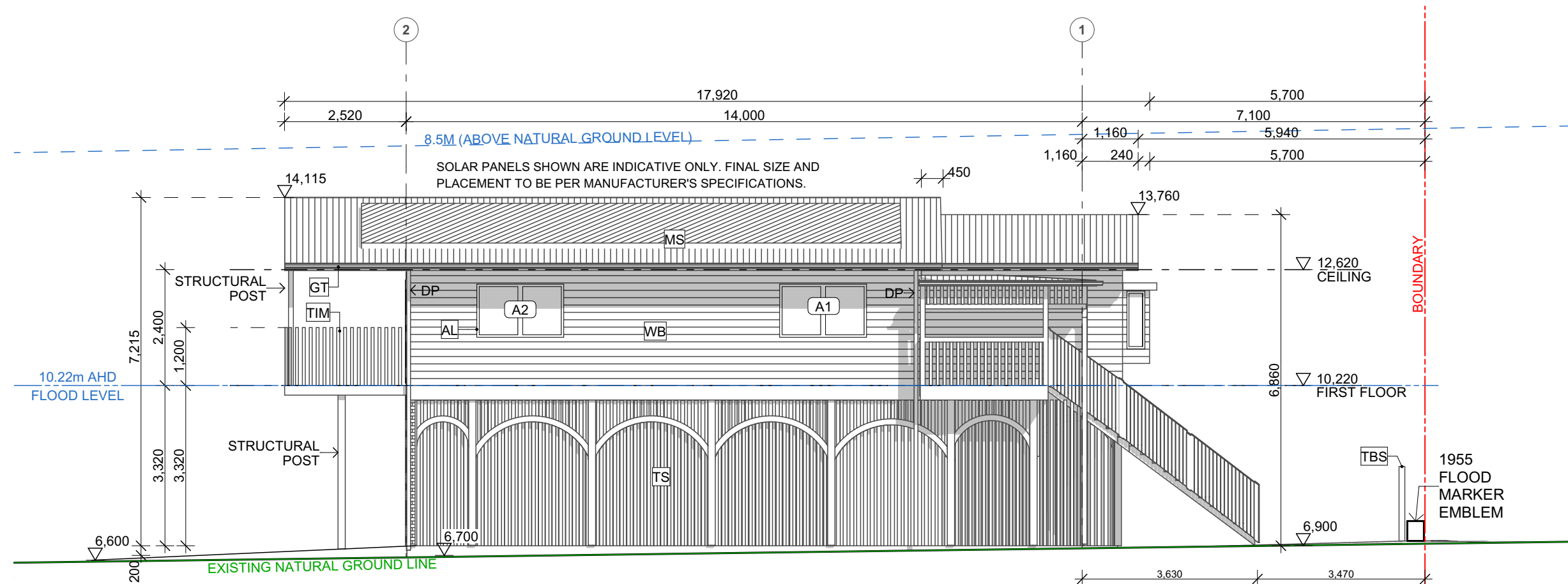
PRELIMINARY DRAWINGS
NOT FOR CONSTRUCTION

Scale at A3: 1:100
Job Ref: YHD-860
Page No: DA.15
Plot Date: 12/09/2025
Rev: DA

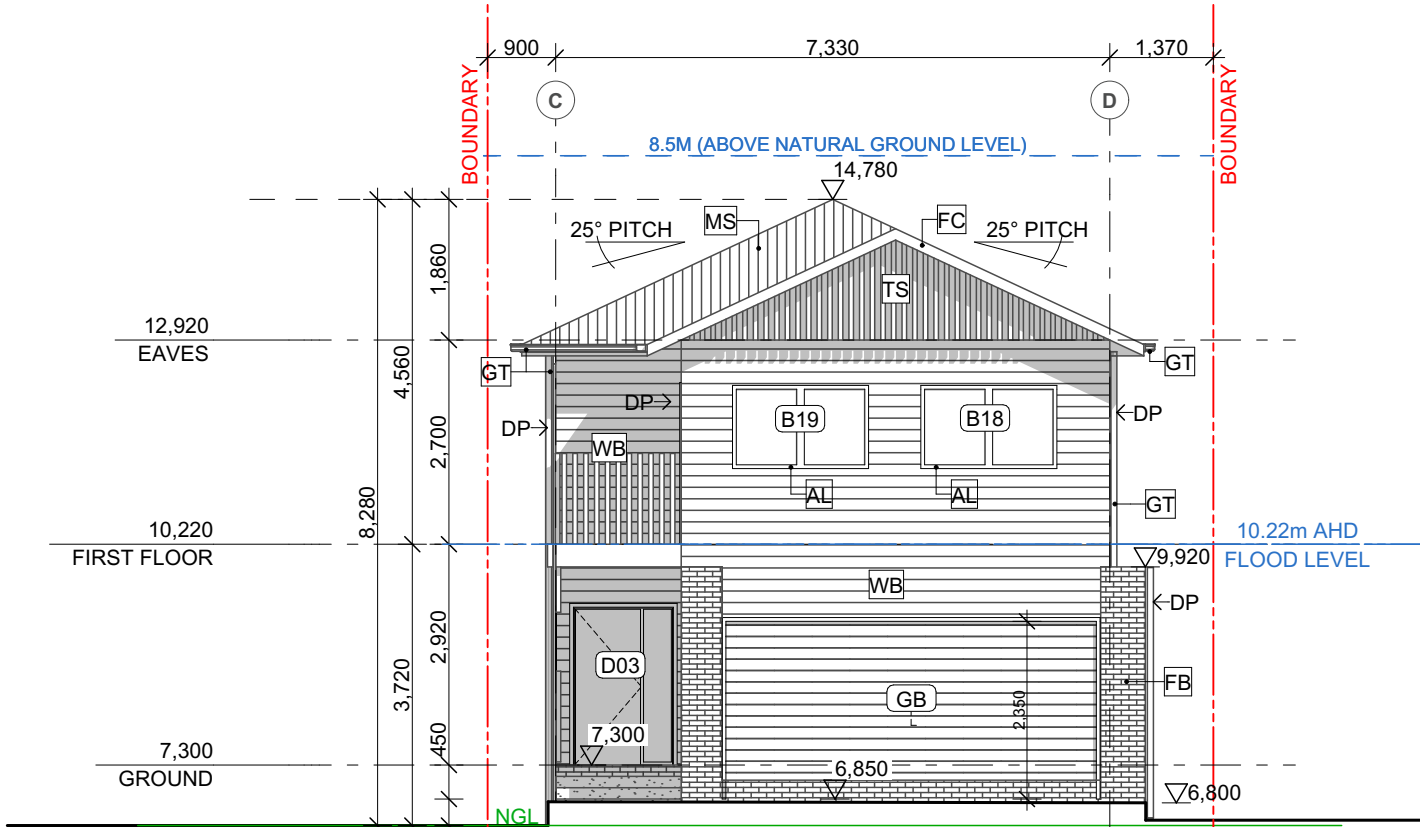




E4 BUILDING A - SOUTH ELEVATION 1:100

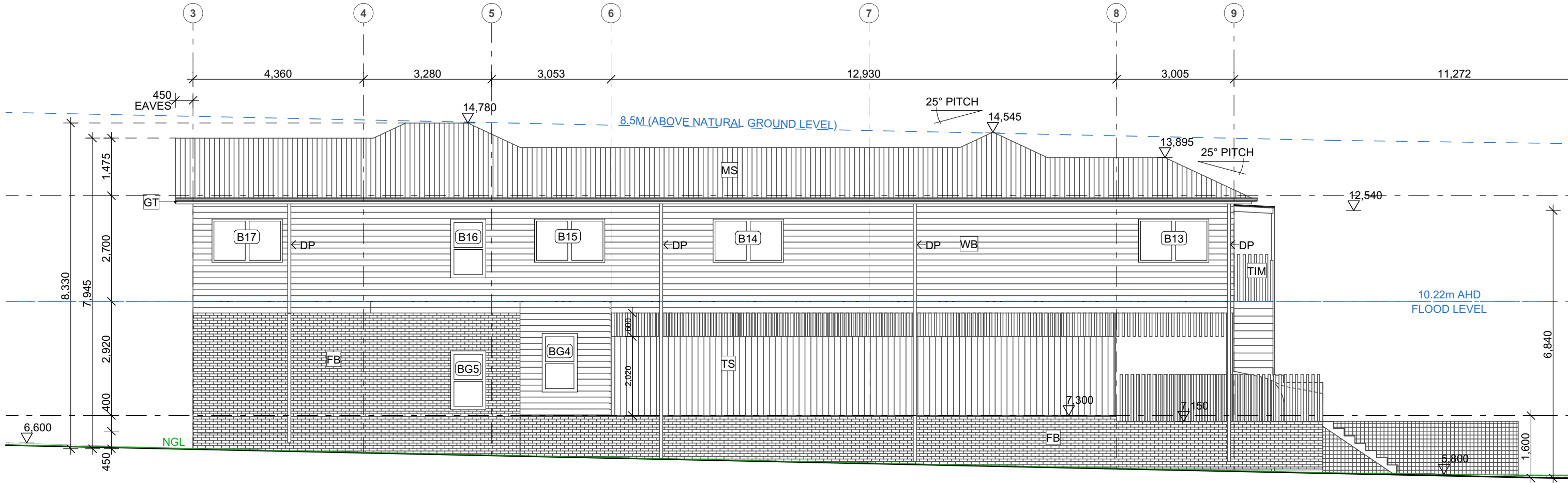


E5 BUILDING A - NORTH ELEVATION 1:100



E7 BUILDING B - WEST ELEVATION 1:100

CODE	ELEMENT	MATERIAL / PRODUCT	COLOUR / FINISH	NOTES
AL	DOORS & WINDOWS	POWDER-COATED ALUMINUM FRAMES	WHITE	HAMPTONS-STYLE PROPORTIONS
FB	GARAGE WALLS (EXTERNAL) & FOUNDATION WALL	FACE BRICK	CREAM	TRADITIONAL OR PAINTED CREAM FACE BRICK
FC	FASCIA BOARD	TIMBER OR FIBRE CEMENT	WHITE	PAINTED FASCIA BOARD
GT	GUTTERS & DOWNPIPES	COLORBOND OR SIMILAR	MATCH ROOF / SHALE GREY	TO MATCH ROOF SHEETING
MF	SIDE BOUNDARY FENCE	METAL PANEL FENCE	SHALE GREY	1800MM HIGH
MS	METAL ROOF SHEETING	COLORBOND LONGLINE PROFILE	SHALE GREY	METAL ROOF SHEETING
TBS	FRONT BOUNDARY FENCE	TIMBER PICKET	NATURAL TIMBER	1200MM HIGH
TIM	TIMBER BALUSTRADE	TIMBER	WHITE (PAINTED)	HAMPTONS-STYLE BALUSTRADE
TS	TIMBER BATTEN SCREEN & BRACKETS	TIMBER (DECORATIVE)	WHITE (PAINTED)	VERTICAL BATTENS FOR SCREENING
WB	EXTERNAL WALL CLADDING	JAMES HARDIE LINEA 150MM WEATHERBOARD OR SIMILAR	WHITE	HORIZONTAL PROFILE, PAINTED WHITE



E9 BUILDING B - SOUTH ELEVATION 1:100



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BUILDER TO CONFIRM LEVELS &
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DISCREPANCIES ARE TO BE
NOTIFIED TO YHD IMMEDIATELY,
PRIOR TO CONSTRUCTION.

ALL STRUCTURAL STEEL
SHOULD BE SITE MEASURED
PRIOR TO FABRICATION

PROPOSED SITE AREAS
SITE AREA: 686m²
LANDSCAPE AREA: 230m²
POOL: 12m²

PROPOSED INTERNAL AREAS
BUILDING A - FIRST FLOOR
BUILDING A - GROUND FLOOR
BUILDING B - FIRST FLOOR
BUILDING B - GROUND FLOOR

60.0
65.9
143.7
69.5
339.1 m²

PROPOSED EXTERNAL AREAS
BUILDING A - BALC
BUILDING A - PORCH
BUILDING B - FIRST FL BALCONY
BUILDING B - GROUND FL DECK

11.4
5.0
15.0
112.6
144.0 m²

Client
HOLLIER
Project Address
**1/32 JAMES STREET HORSESHOE BEND, 2320
LOT 1, DP741557**

Drawing Title:
BUILDING B - ELEVATIONS 1:100 - SHEET 1

Revision	Date	Designer	Checked by
S1	11/04/25	BB	SR
Pre-DA	22/04/25	BB	SR
Pre-DA	29/04/25	BB	SR
S3.A	11/07/25	BB	SR
S3.B	18/07/25	BB	SR
DA.1	25/08/25	BB	SR
DA.2	12/09/25	BB	BB

PRELIMINARY DRAWINGS
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Scale at A3: 1:100

Job Ref:

YHD-860

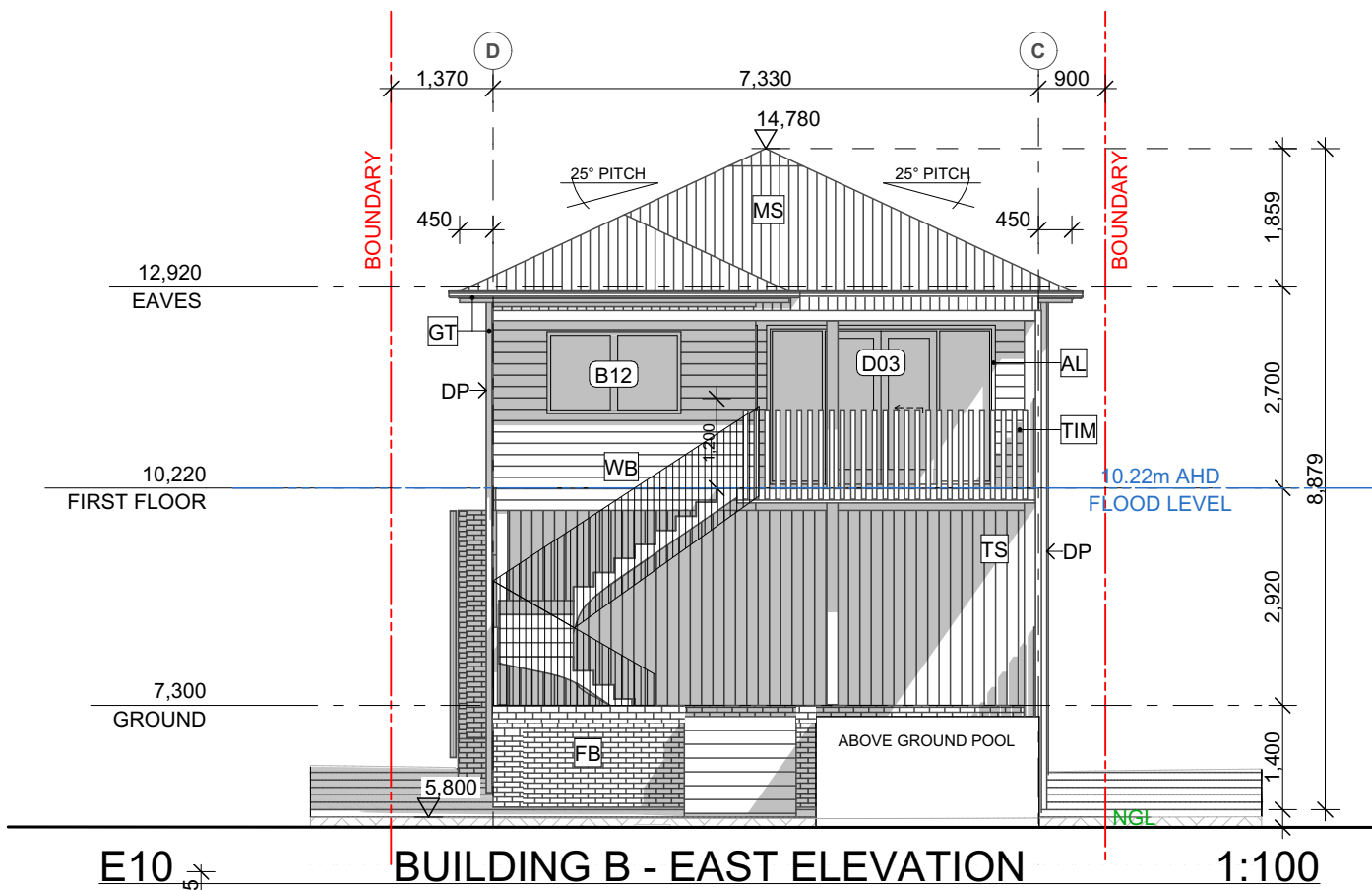
Page No:

DA.17

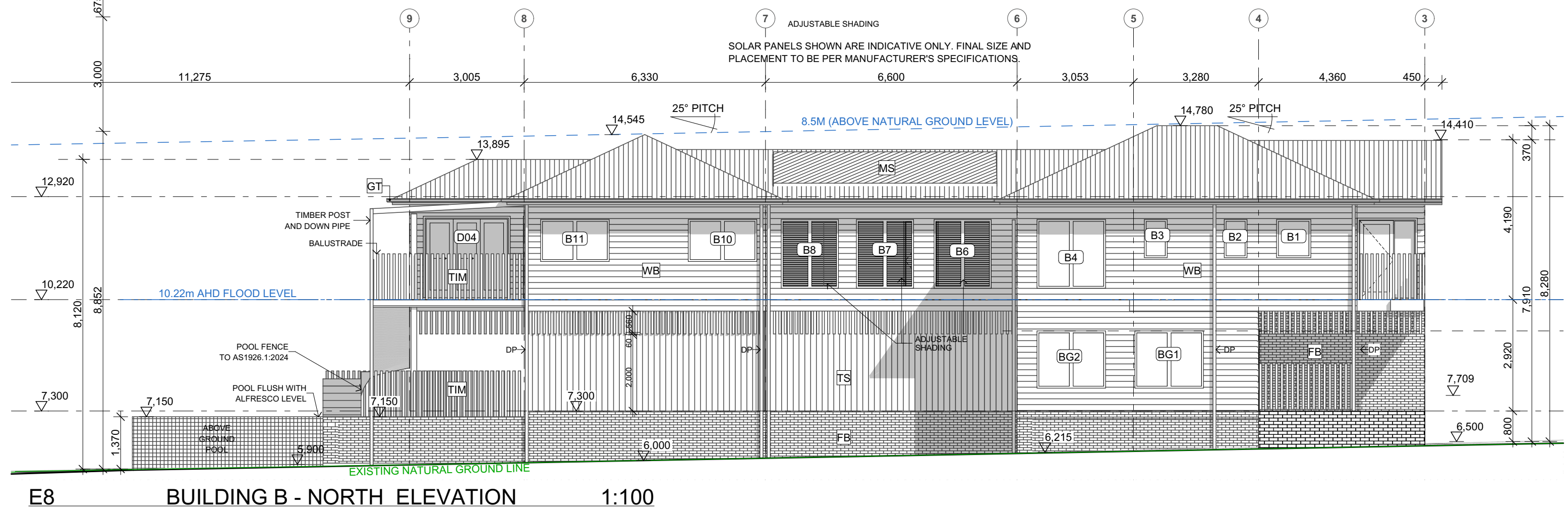
Plot Date: 12/09/2025

Rev

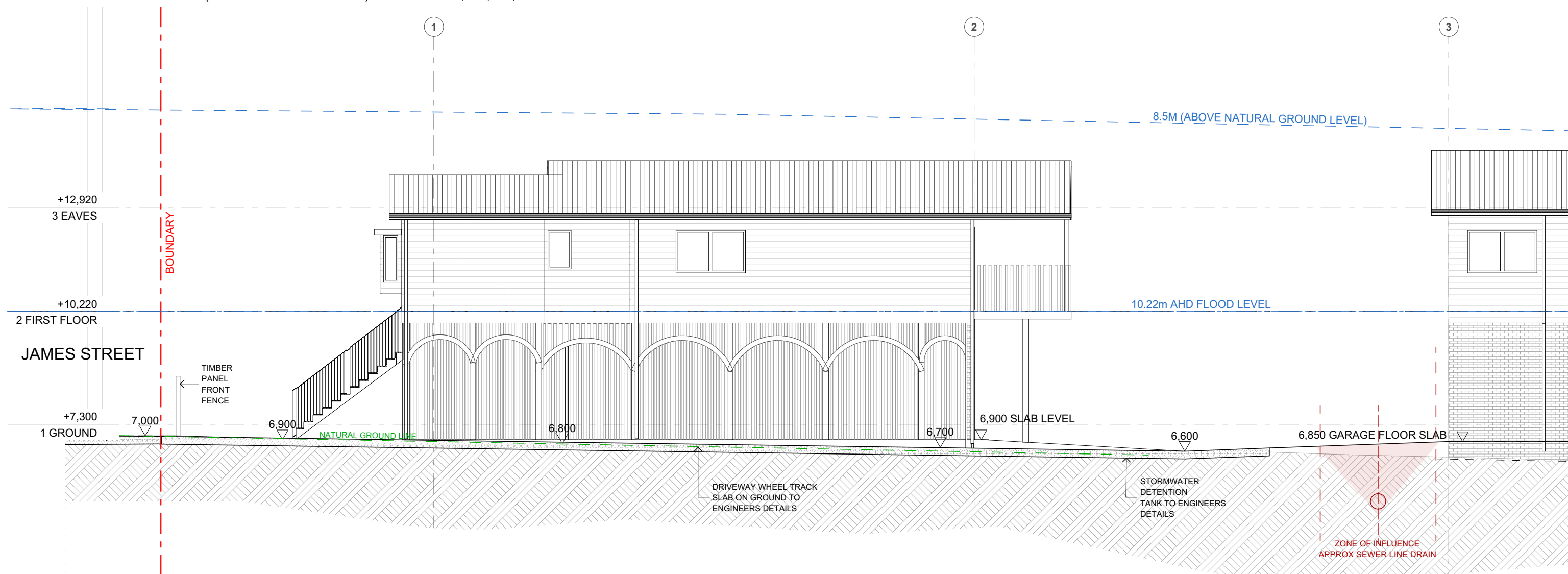
DA



CODE	ELEMENT	MATERIAL / PRODUCT	COLOUR / FINISH	NOTES
AL	DOORS & WINDOWS	POWDER-COATED ALUMINUM FRAMES	WHITE	HAMPTONS-STYLE PROPORTIONS
FB	GARAGE WALLS (EXTERNAL) & FOUNDATION WALL	FACE BRICK	CREAM	TRADITIONAL OR PAINTED CREAM FACE BRICK
FC	FASCIA BOARD	TIMBER OR FIBRE CEMENT	WHITE	PAINTED FASCIA BOARD
GT	GUTTERS & DOWNPIPES	COLORBOND OR SIMILAR	MATCH ROOF / SHALE GREY	TO MATCH ROOF SHEETING
MF	SIDE BOUNDARY FENCE	METAL PANEL FENCE	SHALE GREY	1800MM HIGH
MS	METAL ROOF SHEETING	COLORBOND LONGLINE PROFILE	SHALE GREY	METAL ROOF SHEETING
TBS	FRONT BOUNDARY FENCE	TIMBER PICKET	NATURAL TIMBER	1200MM HIGH
TIM	TIMBER BALUSTRADE	TIMBER	WHITE (PAINTED)	HAMPTONS-STYLE BALUSTRADE
TS	TIMBER BATTEN SCREEN & BRACKETS	TIMBER (DECORATIVE)	WHITE (PAINTED)	VERTICAL BATTENS FOR SCREENING
WB	EXTERNAL WALL CLADDING	JAMES HARDIE LINEA 150MM WEATHERBOARD OR SIMILAR	WHITE	HORIZONTAL PROFILE, PAINTED WHITE



- NOMINATE ALL DOWNLIGHTS AS IC/IC-F RATED
- R2.7 INSULATION TO INTERNAL BATHROOM WALLS
- R6.0 INSULATION TO SUSPENDED FRAMED FLOOR
- R6.0 CEILING INSULATION TO ALL FLOORS (EXCLUDING GARAGE)
- REFLECTIVE WALL WRAP TO ALL EXTERNAL WALLS (CLASS 4 IF REQUIRED FOR CONDENSATION)
- R2.7 EXTERNAL WALL INSULATION (EXCLUDING GARAGE)
- R1.3 REFLECTIVE BLANKET TO ROOF
- 2 X CEILING FANS TO KITCHEN/LIVING (MIN 1800MM DIA)
- CEILING FANS TO MASTER, BED 2, BED 3 (MIN 1200MM DIA)
- R2.3 / 50MM INSULATION UNDER SLAB ON GROUND (EXCL. LAUNDRY & GARAGE)
- THERMALLY BROKEN DOUBLE GLAZED LOW-E WINDOWS/DOORS (EXCL. GARAGE, LAUNDRY, BATHROOM)
- R2.3 INSULATION TO ENTRY WALLS ADJOINING WORKSHOP & GARAGE
- R2.7 INSULATION TO LAUNDRY/ENTRY & ENTRY/SUBFLOOR WALLS
- 35MM XCEM ALPHAFLOOR TO SUSPENDED FLOOR
- 25MM XPS CORE INSULATED ENTRY DOOR
- R1.3 REFLECTIVE BLANKET TO GARAGE ROOF
- ADJUSTABLE EXTERNAL SHADING (BLINDS/SHUTTERS/LOUVRES) TO WINDOWS B9, B10, B11, B12



1 SECTION 1 - DRIVEWAY RPOFILE 1:100



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PRIOR TO FABRICATION

PROPOSED INTERNAL AREAS
 BUILDING A - FIRST FLOOR
 BUILDING A - GROUND FLOOR
 BUILDING B - FIRST FLOOR
 BUILDING B - GROUND FLOOR

PROPOSED EXTERNAL AREAS
 BUILDING A - BALC
 BUILDING A - PORCH
 BUILDING B - FIRST FL BALCONY
 BUILDING B - GROUND FL DECK

60.0	11.4
65.9	5.0
143.7	15.0
69.5	112.6
339.1 m ²	144.0 m

Drawing Title:
SECTION 1

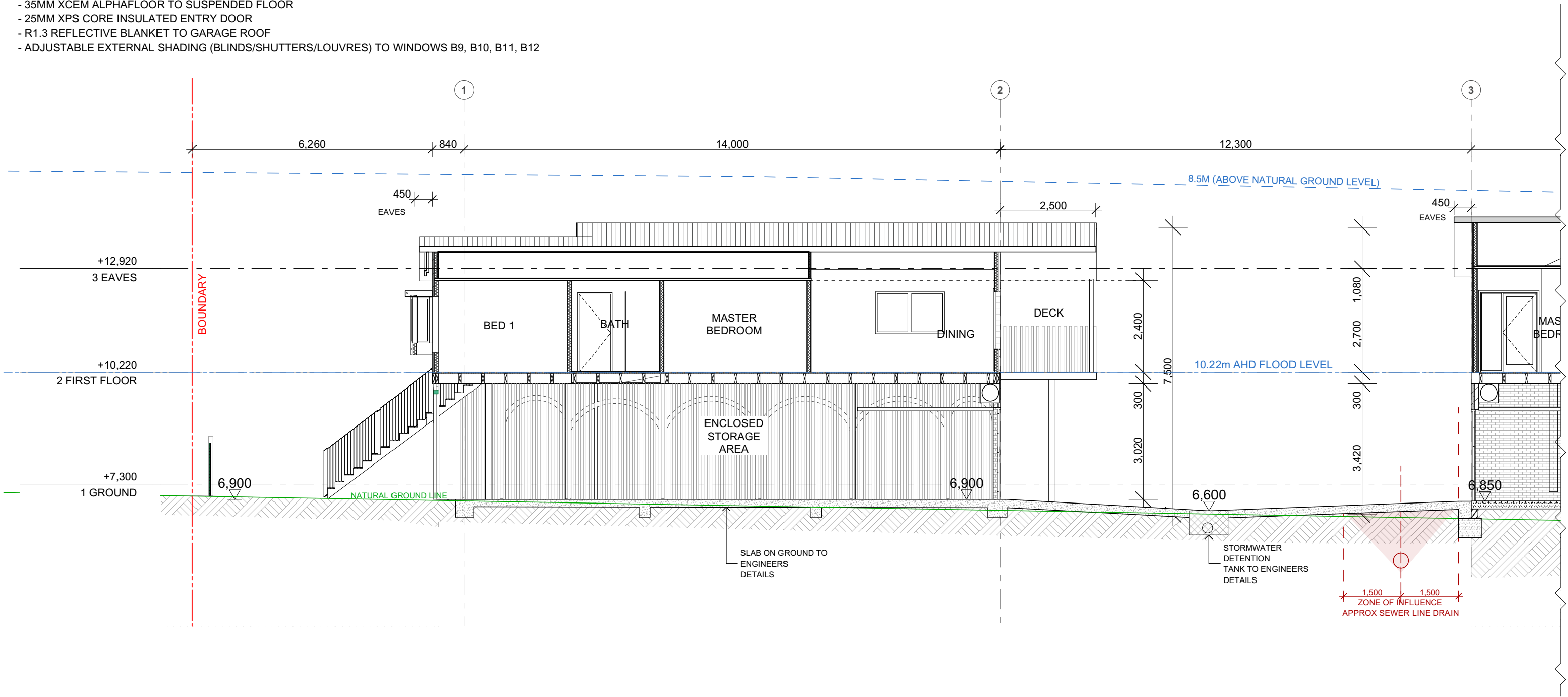
Revision	Date	Designer	Checked by
S1	11/04/25	BB	SR
Pre-DA	22/04/25	BB	SR
Pre-DA	29/04/25	BB	SR
S3.A	11/07/25	BB	SR
S3.B	18/07/25	BB	SR
DA.1	25/08/25	BB	SR
DA.2	12/09/25	BB	BB

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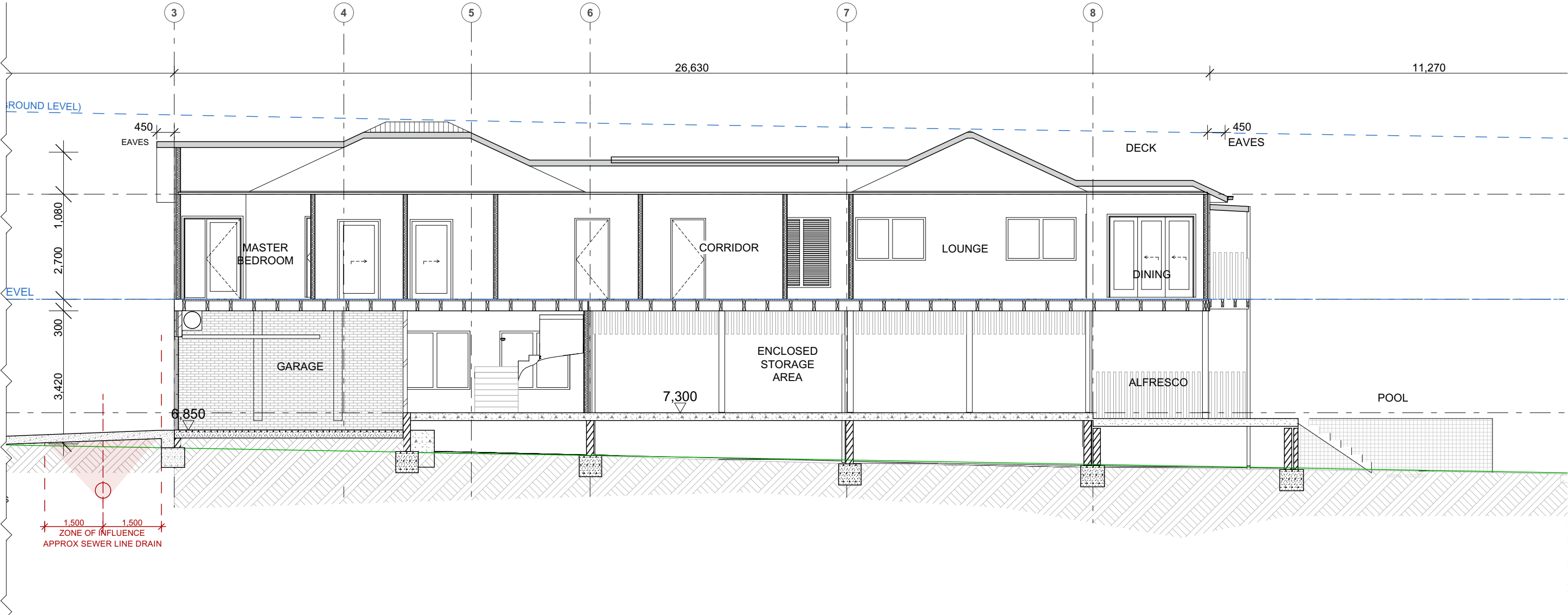


Scale at A3: 1:100	Plot Date: 12/09/2025
Job Ref: YHD-860	Page No: DA.19
	Rev: DA

- BASIX AND ENERGY REQUIREMENTS TO BE FULLY ADDRESSED AND DOCUMENTED AT CC STAGE:
- NOMINATE ALL DOWNLIGHTS AS IC/IC-F RATED
 - R2.7 INSULATION TO INTERNAL BATHROOM WALLS
 - R6.0 INSULATION TO SUSPENDED FRAMED FLOOR
 - R6.0 CEILING INSULATION TO ALL FLOORS (EXCLUDING GARAGE)
 - REFLECTIVE WALL WRAP TO ALL EXTERNAL WALLS (CLASS 4 IF REQUIRED FOR CONDENSATION)
 - R2.7 EXTERNAL WALL INSULATION (EXCLUDING GARAGE)
 - R1.3 REFLECTIVE BLANKET TO ROOF
 - 2 X CEILING FANS TO KITCHEN/LIVING (MIN 1800MM DIA)
 - CEILING FANS TO MASTER, BED 2, BED 3 (MIN 1200MM DIA)
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 - THERMALLY BROKEN DOUBLE GLAZED LOW-E WINDOWS/DOORS (EXCL. GARAGE, LAUNDRY, BATHROOM)
 - R2.3 INSULATION TO ENTRY WALLS ADJOINING WORKSHOP & GARAGE
 - R2.7 INSULATION TO LAUNDRY/ENTRY & ENTRY/SUBFLOOR WALLS
 - 35MM XCEM ALPHAFLOOR TO SUSPENDED FLOOR
 - 25MM XPS CORE INSULATED ENTRY DOOR
 - R1.3 REFLECTIVE BLANKET TO GARAGE ROOF
 - ADJUSTABLE EXTERNAL SHADING (BLINDS/SHUTTERS/LOUVRES) TO WINDOWS B9, B10, B11, B12



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PROPOSED SITE AREAS
SITE AREA: 686m²
LANDSCAPE AREA: 230m²
POOL: 12m²

PROPOSED INTERNAL AREAS
BUILDING A - FIRST FLOOR
BUILDING A - GROUND FLOOR
BUILDING B - FIRST FLOOR
BUILDING B - GROUND FLOOR

60.0
65.9
143.7
69.5
339.1 m²

PROPOSED EXTERNAL AREAS
BUILDING A - BALC
BUILDING A - PORCH
BUILDING B - FIRST FL BALCONY
BUILDING B - GROUND FL DECK

11.4
5.0
15.0
112.6
144.0 m²

Client
HOLLIER
Project Address
**1/32 JAMES STREET HORSESHOE BEND, 2320
LOT 1, DP741557**

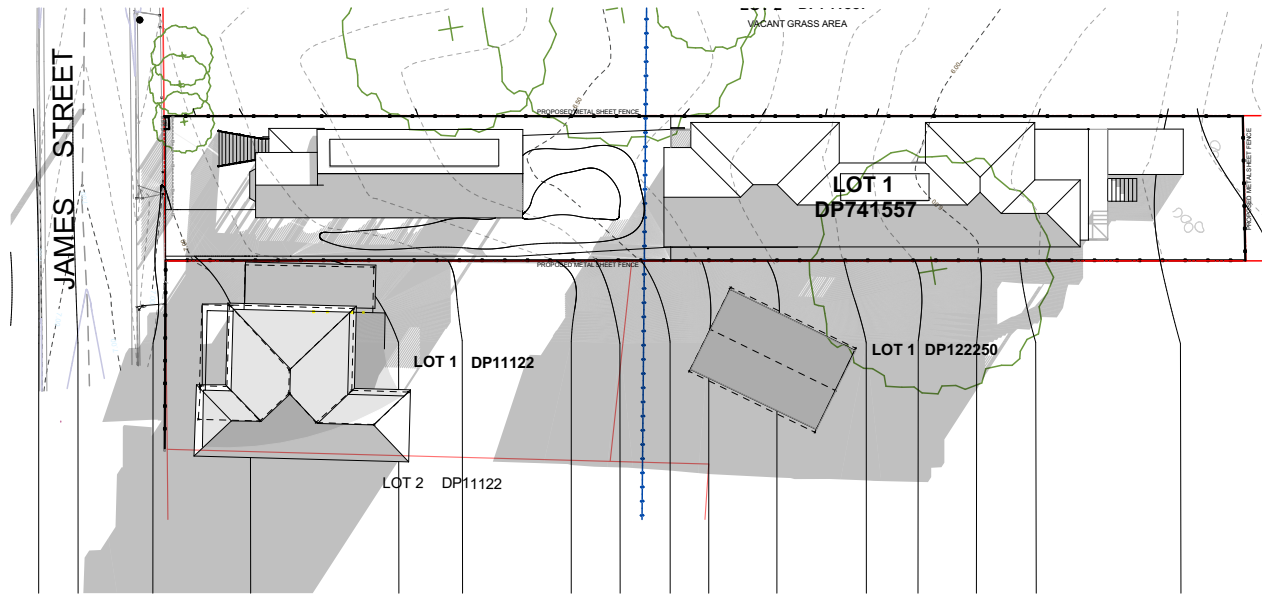
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SECTION 2 - SHEET 2

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Pre-DA	22/04/25	BB	SR
Pre-DA	29/04/25	BB	SR
S3.A	11/07/25	BB	SR
S3.B	18/07/25	BB	SR
DA.1	25/08/25	BB	SR
DA.2	12/09/25	BB	BB

PRELIMINARY DRAWINGS
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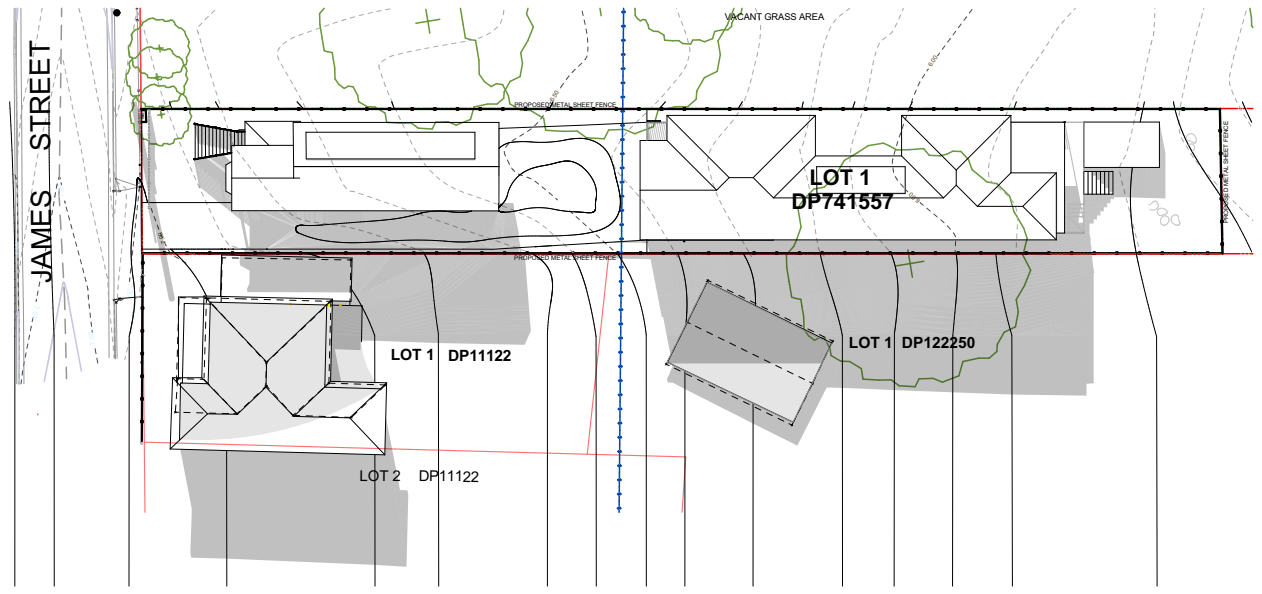
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Job Ref: YHD-860
Page No: DA.21
Plot Date: 12/09/2025
Rev: DA





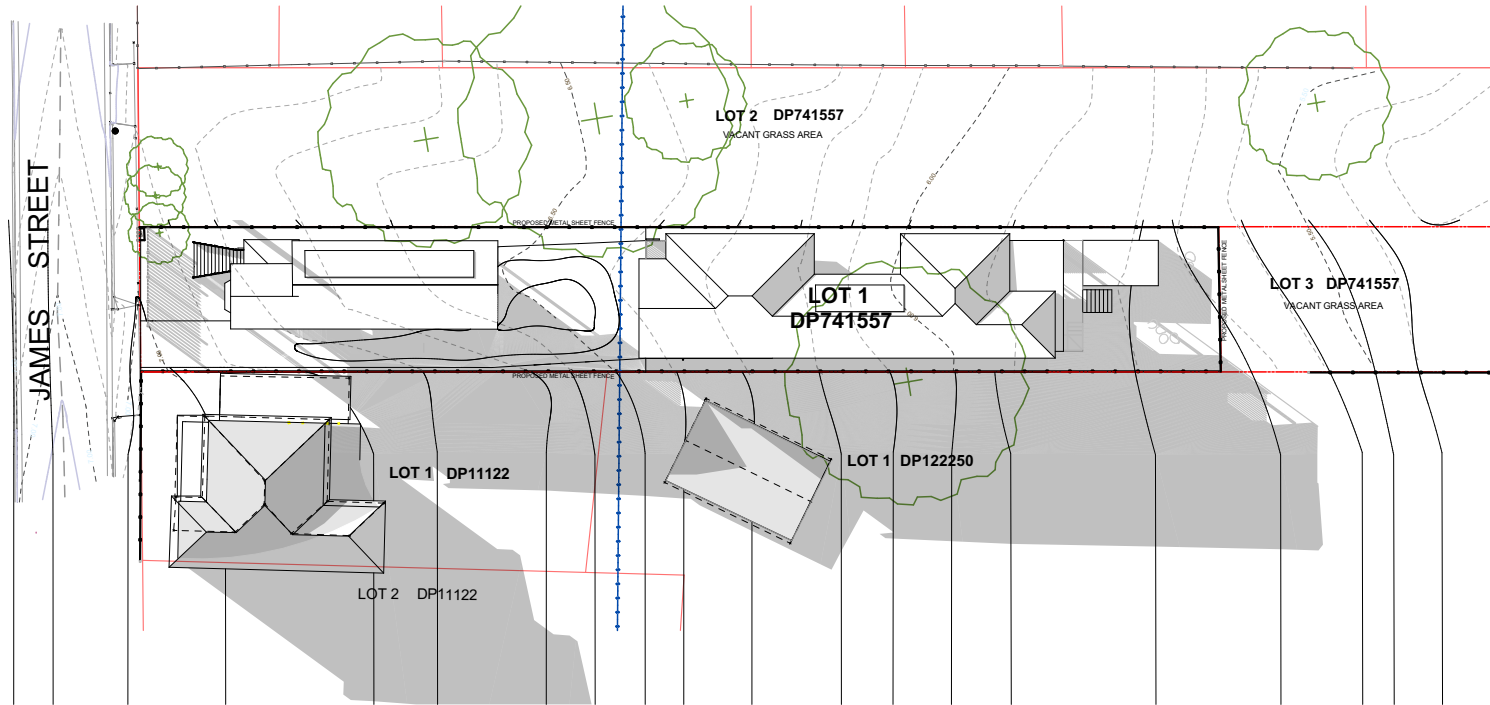
9am

WINTER SOLTICE



12 noon

WINTER SOLCE



3pm

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LANDSCAPE AREA: 230m²
POOL: 12m²

PROPOSED INTERNAL AREAS
BUILDING A - FIRST FLOOR
BUILDING A - GROUND FLOOR
BUILDING B - FIRST FLOOR
BUILDING B - GROUND FLOOR

60.0
65.9
143.7
69.5
339.1 m²

PROPOSED EXTERNAL AREAS
BUILDING A - BALC
BUILDING A - PORCH
BUILDING B - FIRST FL BALCONY
BUILDING B - GROUND FL DECK

11.4
5.0
15.0
112.6
144.0 m²

Client
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Project Address
1/32 JAMES STREET HORSESHOE BEND, 2320
LOT 1, DP741557

Drawing Title:
SHADOW DIAGRAMS

Revision	Date	Designer	Checked by
S1	11/04/25	BB	SR
Pre-DA	22/04/25	BB	SR
Pre-DA	29/04/25	BB	SR
S3.A	11/07/25	BB	SR
S3.B	18/07/25	BB	SR
DA.1	25/08/25	BB	SR
DA.2	12/09/25	BB	BB

PRELIMINARY DRAWINGS
NOT FOR CONSTRUCTION

Scale at A3:
Job Ref:
YHD-860

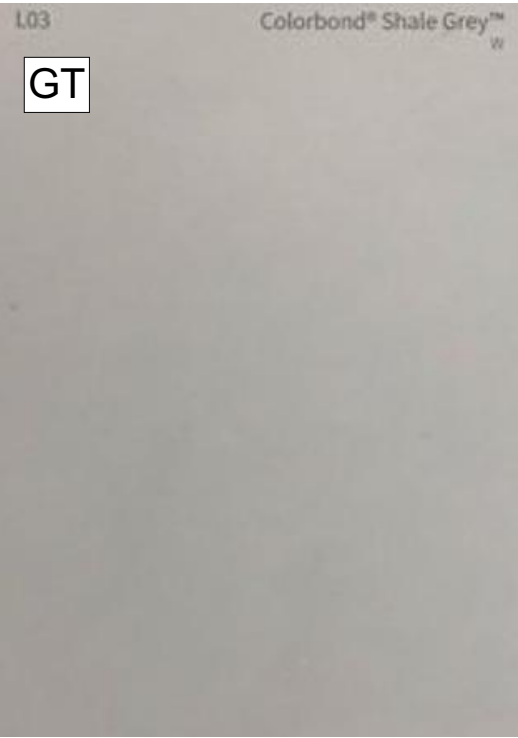
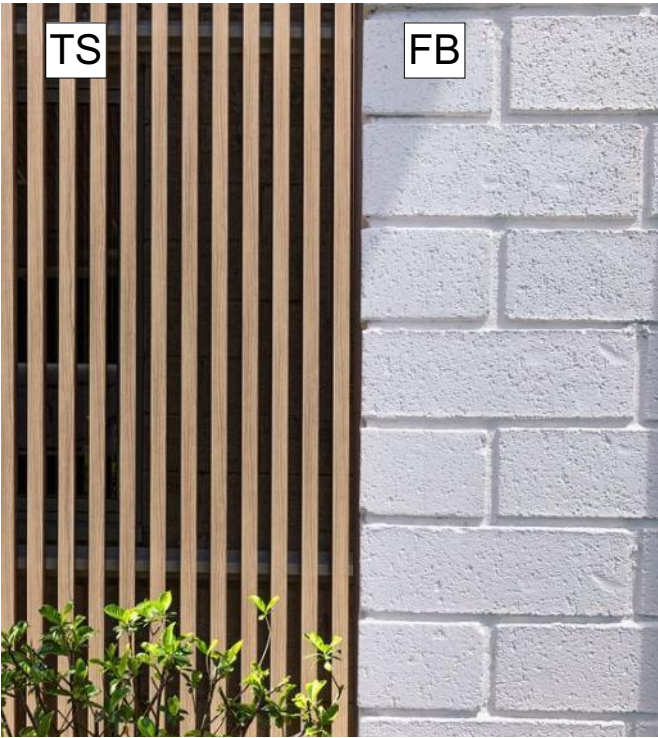
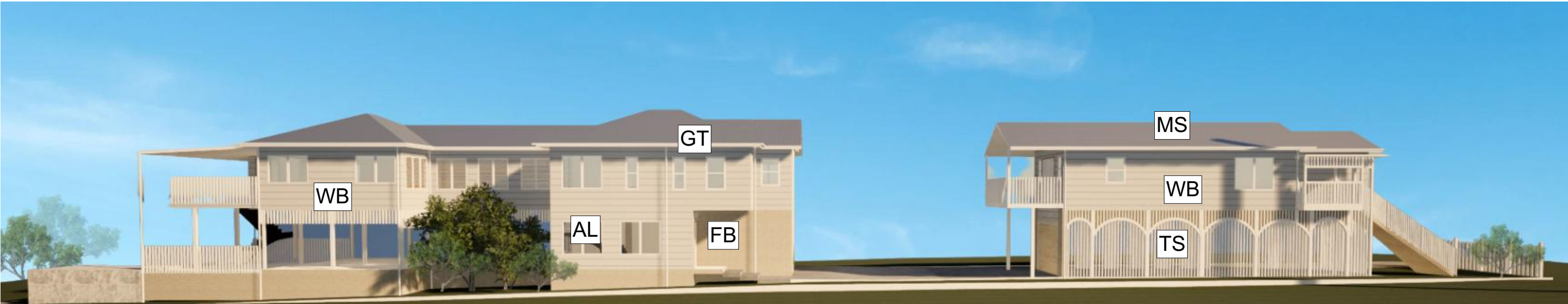
Page No:
DA.22

Plot Date: 12/09/2025
Rev
DA

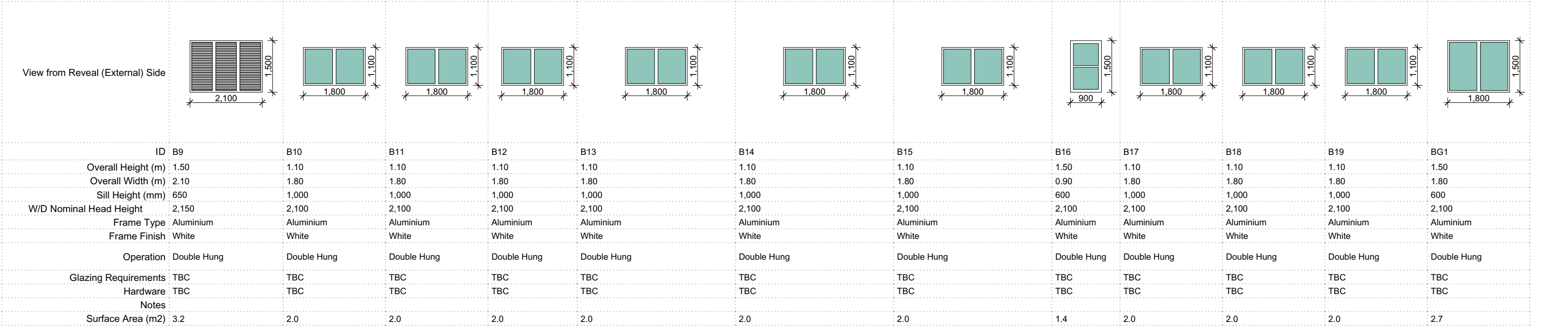




CODE	ELEMENT	MATERIAL / PRODUCT	COLOUR / FINISH	NOTES
AL	DOORS & WINDOWS	POWDER-COATED ALUMINUM FRAMES	WHITE	HAMPTONS-STYLE PROPORTIONS
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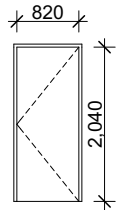
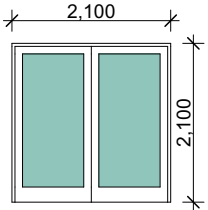
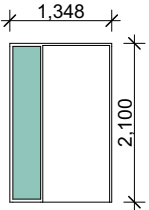
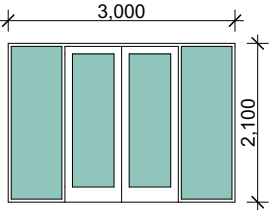
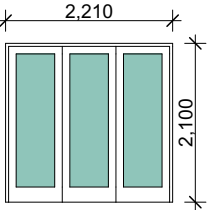
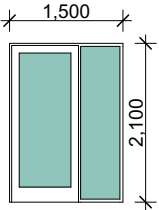


GLAZING SCHEDULE																		
View from Reveal (External) Side																		
	ID	A1	A2	A3	A4	A5	A6	A7	A8	A9	B1	B2	B3	B4	B5	B6	B7	B8
Overall Height (m)	1.10	1.10	1.50	1.50	1.10	1.00	1.20	1.20	1.20	1.00	1.00	1.00	1.80	1.80	1.80	1.80	1.80	
Overall Width (m)	1.80	1.80	0.90	0.90	1.80	0.60	0.43	1.20	0.43	0.90	0.60	0.60	1.80	2.10	1.50	1.50	1.50	
Sill Height (mm)	1,000	1,000	600	600	1,000	1,100	300	300	300	1,100	1,100	1,100	300	300	300	300	300	
W/D Nominal Head Height	2,100	2,100	2,100	2,100	2,100	2,100	1,500	1,500	1,500	2,100	2,100	2,100	2,100	2,100	2,100	2,100	2,100	
Frame Type	Aluminium	Aluminium	Aluminium	Aluminium	Aluminium	Aluminium	Aluminium	Aluminium	Aluminium	Aluminium	Aluminium	Aluminium	Aluminium	Aluminium	Aluminium	Aluminium	Aluminium	
Frame Finish	White	White	White	White	White	White	White	White	White	White	White	White	White	White	White	White	White	
Operation	Double Hung	Double Hung	Double Hung	Double Hung	Double Hung	Double Hung	Double Hung	Double Hung	Double Hung	Double Hung	Double Hung	Double Hung	Double Hung	Double Hung	Double Hung	Double Hung	Double Hung	
Glazing Requirements	TBC	TBC	TBC	TBC	TBC	TBC	TBC	TBC	TBC	TBC	TBC	TBC	TBC	TBC	TBC	TBC	TBC	
Hardware	TBC	TBC	TBC	TBC	TBC	TBC	TBC	TBC	TBC	TBC	TBC	TBC	TBC	TBC	TBC	TBC	TBC	
Notes																		
Surface Area (m2)	2.0	2.0	1.4	1.4	2.0	0.6	0.5	1.4	0.5	0.9	0.6	0.6	3.2	3.8	2.7	2.7	2.7	

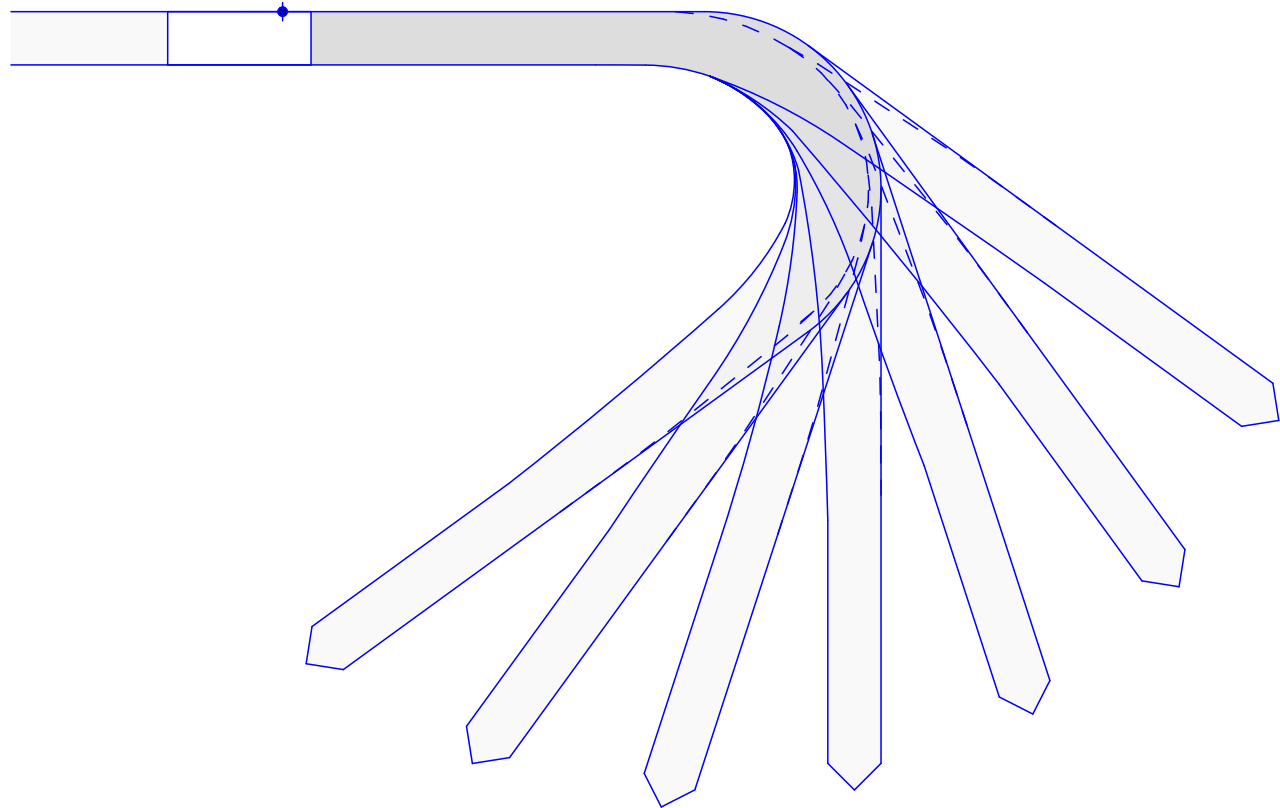


	Building Design Interior Design Project Management Town planning	IF IN DOUBT, ASK! •DO NOT SCALE DRAWINGS. •DRAWINGS SHOULD NOT BE USED FOR CONSTRUCTION UNTIL FINAL ISSUE HAS BEEN RELEASED & CERTIFIED BY A STRUCTURAL ENGINEER. •ALL BOUNDARIES, SETOUTS & CONTOURS ARE SUBJECT TO SURVEY, ALWAYS CHECK & CONFIRM ON SITE PRIOR TO CONSTRUCTION.	BUILDER TO CONFIRM LEVELS & DIMENSIONS. ANY DISCREPANCIES ARE TO BE NOTIFIED TO YHD IMMEDIATELY, PRIOR TO CONSTRUCTION. ALL STRUCTURAL STEEL SHOULD BE SITE MEASURED PRIOR TO FABRICATION	PROPOSED SITE AREAS SITE AREA: 688m ² LANDSCAPE AREA: 230m ² POOL: 12m ²	PROPOSED INTERNAL AREAS BUILDING A - FIRST FLOOR BUILDING A - GROUND FLOOR BUILDING B - FIRST FLOOR BUILDING B - GROUND FLOOR PROPOSED EXTERNAL AREAS BUILDING A - BALC BUILDING A - PORCH BUILDING B - FIRST FL BALCONY BUILDING B - GROUND FL DECK	60.0 65.9 143.7 69.5 339.1 m ² 11.4 5.0 15.0 112.6 144.0 m ²	Client HOLLIER Project Address 1/32 JAMES STREET HORSESHOE BEND, 2320 LOT 1, DP741557 Drawing Title: WINDOW SCHEDULE	Revision S1 Pre-DA Pre-DA S3A S3B DA.1 DA.2 Date 11/04/25 22/04/25 29/04/25 11/07/25 18/07/25 25/08/25 12/09/25 Designer BB BB BB BB BB BB BB Checked by SR SR SR SR SR SR SR BB	PRELIMINARY DRAWINGS NOT FOR CONSTRUCTION Scale at A3: Job Ref: YHD-860	Plot Date: 12/09/2025 Page No: DA.25	Rev DA	
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DOOR
SCHEDULE

						
ID	D01	D02	D03	D03	D04	D05
Overall width	820	2,100	1,348	3,000	2,210	1,500
Overall height	2,040	2,100	2,100	2,100	2,100	2,100
Operation	Hinged	Sliding	Hinged	Sliding	Sliding	Hinged
Frame Type	Aluminium	Aluminium	Aluminium	Aluminium	Aluminium	Aluminium
Frame Finish	White	White	White	White	White	White
Leaf Finish	White	White	White	White	White	White
Notes						

NOTE:
- WINDOW SIZES TAKEN FROM "BRADNAMS" WHERE POSSIBLE.
- FINAL SIZES TO BE CHECKED & CONFIRMED BY BUILDER / SUPPLIER AND ANY ALTERATIONS ARE TO BE NOTIFIED TO THE DESIGNER.



SWEPT PATHS MODELLED FOR B99 PASSENGER CAR (AS2890.1:2004)
USING ARCHICAD TURNING RADIUS TOOL

DESIGN VEHICLE: B99 PASSENGER CAR (AS2890.1 – RESIDENTIAL)

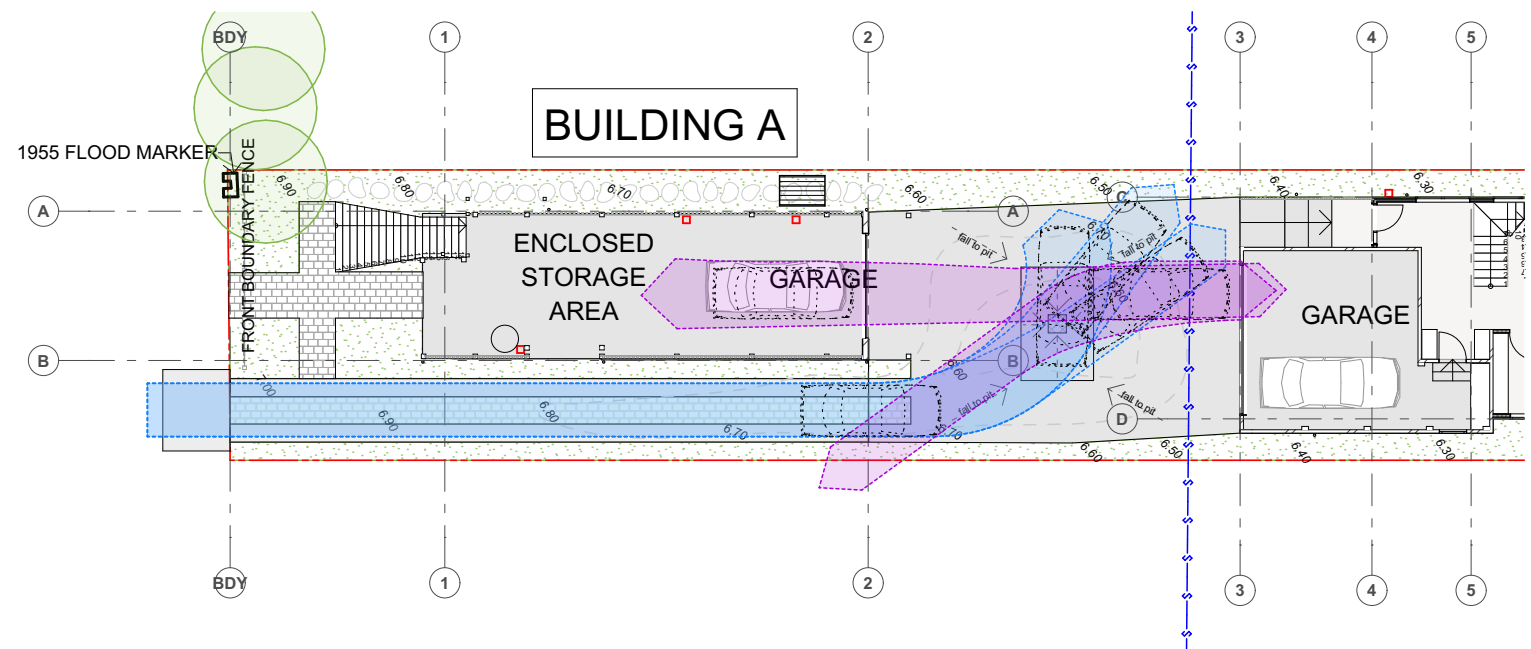
DIMENSIONS: 4.91 M (L) × 1.80 M (W)

OUTER TURNING RADIUS: 5.85 M

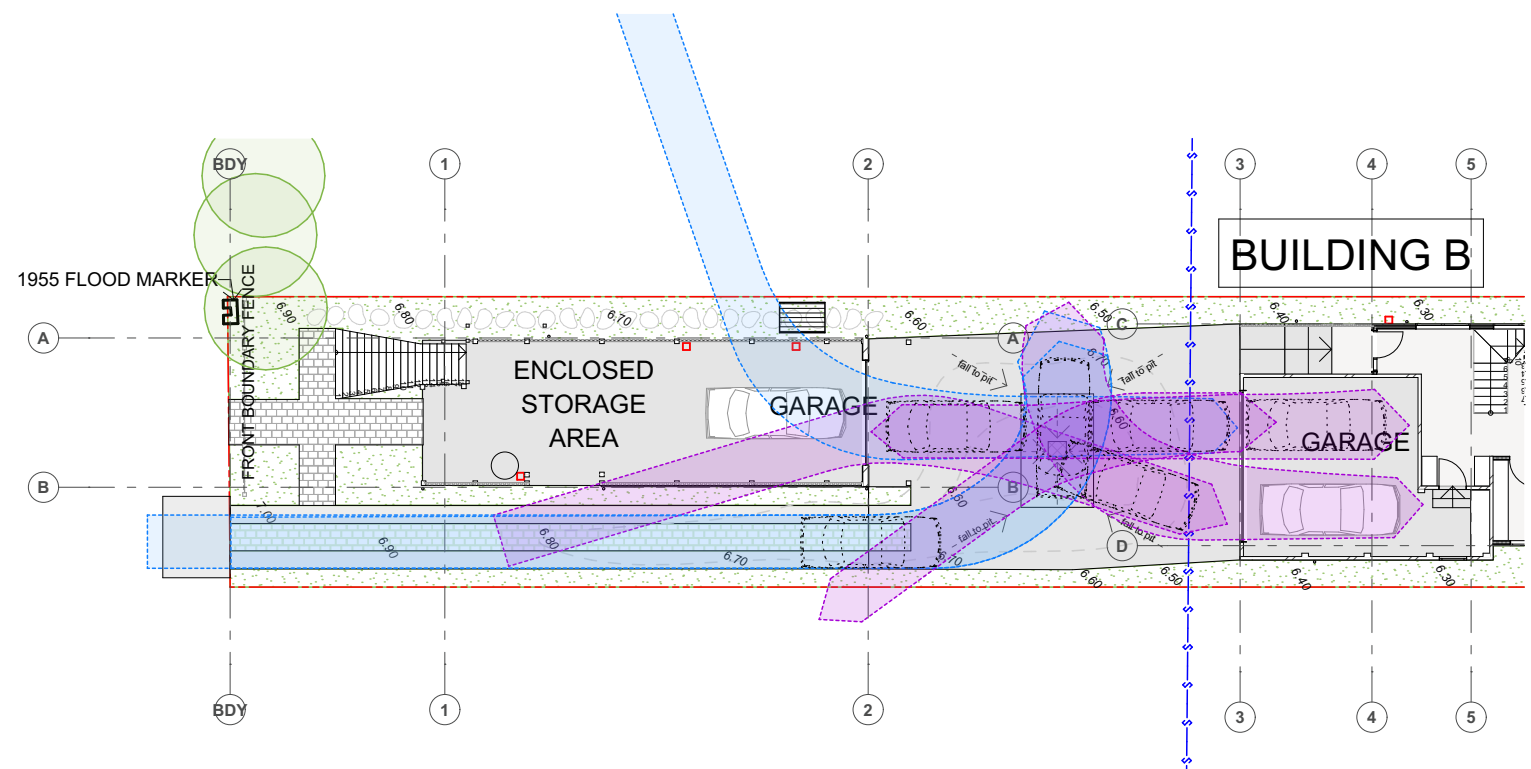
LEGEND CODING:

- = FORWARD ENTRY →
- = FORWARD EXIT →
- = REVERSE MOVEMENT ↔

1 SWEPT PATHS FOR B99 PASSENGER CAR 1:250



2 B99 SWEPT PATHS FOR BUILDING A 1:250



3 B99 SWEPT PATHS FOR BUILDING A 1:250

Building Design
Interior Design
Project Management
Town planning

design@yourhomedesigns.com.au
0407 749 380
www.yourhomedesigns.com.au

112 Government Rd, Nelson Bay, NSW 2315

IF IN DOUBT, ASK!

•DO NOT SCALE DRAWINGS.
•DRAWINGS SHOULD NOT BE USED FOR
CONSTRUCTION UNTIL FINAL ISSUE HAS
BEEN RELEASED & CERTIFIED BY A
STRUCTURAL ENGINEER.
•ALL BOUNDARIES, SETOUTS & CONTOURS
ARE SUBJECT TO SURVEY, ALWAYS CHECK
& CONFIRM ON SITE PRIOR TO
CONSTRUCTION.

BUILDER TO CONFIRM LEVELS &
DIMENSIONS. ANY
DISCREPANCIES ARE TO BE
NOTIFIED TO YHD IMMEDIATELY,
PRIOR TO CONSTRUCTION.

ALL STRUCTURAL STEEL
SHOULD BE SITE MEASURED
PRIOR TO FABRICATION

PROPOSED SITE AREAS
SITE AREA: 686m²
LANDSCAPE AREA: 230m²
POOL: 12m²

PROPOSED INTERNAL AREAS
BUILDING A - FIRST FLOOR
BUILDING A - GROUND FLOOR
BUILDING B - FIRST FLOOR
BUILDING B - GROUND FLOOR

PROPOSED EXTERNAL AREAS
BUILDING A - BALC
BUILDING A - PORCH
BUILDING B - FIRST FL BALCONY
BUILDING B - GROUND FL DECK

60.0
65.9
143.7
69.5
339.1 m²

11.4
5.0
15.0
112.6
144.0 m²

Client
HOLLIER
Project Address
1/32 JAMES STREET HORSESHOE BEND, 2320
LOT 1, DP741557

Drawing Title:
VEHICLE SWEPT PATHS DIAGRAM

Revision	Date	Designer	Checked by
S1	11/04/25	BB	SR
Pre-DA	22/04/25	BB	SR
Pre-DA	29/04/25	BB	SR
S3.A	11/07/25	BB	SR
S3.B	18/07/25	BB	SR
DA.1	25/08/25	BB	SR
DA.2	12/09/25	BB	BB

PRELIMINARY DRAWINGS
NOT FOR CONSTRUCTION

Scale at A3: 1:250
Job Ref: YHD-860

Page No: DA.27

Plot Date: 12/09/2025
Rev: DA

