



Building Design Interior Design Project Management Town planning

0407 749 380

www.yourhomedesigns.com.au 112 Government Rd. Nelson Bay. NSW 2315 IF IN DOUBT, ASK!

DO NOT SCALE DRAWINGS. *DO NOT SCALE DRAWINGS.
*DRAWINGS SHOULD NOT BE USED FOR
CONSTRUCTION UNTIL FINAL ISSUE HAS
BEEN RELEASED & CERTIFIED BY A STRUCTURAL ENGINEER. ALL BOUNDARIES, SETOUTS & CONTOURS
ARE SUBJECT TO SURVEY. ALWAYS CHECK
& CONFIRM ON SITE PRIOR TO

PROPOSED SITE AREAS BUILDER TO CONFIRM LEVELS & DIMENSIONS. ANY DISCREPANCIES ARE TO BE NOTIFIED TO YHD IMMEDIATELY,
PRIOR TO CONSTRUCTION.

ALL STRUCTURAL STEEL

SHOULD BE SITE MEASURED

PRIOR TO FABRICATION

SITE AREA: 686m2 LANDSCAPE AREA: 230m2 POOL: 12m2

PROPOSED INTERNAL AREAS BUILDING A - FIRST FLOOR BUILDING A - GROUND FLOOR BUILDING B - FIRST FLOOR BUILDING B - GROUND FLOOR PROPOSED EXTERNAL AREAS

BUILDING A - BALC BUILDING A - PORCH BUILDING B - FIRST FL BALCONY BUILDING B - GROUND FL DECK

60.0 65.9 143.7

HOLLIER 1/32 JAMES STREET HORSESHOE BEND, 2320 LOT 1, DP741557

NOTIFICATION PLANS

11/04/25 22/04/25 29/04/25 11/07/25 18/07/25 25/08/25

PRELIMINARY DRAWINGS NOT FOR CONSTRUCTION

Job Ref:



Scale at A3: 1:300 12/09/2025 YHD-860 DA



HORSESHOE BEND HOUSE

NEW DWELLING AND SECONDARY DWELLING AT:

1/32 JAMES STREET HORSESHOE BEND, 2320



PAGE	DRAWING	SCALE	DEVELOPMENT SUMM
	NOTIFICATION PLANS	1:300	SITE ANALYSIS
DA.00	COVER PAGE		SITE ANALISIS
DA.01	INDEX + SITE ANALYSIS		SITE CONDITIONS
DA.02	BASIX COMMITMENTS	1:3.64	ZONING = R1 RESIDENTIAL ACID SULPHATE SOILS = CLASS 4
DA.03	EXISTING & DEMOLITION PLAN	1:250	HERITAGE: "LOCAL" CENTRAL MAITLAND HE CONSERVATION AREA
DA.04	PROPOSED SITE PLAN	1:250	BUSHFIRE PRONE (BAL) = NA FLOOD PRONE = FLOOD PLANNING LEVEL =
DA.05	EROSION & SEDIMENT CONTROL PLAN		MINES SUBSIDENCE = N/A COASTAL ENVIRONMENT = N/A
DA.06	STORMWATER PLAN	1:250	MIN LOT SIZE = 450m ² MAX HEIGHT OF BUILDING = AS PER SURRO
DA.07	CUT & FILL PLAN + DRIVEWAY SECTION		CONTEXT
DA.08	PROPOSED FLOOR PLANS 1:200	1:200	
DA.09	SITE ELEVATIONS 1:200	1:200	COUNCIL CALCULATIONS
DA.10	BUILDING A - GROUND FLOOR PLAN	1:100	PROPOSED FLOOR SPACE RATIO = 0.3
DA.11	BUILDING A - FIRST FLOOR PLAN	1:100	TOTAL GROSS FLOOR AREA = 204m²
DA.12	BUILDING B - GROUND FLOOR PLAN	1:100	BUILDING A FLOOR AREA = 60m ² BUILIDNG B FLOOR AREA = 144m ²
DA.13	BUILDING B - FIRST FLOOR PLAN	1:100	
DA.14	JAMES STREET ELEVATION	1:200	SITE AREA = 686m ²
DA.15	BUILDING A - ELEVATIONS 1:100 - SHEET 1	1:100	PROPOSED TOTAL FSR = 29%
DA.16	BUILDING A - ELEVATIONS 1:100 - SHEET 2	1:100	BUILDING FOOTPRINT BUILDING A (98m2)+ E (220m2)= 318m ²
DA.17	BUILDING B - ELEVATIONS 1:100 - SHEET 1	1:100	TOTAL ROOF AREA = 317m ²
DA.18	BUILDING B - ELEVATIONS 1:100 - SHEET 2	1:100	BUILDING A (97m2) + BUILIDNG B (220m2)= 3
DA.19	SECTION 1	1:100	BOILDING A (OTTILE) - BOILIDNG B (2201112) - 0
DA.20	SECTION 2 - SHEET 1	1:100	DRIVEWAY AREA (CONC. WHEEL STRIPS + C
DA.21	SECTION 2 - SHEET 2	1:100	SLAB) = 58 m ²
DA.22	SHADOW DIAGRAMS		CARPARKING SPACES = 2 +
DA.23	PRECEDENT / CONCEPT IMAGES		PRIVATE OPEN SPACE: BUILDING A = 12m ²
DA.24	COLOURS & MATERIALS SCHEDULE		BUILDING B = 15m ²
DA.25	WINDOW SCHEDULE		PROPOSED LANDSCAPE AREA= 276m²
DA.26	DOOR SCHEDULE		ALLOWED SITE COVERAGE MAX 60% (686 X
DA.27	VEHICLE SWEPT PATHS DIAGRAM	1:250	PROPOSED SITE COVERAGE = 59% (686-276
			ALLOWED MINIMUM UNBUILT AREA 40% = 2

MARY &

HERITAGE = 10.22M AHD ROUNDING

BUILIDNG B

317m²

CENTRAL CONC.

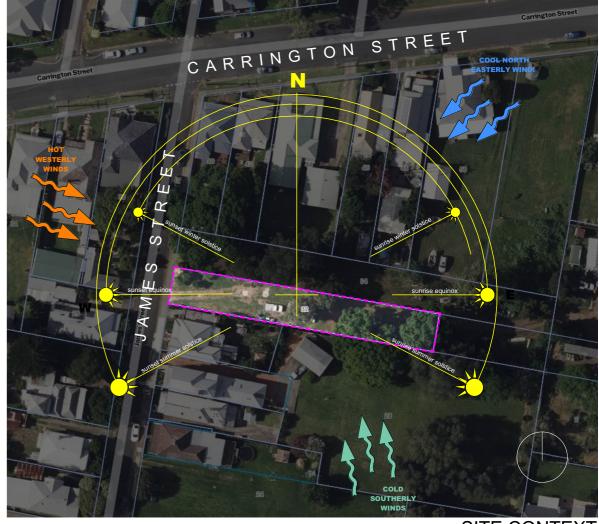
X 0.6) = 411.6m² 276) = 410m²

274.4m² PROPOSED UNBUILT AREA = 456m²

BASIX SUMMARY

EXISTING FLOOR AREA =0m² PROPOSED ENCLOSED HABITABLE FLOOR AREA= 204m² GARAGE AREA (40 + 65) = 105m²

BASIX NOTE: CHECK BASIX CERTIFICATE FOR ALL FINAL REQUIREMENTS INCLUDING RAINWATER TANK SIZE, CONNECTIONS, USES, WATER RATES & THERMAL SPECIFICATIONS



SITE CONTEXT

DEVELOPMENT APPLICATION FOR 1/32 JAMES STREET HORSESHOE BEND, 2320



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60.0 65.9 143.7

HOLLIER

1/32 JAMES STREET HORSESHOE BEND, 2320 LOT 1, DP741557

INDEX + SITE ANALYSIS

PRELIMINARY DRAWINGS NOT FOR CONSTRUCTION



Scale at A3: DA YHD-860 DA.01

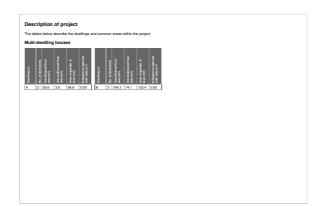
BASIX™Certificate

Multi Dwelling

Project summary	ED4	T4132 32 James Stre	
Street address			SESHOE BEND 2320
Local Government Area		LAND	
Plan type and plan number	Depo	sited Plan 741557	
Lot No.	1		
Section no.			
No. of residential flat buildings	0		
Residential flat buildings: no. of dwellings	0		
Multi-dwelling housing: no. of dwellings	2		
No. of single dwelling houses	0		
Project score			
Water	~	41	Target 40
Thermal Performance	v	Pass	Target Pass
Energy	~	70	Target 70
Materials		.21	Target n/a

	J	41	Target 40
	-		
0		Pass	Target Pass
	٠.		
		70	Target 70
	+-		
		-21	Target n/a
	T.		

Project address		Common area landscape			
Project name	ER1-T4132 32 James Street	Common area lawn (m²)	0.00		
Street address	32 JAMES STREET HORSESHOE BEND 2320	Common area garden (m²)	0.00		
Local Government Area MAITLAND		Area of indigenous or low water use	0.00		
Plan type and plan number	Deposited Plan 741557	species (m²)			
Lot No.	1	Assessor details and therr	nal lo	ads	
Section no.	-	Assessor number	DMN	21/2045	
Project type		Certificate number	HR-N	4DEHY-01	
No. of residential flat buildings	0	Climate zone	28		
Residential flat buildings: no. of dwellings	0	Project score			
Multi-dwelling housing: no. of dwellings	2	Water	~	41	Target 40
No. of single dwelling houses	0	Thermal Performance		Pass	Target Pas
Site details		Energy	٠.		
Site area (m²)	686.00	Energy	~	70	Target 70
Roof area (m²)	317	Materials		-21	
Non-residential floor area (m²)	0.00		-	-21	Target n/a
Residential car spaces	1				
Non-residential car spaces	0				





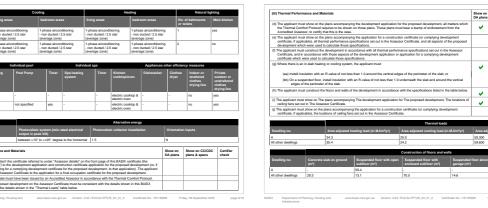


Schedule of BASIX commitments			
The commitments set out below regulate how the proposed development is to be carriedout. It is a condition of any development entificate issued, for the proposed development, that BASIX commitments be complied with.	nent consent	granted, or complyin	g
. Commitments for multi-dwelling housing			
a) Dwellings			
(i) Water	Show on DA plans	Show on CC/CDC plans & specs	Certifie check
(a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below.			
(b) The applicant must plant indigenous or low water use species of vegetation throughout the area of land specified for the dwelling in the "Indigenous species" column of the table below, as private landscaping for that dwelling. (This area of indigenous vegetation is to be contained within the "Area of garden and learn" for the dwelling specified in the "Description of Project" table.)	~	~	
(c) If a rating is specified in the table below for a fixture or appliance to be installed in the dwelling, the applicant must ensure that each such fixture and appliance meets the rating specified for it.		~	-
(d) The applicant must install an on demand hot water recirculation system which regulates all hot water use throughout the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below.		~	-
(a) The applicant must install:			
(sol) a hot water diversion system to all showers kitchen sinks and all hasins in the dwelling where indirected for a dwelling in	i	i	i

ater	Show on DA plans	Show on CC/CDC plans & specs	Certifie
he applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below.			
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ne applicant must install an on demand hot water recirculation system which regulates all hot water use throughout the dwelling, here indicated for a dwelling in the "HW recirculation or diversion" column of the table below.		~	~
ne applicant must install:			
(aa) a hot water diversion system to all showers, kitchen sinks and all basins in the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below; and		-	•
(bb) a separate diversion tank (or tanks) connected to the hot water diversion systems of at least 100 litres. The applicant must connect the hot water diversion tank to all toilets in the dwelling.		~	-
ne applicant must not install a private swimming pool or spa for the dwelling, with a volume exceeding that specified for it in the ble below.	~	~	
specified in the table, that pool or spa (or both) must have a pool cover or shading (or both).		~	
ne pool or spa must be located as specified in the table.	~	~	
he applicant must install, for the dwelling, each alternative water supply system, with the specified size, listed for that dwelling in se table below. Each system must be configured to collect mun-off from the areas specified (excluding any man which supplies any their alternative water supply system), and to divert overflow as specified. Each system must be connected as specified.	~	~	~

			Fixture	15		Appl	iances	l .	Indiv	idual pool				Individual:	spa
Dwelling no.	All shower- heads	All toilet flushing systems	All kitchen taps	All bathroom taps	HW recirculation or diversion	All clothes washers	All dish- washers	Volume (max volume)	Pool cover	Pool location	Pool		Volume (max volume	Spa cover	Spa shaded
	4 star (> 4.5 but <= 6 Limin)	4 star	4 star	4 star	-		-	-	-		-			-	-
dwellings	4 star (> 4.5 but <= 6 Limin)	4 star	4 star	4 star				24.75	no	outdoors	no				-
							Alternat	ive water so	urce						
Dwelling	Owelling no. Alternative water Size Configure			ation			Landso		ilet nnection	Laun	dry ection	Pool top- up	Spa top-up		
A	Indivi	dual water t	tank (No.	Tank size (min) 3000.0 liters		To collect run-off from at least: 97.00 square metres of roof area;				no		yes		no	no
All other dwellings	Indivi	idual water t	tank (No.	Tank size (min) 4000.0 liters		run-off from uare metres			yes	no		yes		no	no
(ii) Energ	,											ow on plans		on CC/CDC & specs	Certifier check
(b) The ap supplie	oplicant mus	st install eac ystem. If the	h hot wate table spe	r system spe cifies a centr	ed below in car cified for the di al hot water sys not water is sup	veiling in the	table below, :	so that the dw the applicant	relling's ho	ot water is	w.	~	Г	~	~
					and laundry of ave the operat				cified for t	hat room i	١ -			~	~
headir cooling such a	igs of the "C	Cooling" and system is s term "zone	l "Heating" pecified in f" is specif	columns in to	dem/s specifier ne table below, "Living areas" air conditionin	infor at leas or "Bedroom	t 1 living/bed areas", then	noom area of t no systems m	the dwellin say be inst	ig. If no alled in an	,			~	~

	y					Show on DA plans	Show on CC/CDC plans & specs	Certifie
the tal lightin specif	ommitment applies to ea ble below (but only to the g" for each such room in led for a particular room g or light emitting diode (primary type of artificial sterm "dedicated" is		•	~			
the tal	ommitment applies to eac ble below (but only to the with a window and/or sky	al lighting" column of such room or area is	~	~	~			
(g) This o	ommitment applies if the	applicant installs a water t	heating system for the di	welling's pool or spa. The	applicant must:			
(a		offed for the pool in the "In col). If specified, the applic					-	
(bi	 install the system spec any system for the sp 	cified for the spa in the "ind ia). If specified, the applica	svidual Spa" column of t nt must install a timer to	he table below (or alternat control the spa's pump.	lively must not install		~	
(h) The a	oplicant must install in the	e dwelling:						
	table below;	nd oven specified for that					-	
	the table, and ensure	ich a rating is specified for that the appliance has the	t minimum rating; and	,			· •	-
(cı	c) any clothes drying line	specified for the dwelling	in the "Appliances & othe	er efficiency measures" col	lumn of the table.		~	
ventila	sted".	licant must carry out the di					~	
		hotovoltaic system specifie the table below, and conn				~	~	-
	Hot water	Bathroom ve	ntilation system	Kitchen ven	rilation system	L	aundry ventilation sy	stem
Dwelling no.			Operation control		Operation control		dry Operati	
All dwellings	electric storage	individual fan, ducted to façade or roof	manual switch on/off	individual fan, ducted to façade or roof	manual switch on/off	natural ven only, or no		
cavings								



	Floor types		ete slab on gro	und		Suspended fl	oor above enclos	sed subfloor	Suspende	d floor above	open subfloor
Dwelling no.	Area (m²)	Insulation	Low emissions option	Demateria	ilisation	Construction type	Area (m²)	Insulation	Construction type	Area (m²)	Insulation
A	-			conventions	al slab	-	-		treated softwood, frame: 5mber - H2 treated softwood	59.4	fibreglass batts or roll
All other dwellings	29.3	polystyrene	-	conventions		treated softwood, frame: timber - H2 treated softwood		breglass oatts or roll	treated softwood, frame: simber - H2 treated softwood	13.1	fibreglass batts or roll
	Floor types										
		oor above ha ns or mezzar		Suspende	ed floor al	bove garage			Garage floo	•	
Dwelling no.	Construction type	Area (m²)	Insulation	Construction type	Area (m	2) Insulation	Construction type	Area (m²)	Insulation	Low emissions option	Dematerialisatio
A			-		-	-	-	0	-	-	conventional slab
All other dwellings	treated softwood, frame: timber - H2 treated softwood	40.9		treated softwood, frame: timber - H2 treated softwood	14.6	fibreglass batts or roll	concrete slab on ground	39.5	-	none	conventional slab
	External	walls									
			External	wall type 1					External wall typ	ne 2	
Dwelling no.	Wall typ		rea (m²)	Insulation		ow emissions otion	Wall type	Area (m²	Insul	ation	Low emissions option
	framed (s	-54 44	6.6	fibreglass batt	0.00		_	-			

Dwelling no.	Wall type	Area (m²)		Low emi option	ssions V	Vall type	Area		Insulation	Low emissions option
	frame : timber - H2 treated softwood									
	framed (solid or reconstituted simber weatherboard), frame : simber - H2 treated softwood	244.7	fibreglass bat roll	ts or -	-		-		-	-
	External walls									
								External w	all type 4	
		Extern	ral wall type 3							
Dwelling no.	Wall type	Area (m²)	lnsulation	Low emi	ssions V	Vall type	Area		Insulation	Low emissions option
Dwelling no.	Wall type				ssions V	Vall type	Area			
					ssions V	Vall type	Area			
	Internal walls		Insulation		ssions V		Area -			option -
	Internal walls	Area (m²)	Insulation		ŀ	II type 1	-		Insulation	option -
All dwellings	Internal walls	Area (m²)	Insulation	option -	Internal wa	Il type 1	-	(m²)	Insulation	option - ype 2

	Ceiling and roo	ſ							
	Fla	t ceiling / pitche	froof	Raked cei	iling / pitched or		Flat ceiling / flat	roof	
Dwelling no.	Construction type	Area (m²)		Construction type	Area (m²)		Construction type	Area (m²)	Insulation
	framed - metal roof, frame: timber - H2 treated softwood	97.00	Ceiling fibreglass batts or roll,Root foil backed blanket	-	-	Ceiling: Roof:	-	-	Ceiling:,Root:
All other dwellings	framed - metal roof, frame: timber - H2 treated softwood	220.00	Ceiling fibreglass batts or roll.Roof: foil backed blanket	-	-	Ceiling: Roof:		-	Ceiling:,Root:
		Glazing	type				Frame types		
Dwelling no.	Single glazin	g Double gl. (m²)	zzing Triple gla: (m²)	cing Alumin frames	ium Timb (m²) (m²)	er frames u	PVC frames n²)	Steel frames (m²)	Composite frames (m²)
1	0.6	15.5	-	16.1	-	-	- 1-		-
ill other dwellings	8.8	57.3	-	8.8	-	57	7.3		-

ommitments for single dwelling houses			
Dwellings			
Water	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below.			
The applicant must plant indigenous or low water use spacies of vegetation throughout the area of land specified for the dwalling in the "Indigenous species" column of the table below, as private landscaping for that dwalling. (This area of indigenous vegetation is to be contained within the "Area of garden and lawn" for the dwalling specified in the "Description of Project" stable.	~	~	
c) If a rating is specified in the table below for a fixture or appliance to be installed in the dwelling, the applicant must ensure that each such fixture and appliance meets the rating specified for it.		-	-
d) The applicant must install an on demand hot water recirculation system which regulates all hot water use throughout the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below.		-	~
a) The applicant must install:			
(aa) a hot water diversion system to all showers, kitchen sinks and all basins in the dwelling, where indicated for a dwelling in the "HM recirculation or diversion" column of the table below, and		•	v
(bb) a separate diversion tank (or tanks) connected to the hot water diversion systems of at least 100 litres. The applicant must connect the hot water diversion tank to all toilets in the dwelling.			-
s) The applicant must not install a private swimming pool or spa for the dwelling, with a volume exceeding that specified for it in the table below.	V	~	
) If specified in the table, that pool or spa (or both) must have a pool cover or shading (or both).			
g) The pool or spa must be located as specified in the table.		-	
n) The applicant must install, for the dwelling, each alternative water supply system, with the specified size, listed for that dwelling in the table below. Each system must be configured to collect run-off from the areas specified (excluding any area which supplies any	-	-	~
other alternative water supply system), and to divert overflow as specified. Each system must be connected as specified.			
) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below.			1
i) The applicant must install each hot water system specified for the dwelling in the table below, so that the dwelling's hot water is supplied by that system. If the table specifies a central hot water system for the dwelling, then the applicant must connect that central system to the dwelling, so that the dwelling's hot water is supplied by that central system.	~	~	~
c) The applicant must install, in each bathroom, kitchen and laundry of the dwelling, the ventilation system specified for that room in the table below. Each such ventilation system must have the operation control specified for it in the table.			_

iii) Thermal Performance and Materials	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(b) The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol.			
(c) The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX Certificate, including the details shown in the "Thermal Loads" table below.			
(d) The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Thermal Contine Protocol requires to be shown on those plans. Those plans must bear a sitemp of endorsement from the Accredited Assessor, to certify that this is the case.	~		
(a) The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications.		~	
(f) The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications.		~	~
(g) Where there is an in-slab heating or cooling system, the applicant must:	~	~	~
(aa) Install insulation with an R-value of not less than 1.0 around the vertical edges of the perimeter of the slab; or	l		1
(bb) On a suspended floor, install insulation with an R-value of not less than 1.0 underneath the slab and around the vertical edges of the perimeter of the slab.			
(h) The applicant must construct the floors and walls of the development in accordance with the specifications listed in the table below.	~	~	~
(i) The applicant must show on The plans accompanying The development application for The proposed development, The locations of ceiling fans set out in The Assessor Certificate.	~		
(i) The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), the locations of ceiling fans set out in the Assessor Certificate.		~	

				Show on	Show on CC/CDC	Certifie
(i) Water				Show on DA plans		Certifie
	g out the development, the applica neet the specifications listed for it is	hen that	~	~		
	nt must install (or ensure that the or i systems" column of the table belo the table.		~	~		
(c) A swimming table.	pool or spa listed in the table mus	t not have a volume (in kLs) greate	r than that specified for the pool or spa in	the 🗸	~	
(d) A pool or sp	a listed in the table must have a o	over or shading if specified for the p	ool or spa in the table.		~	
(e) The applica	nt must install each fire sprinkler s	stem listed in the table so that the	system is configured as specified in the t	able.	-	-
(f) The applicar	nt must ensure that the central coo	ing system for a cooling tower is co	infigured as specified in the table.		-	~
Common area	Showerheads rating	Toilets rating	Taos rating	Clothes wash	ers ration	
All common areas	no common facility	no common facility	no common facility	no common lau	•	
(ii) Energy				Show on DA plans	Show on CC/CDC plans & specs	Certifie
(a) If, in carryin then that ve	g out the development, the applica ntilation system must be of the typ	nt installs a ventilation system to se e specified for that common area, a	rvice a common area specified in the tab ind must meet the efficiency measure sp	le below, acified.	~	-
in the table	below, the lighting specified for the ust also install a centralised lightin	t common area. This lighting must i	f artificial lighting" for each common area meet the efficiency measure specified. T ement System (BMS) for the common ar	ne l	~	~
applicant m where spec						



2. The anniiront must in	
specifications accord	entify each dwelling, building and common area isted in this centificate, on the plans accompanying any development application, and on the plans and panying the application for a construction certificate / complying development certificate, for the proposed development, using the same identifying letter or to that dwelling, building or common area in this certificate.
and non-residential;	a proposed development involves the exection of a building for both residential and non-residential purposes (or the change of use of a building for both residential supposes). Commitments in this certificate which are specified to apply to a "common area" of a building or the development, apply only to that part of the building used for residential purposes.
	certral system as a commitment for a dwelling or building, and that system will also service any other dwelling or building within the development, then that installed once (even if it is separately listed as a commitment for that other dwelling or building).
	is specified in a commitment, this is a minimum rating.
NSW Health does no	ystems to be installed under these commitments (if any), must be installed in accordance with the requirements of all applicable regulatory authorities. NOTE: it recommend that somewhater, recycled water or private dam water be used to irrigate edible plants which are consumed raw, or that rainwater be used for human with cottable water suspely.
certificate / complyin	d with a ** in the "Show on COCDC plans and specs" column must be shown in the plans and specifications accompanying the application for a construction g development certificate for the proposed development.
occupation certificat	d with a "** in the "Certifier check" column must be certified by a certifying authority as having been fulfilled. (Note: a certifying authority must not issue an (either insertion of final) for a building. Stated in this certificate, or for any part of such a building, unless it is satisfied that each of the commitments whose fulfillment for in relation to the building or part, has been fulfilled.



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ALL STRUCTURAL STEEL SHOULD BE SITE MEASURED PRIOR TO FABRICATION

PROPOSED SITE AREAS SITE AREA: 686m2 LANDSCAPE AREA: 230m2 POOL: 12m2

PROPOSED INTERNAL AREAS BUILDING A - FIRST FLOOR BUILDING A - GROUND FLOOR BUILDING B - FIRST FLOOR BUILDING B - GROUND FLOOR PROPOSED EXTERNAL AREAS BUILDING A - BALC BUILDING A - PORCH BUILDING B - FIRST FL BALCONY BUILDING B - GROUND FL DECK 60.0 65.9 143.7

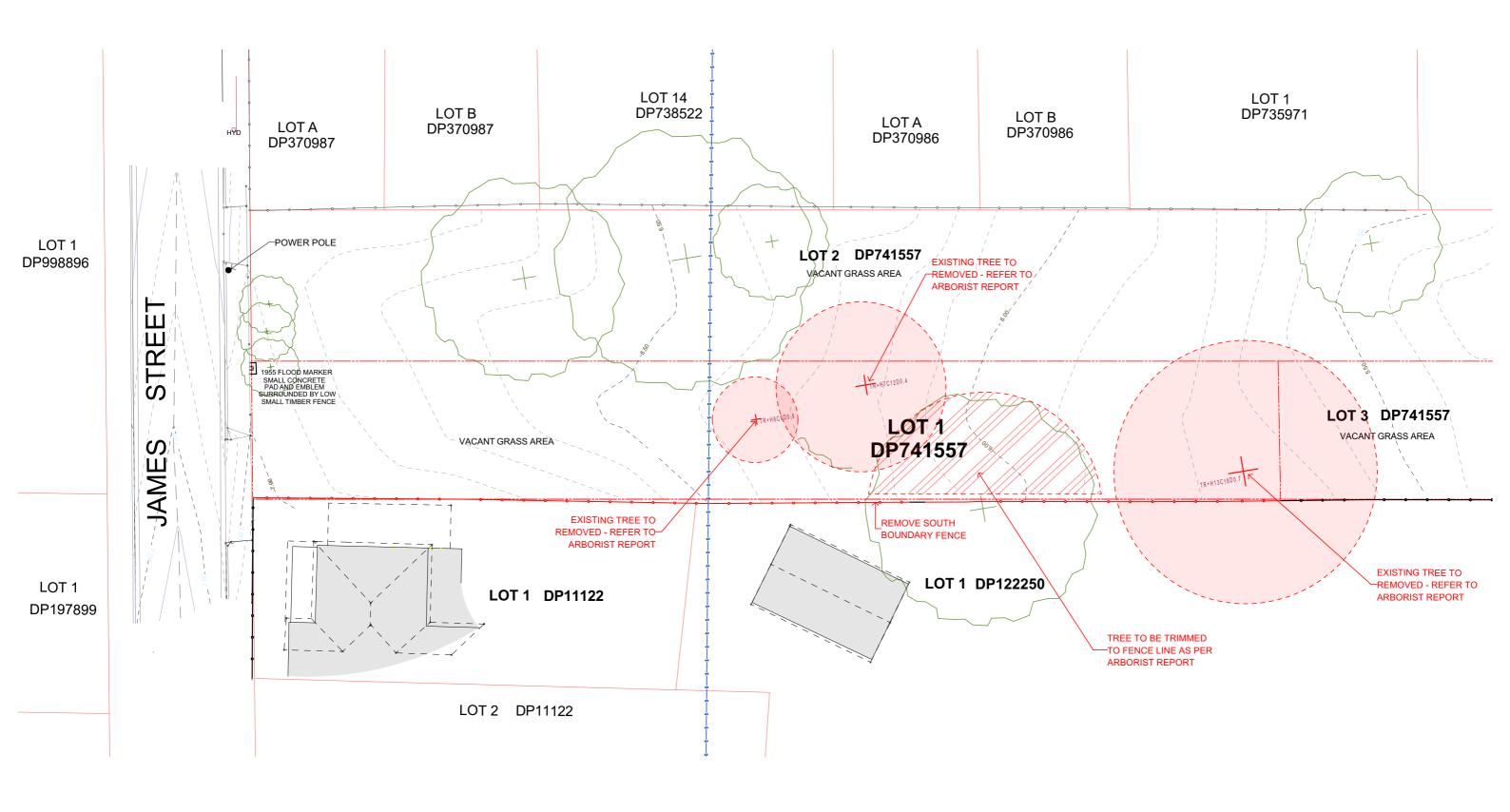
HOLLIER 1/32 JAMES STREET HORSESHOE BEND, 2320 LOT 1, DP741557

Revision Date
S1 11/04/25
Pre-DA 22/04/25
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S3.A 11/07/25
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DA.1 25/08/25
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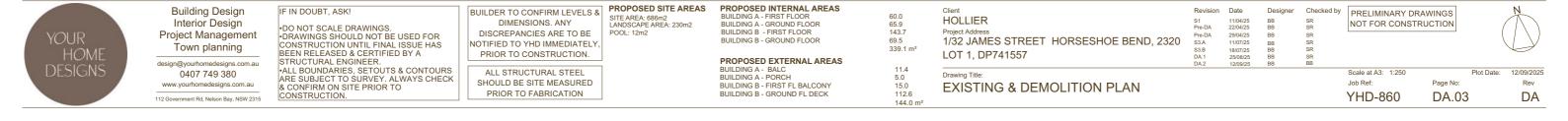
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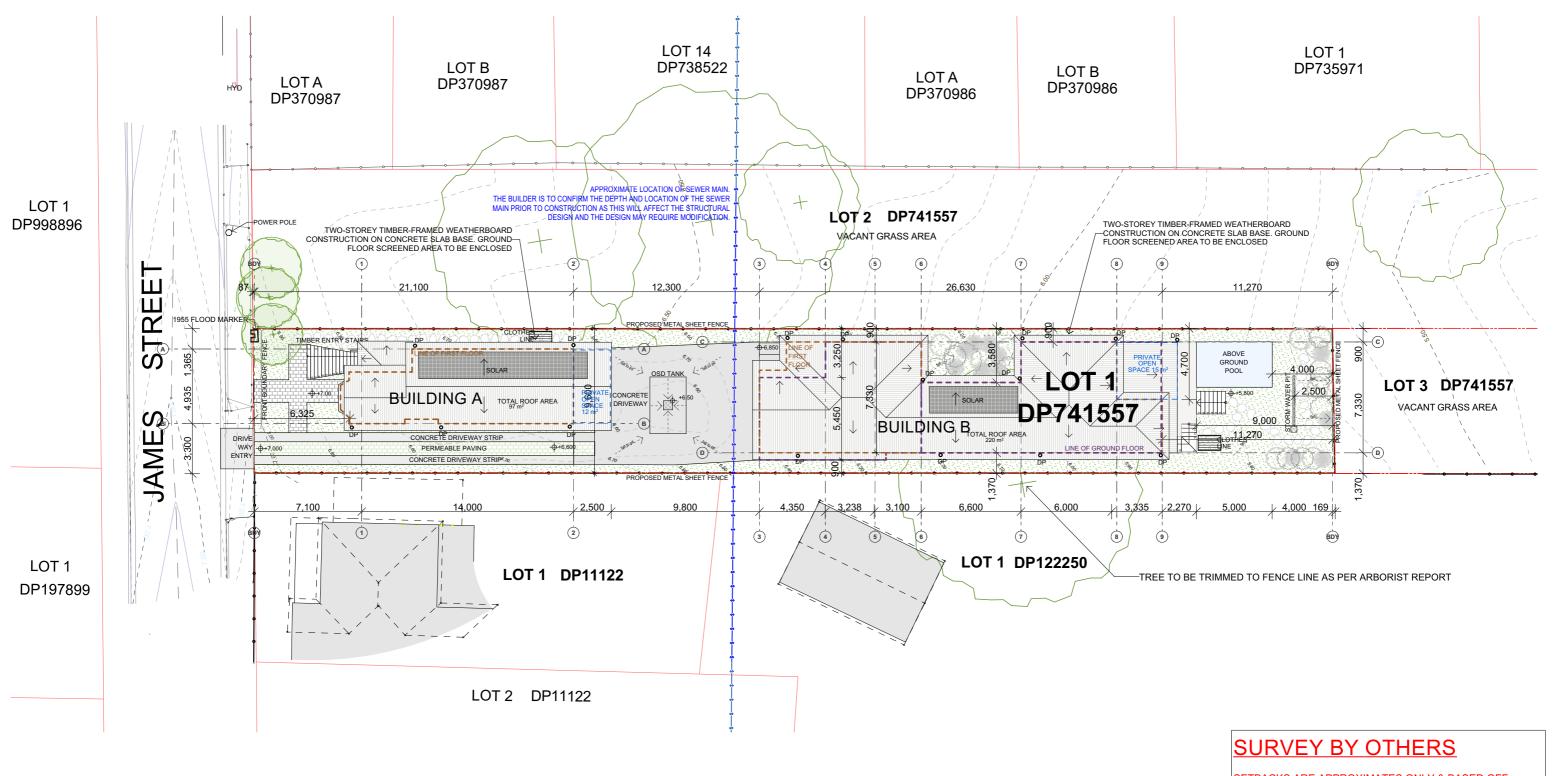


12/09/2025 Scale at A3: 1:3.64 Job Ref: Page No: BASIX COMMITMENTS YHD-860 DA.02 DA



SURVEY BOUNDARY COORDINATES TO BE CONFIRMED BY SURVEYOR PRIOR TO CONSTRUCTION





SETBACKS ARE APPROXIMATES ONLY & BASED OFF CURRENT SURVEYORS DOCUMENTATION AT THE TIME OF BEING ISSUED TO THE DESIGNER WITH THE CONCEPT DESIGNS. ALL SITE BOUNDARIES ARE THE BE CONFIRMED BY THE SURVEYOR PRIOR TO & DURING CONSTRUCTION ANY SITE/SURVEY DISCREPANCIES ARE TO BE NOTIFIED TO YHD IMMEDIATELY, PRIOR TO CONSTRUCTION. SURVEY BOUNDARY COORDINATES TO BE CONFIRMED BY SURVEYOR PRIOR TO CONSTRUCTION

Job Ref:



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POOL: 12m2

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PROPOSED EXTERNAL AREAS BUILDING A - BALC BUILDING A - PORCH BUILDING B - FIRST FL BALCONY BUILDING B - GROUND FL DECK

65.9 143.7

HOLLIER 1/32 JAMES STREET HORSESHOE BEND, 2320 LOT 1, DP741557

PROPOSED SITE PLAN

11/04/25 22/04/25 29/04/25 11/07/25 18/07/25 25/08/25

PRELIMINARY DRAWINGS NOT FOR CONSTRUCTION



Scale at A3: 1:250 12/09/2025 YHD-860 DA.04 DA

SEDIMENT CONTROL NOTES

SEDIMENT FENCE

AN EROSION AND SEDIMENT CONTROL PLAN SHOULD BE IMPLEMENTED ON SITE AND PRIOR TO CONSTRUCTION. 1000 WIDE SEDIMENT FENCES SHOULD BE USED WHERE STORMWATER LEAVES THE SITE TO REDUCE SEDIMENT FROM BEING TRACKED OFF SITE AND ONTO ROAD.

DIVERSION DRAINS

APPROX 150MM - TO BE USED TO DIRECT UP-SLOPE WATER AROUND SITE WATER SHALL BE DIRECTED TO A STABLE AREA FOR ABSORPTION OR TO A PROTECTED SEDIMENT CONTROLLED AREA. STOCKPILES

A SLOPED VEE DRAIN (MIN 100 FALL) FROM BUILDING AND BOUNDARY SHOULD BE USED TO PROTECT STORMWATER DISCHARGE INTO NEIGHBOURING PROPERTIES

STABILISED ENTRY/EXIT

IT IS RECOMMENDED TO APPLY A SINGLE VEHICLE ENTRY & EXIT CONTAMINANTS MANAGEMENT PAD TO MINIMISE SEDIMENT BEING TRACKED OFF SITE AND ONTO ALL CONTAMINANTS SHOULD BE PREVENTED FROM ROAD. A 'RUMBLE PAD' SHOULD BE USED TO PROTECT SERVICES DISCHARGING INTO DRAINS. A DEDICATED AREA FOR LOCATED IN THE VERGE, CONSTRUCTED OF A MIN. 150MM LAYER CONCRETE WASTE, EQUIPMENT & PAINT CLEANING MUST BE OF 140MM RECYCLED AGGREGATE OR CRUSHED ROCK OVER A GEOTEXTILE FABRIC BASE.

A RAISED AREA ACROSS THE HUMP CAN BE USED TO DIRECT STORMWATER RUNOFF INTO A SEDIMENT CONTROLLED AREA. CALL DIAL BEFORE YOU DIG TO DETERMINE LOCATION OF **SERVICES**

A WASTE MANAGEMENT PLAN SHOULD BE USED TO EFFECTIVELY DISPOSE OF ALL WASTE OFF SITE TO ENSURE AGAINST THE CONTAMINATION OF STORMWATER

TO BE LOCATED UPHILL TO ENSURE THE PROTECTION FROM STORMWATER RUNOFF & DRAINAGE PATHWAYS - IF UNABLE TO BE STORED UPHILL. A BANK OR DIVERSION DRAIN SHALL BE USED AROUND THE STOCKPILE AREAS.

UTILIZED. MINIMISE DUST BY USING EQUIPMENT THAT RECYCLES WATER, FILTERS DUST AND CONTAINS SLURRY.

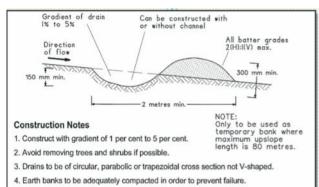


WARNING

BEWARE OF EXISTING UNDERGROUND SERVICES - CONTRACTOR TO CONFIRM PRIOR TO SITE WORKS

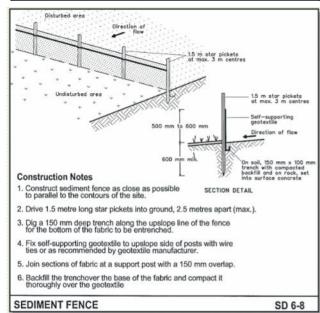
ANY DAMAGE TO THE ROAD VERGE LANDSCAPING OR SERVICES DURING HOUSE AND LANDSCAPE CONSTRUCTION WILL BE RECTIFIED AT CONTRACTORS COST

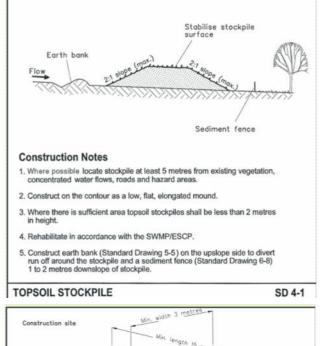
PLEASE ENSURE BUILDERS USE NOMINATED ACCESS ONLY TO ENTER SITE TO AVOID DAMAGE TO EROSION & SEDIMENT CONTROLS

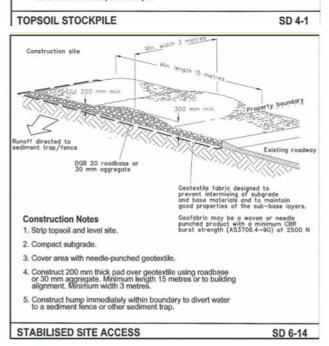


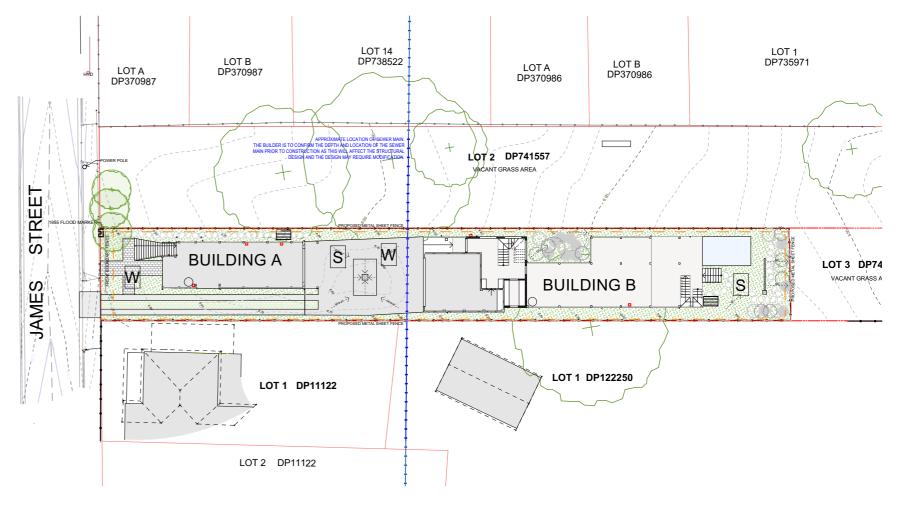
- Permanent or temporary stabilisation of the earth bank to be completed within 10 days of construction.
- 6. All outlets from disturbed lands are to feed into a sediment basin or similar.
- Discharge runoff collected from undisturbed lands onto either a stabilised or an undisturbed disposal site within the same subcatchment area from which the water originated.
- Earth banks to be free of projections or other irregularities that will impede normal flow.

EARTH BANK (LOW FLOW) SD 5-5











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PRIOR TO CONSTRUCTION.

PROPOSED SITE AREAS SITE AREA: 686n LANDSCAPE AREA: 230m2

POOL: 12m2

PROPOSED INTERNAL AREAS **BUILDING A - GROUND FLOOR**

BUILDING B - FIRST FLOOR BUILDING B - GROUND FLOOR PROPOSED EXTERNAL AREAS BUILDING A - BALC BUILDING A - PORCH

BUILDING B - FIRST FL BALCONY BUILDING B - GROUND FL DECK

65.9 143.7

HOLLIER

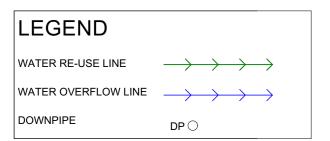
1/32 JAMES STREET HORSESHOE BEND, 2320 LOT 1, DP741557

Revision Date 11/04/25 22/04/25 29/04/25 11/07/25 18/07/25

PRELIMINARY DRAWINGS NOT FOR CONSTRUCTION



Scale at A3 12/09/2025 Job Ref: **EROSION & SEDIMENT CONTROL PLAN** YHD-860 DA.05 DA



STORMWATER TREATMENT SUMMARY

SITE AREA: 686m²

ROOF AREA: 92m²+ 220m²

OTHER HARDSTAND TREATMENT AREA: (driveway + central slab) 122m²

TOTAL IMPERVIOUS AREA: 342m2

SITE DISCHARGE INDEX:Total imp. area/site area = 0.50 = 49.9%

TANK SIZE: = 2000 L (MIN. BASIX REQUIREMENT)

ROOF AREA TO TANK: 100% TREATMENT TYPE: RAINGARDEN

TREATMENT SIZE: ≈ 7.0 m² (2 % of 342 m² impervious, rounded up)

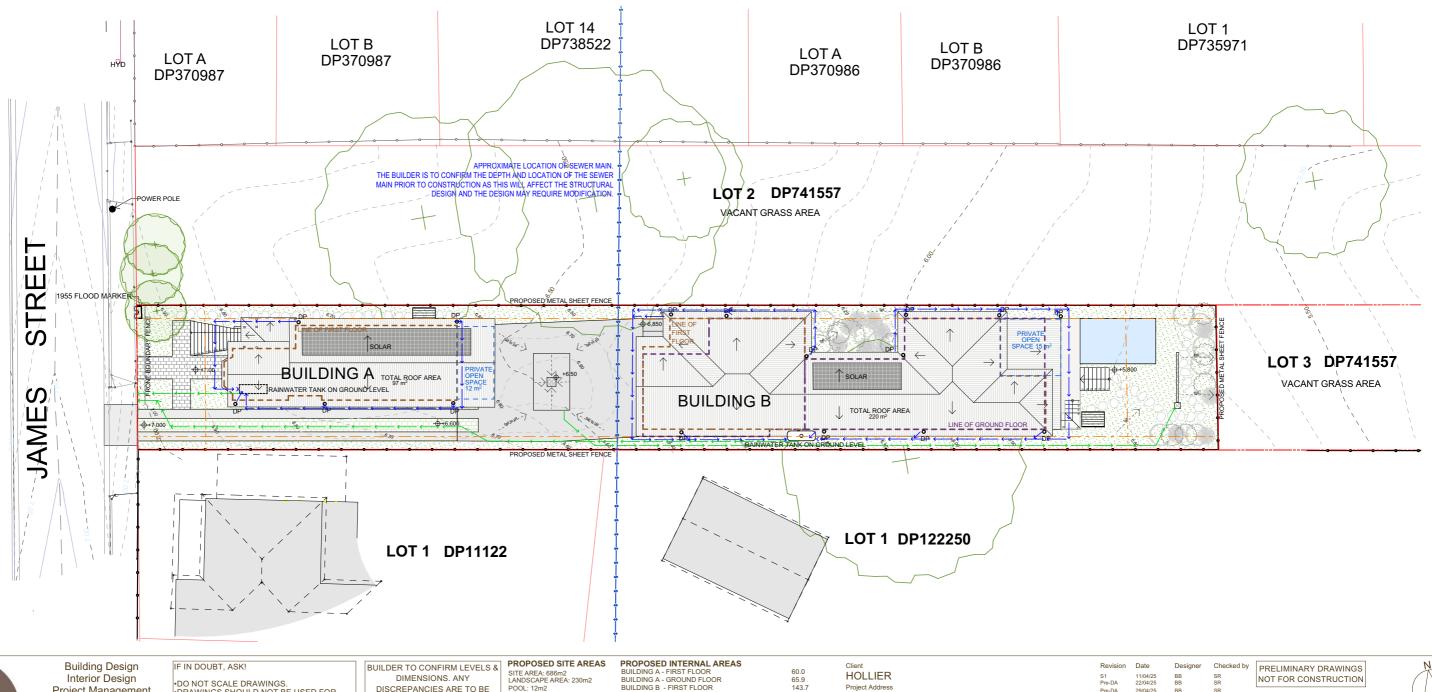
SIZING METHODOLOGY USED: DEEMED TO COMPLY

NOTES:

ALL DOWNPIPES SHOWN INDICATIVELY. LOCATIONS ON SITE MAY DIFFER FROM SHOWN. DISCREPANCIES TO BE NOTIFIED TO THE DESIGNER IMMEDIATELY. - ALL STORMWATER WORK TO BE IN ACCORDANCE WITH AS 3500 AND ALL STATUTORY REQUIREMENTS. - ALL WORK TO BE CARRIED OUT BY A LICENSED PLUMBER

INSTALLATION AND CONNECTION OF RWT TO LOCAL CITY REGULATIONS.

- STORMWATER DETAILS TO COMPLY WITH THE CONDITIONS OF CONSENT





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BUILDING B - GROUND FLOOR

PROPOSED EXTERNAL AREAS BUILDING A - BALC BUILDING A - PORCH BUILDING B - FIRST FL BALCONY BUILDING B - GROUND FL DECK

60.0 65.9 143.7

LOT 1, DP741557

STORMWATER PLAN

1/32 JAMES STREET HORSESHOE BEND, 2320

11/04/25 22/04/25 29/04/25 11/07/25 18/07/25 25/08/25



Scale at A3: 1:250 12/09/2025 Job Ref: YHD-860 DA.06 DA

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60.0 65.9 143.7 69.5 339.1 m²

Client HOLLIER LOT 1, DP741557

1/32 JAMES STREET HORSESHOE BEND, 2320

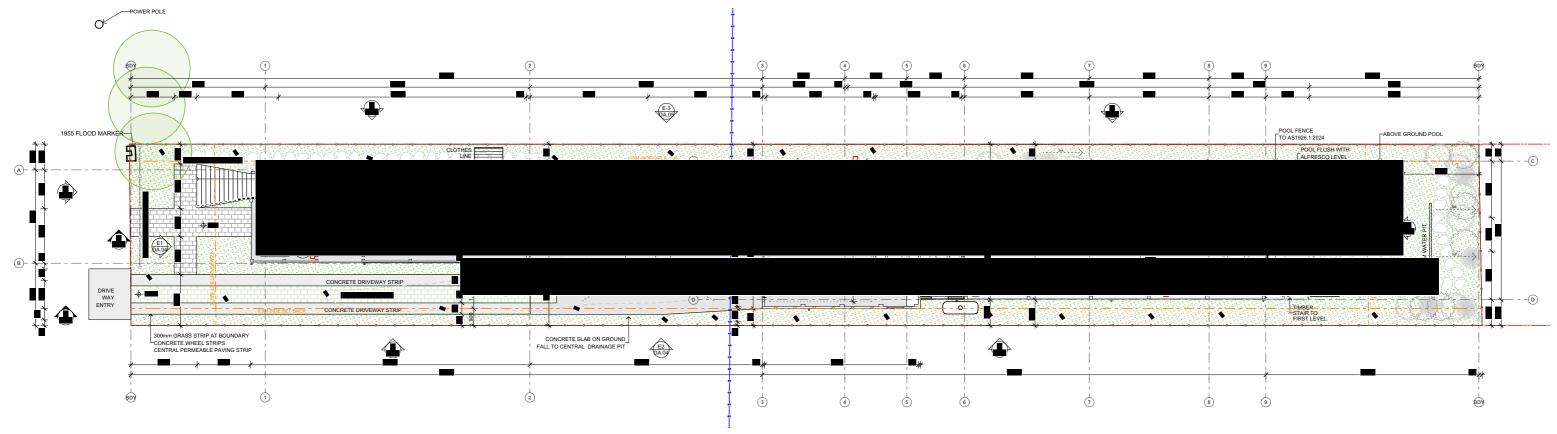
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DA.1 25/08/25
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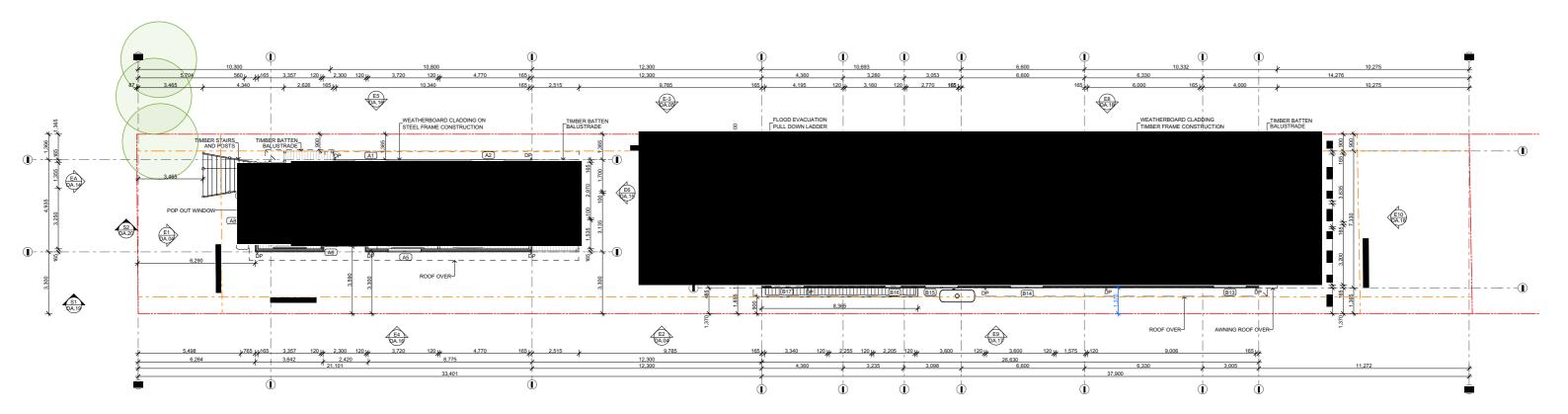


CUT & FILL PLAN + DRIVEWAY SECTION

12/09/2025 Scale at A3: Job Ref: Page No: YHD-860 DA.07 DA



GROUND LEVEL 1:200



FIRST FLOOR 1:200



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60.0 65.9 143.7

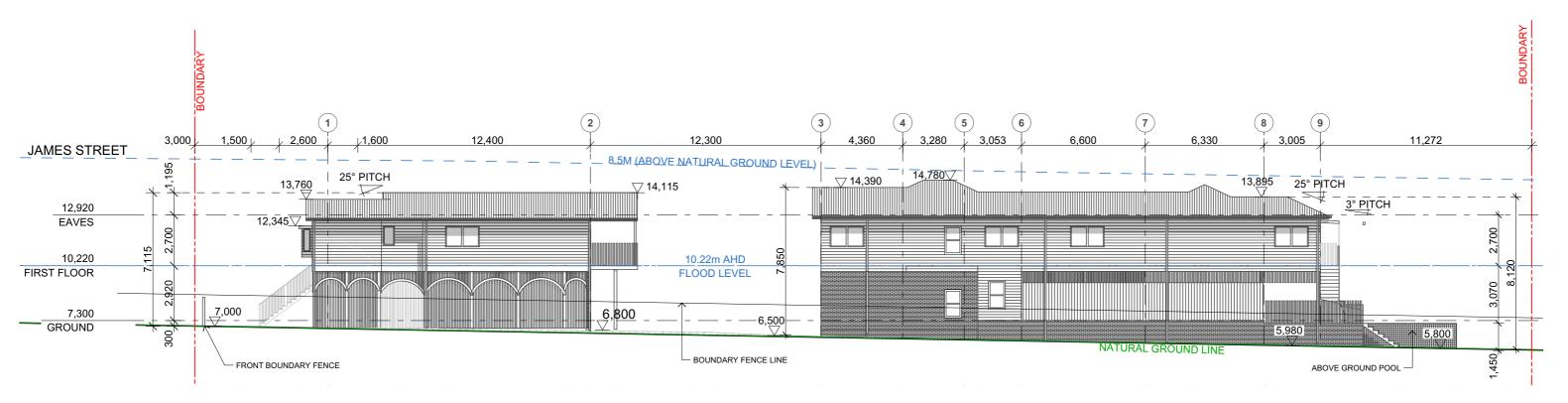
HOLLIER 1/32 JAMES STREET HORSESHOE BEND, 2320 LOT 1, DP741557

PROPOSED FLOOR PLANS 1:200

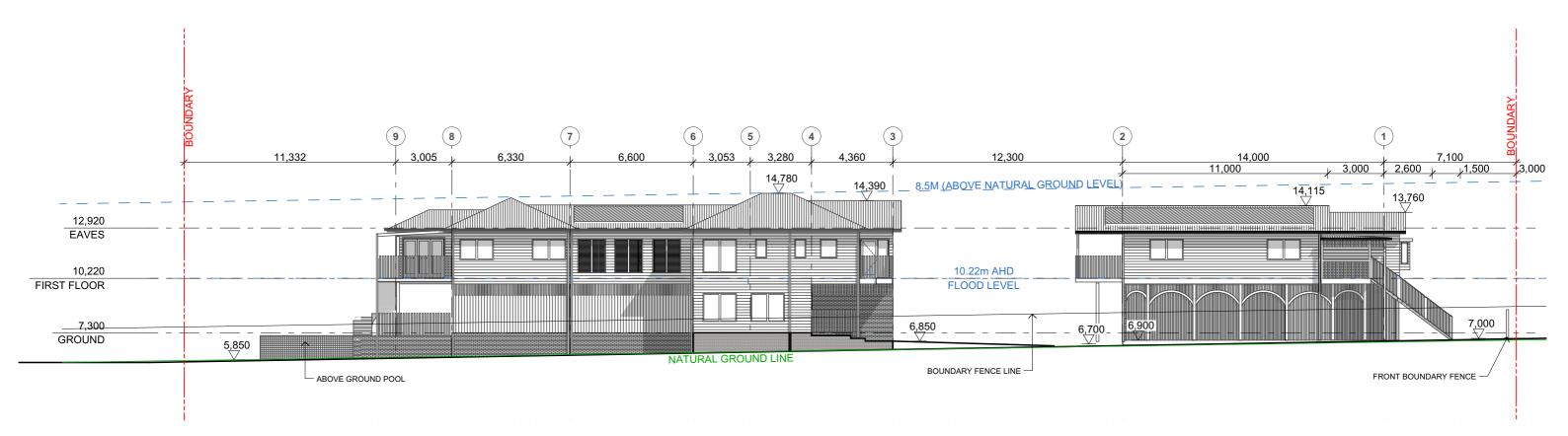
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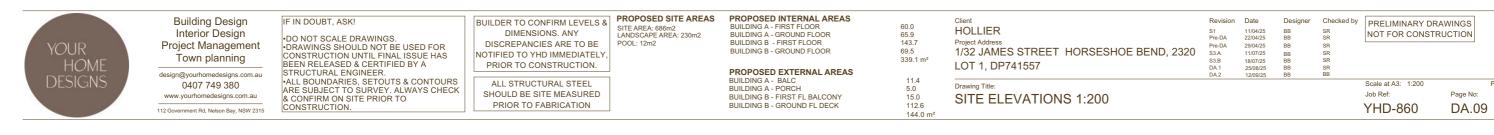
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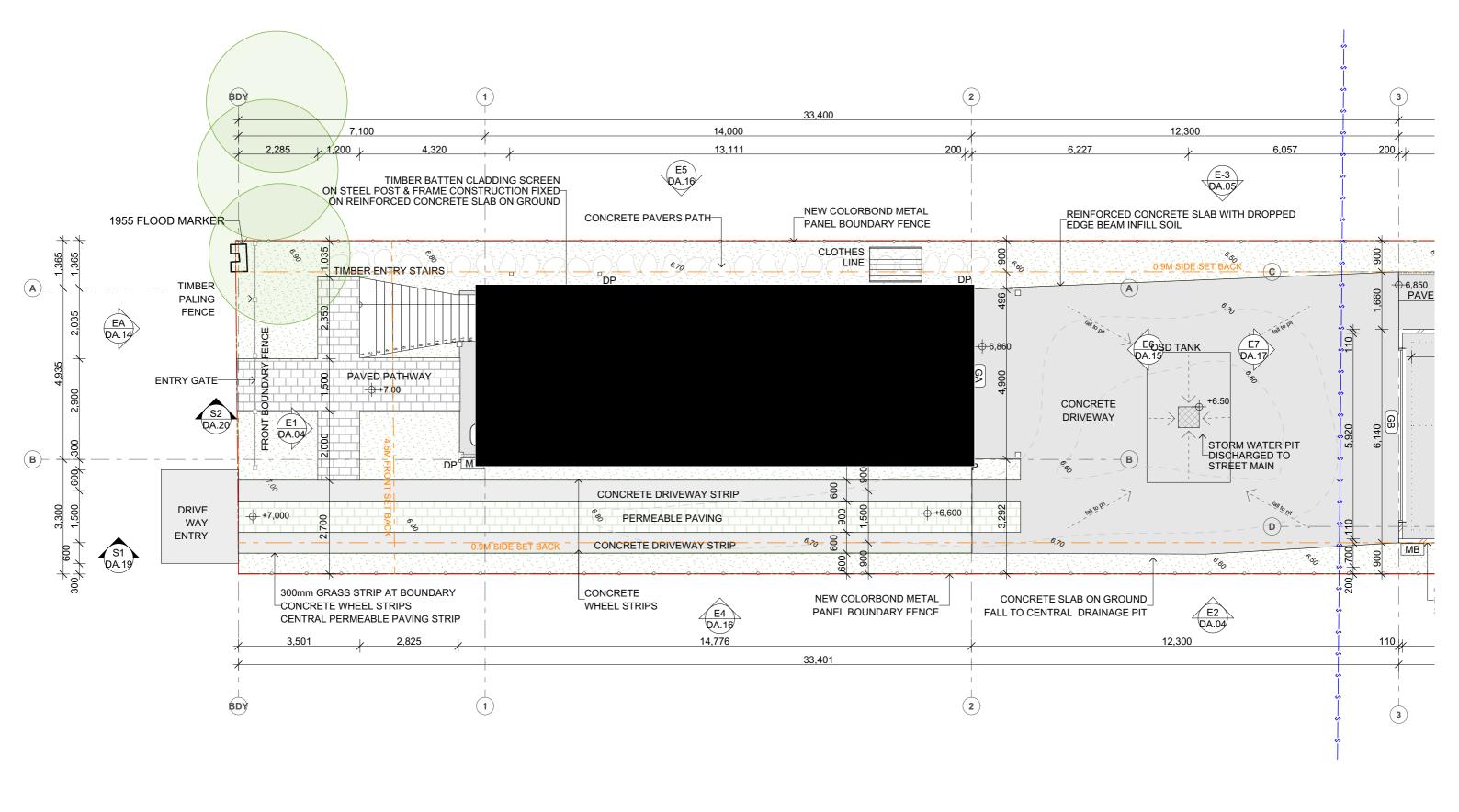


E3 SITE ELEVATION - SOUTH 1:200



12/09/2025

DA



HWU HOT WATER UNIT

MB ELECTRICAL METER BOX

PS PLUMBING STACK

⊕ SA SMOKE ALARM AS PER AS3786



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65.9 143.7

HOLLIER 1/32 JAMES STREET HORSESHOE BEND, 2320 LOT 1, DP741557

BUILDING A - GROUND FLOOR PLAN

11/04/25 22/04/25 29/04/25 11/07/25 18/07/25 25/08/25

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DA.10

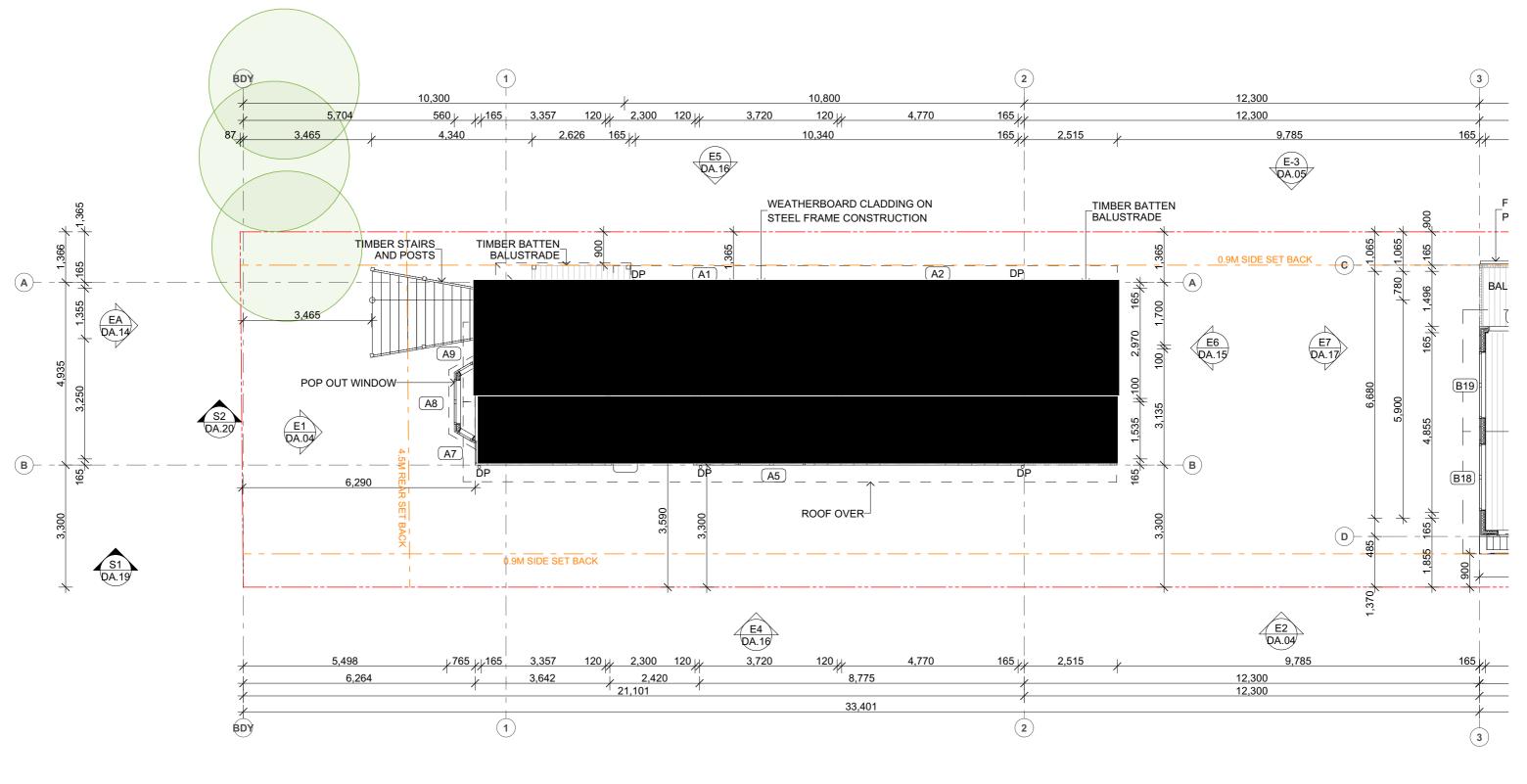
Scale at A3: 1:100

YHD-860

Job Ref:

12/09/2025

DA



HWU HOT WATER UNIT

MB ELECTRICAL METER BOX

PS PLUMBING STACK

⊕ SA SMOKE ALARM AS PER AS3786 BASIX AND ENERGY REQUIREMENTS TO BE FULLY ADDRESSED AND DOCUMENTED AT CC STAGE:

- NOMINATE ALL DOWNLIGHTS AS IC/IC-F RATED
- R2.7 INSULATION TO INTERNAL BATHROOM WALLS
- R6.0 INSULATION TO SUSPENDED FRAMED FLOOR
- R6.0 CEILING INSULATION TO ALL FLOORS (EXCLUDING GARAGE)
- REFLECTIVE WALL WRAP TO ALL EXTERNAL WALLS (CLASS 4 IF REQUIRED FOR CONDENSATION)
- R2.7 EXTERNAL WALL INSULATION (EXCLUDING GARAGE)
- R1.3 REFLECTIVE BLANKET TO ROOF
- 2 X CEILING FANS TO KITCHEN/LIVING (MIN 1800MM DIA)

BASIX AND ENERGY REQUIREMENTS TO BE FULLY ADDRESSED AND DOCUMENTED AT CC STAGE:

- CEILING FANS TO MASTER, BED 2, BED 3 (MIN 1200MM DIA)
- R2.3 / 50MM INSULATION UNDER SLAB ON GROUND (EXCL. LAUNDRY & GARAGE)
- THERMALLY BROKEN DOUBLE GLAZED LOW-E WINDOWS/DOORS (EXCL. GARAGE, LAUNDRY, BATHROOM)
- R2.3 INSULATION TO ENTRY WALLS ADJOINING WORKSHOP & GARAGE
- R2.7 INSULATION TO LAUNDRY/ENTRY & ENTRY/SUBFLOOR WALLS
- 35MM XCEM ALPHAFLOOR TO SUSPENDED FLOOR
- 25MM XPS CORE INSULATED ENTRY DOOR - R1.3 REFLECTIVE BLANKET TO GARAGE ROOF
- ADJUSTABLE EXTERNAL SHADING (BLINDS/SHUTTERS/LOUVRES) TO WINDOWS B9, B10, B11, B12



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65.9 143.7 BUILDING B - FIRST FL BALCONY BUILDING B - GROUND FL DECK

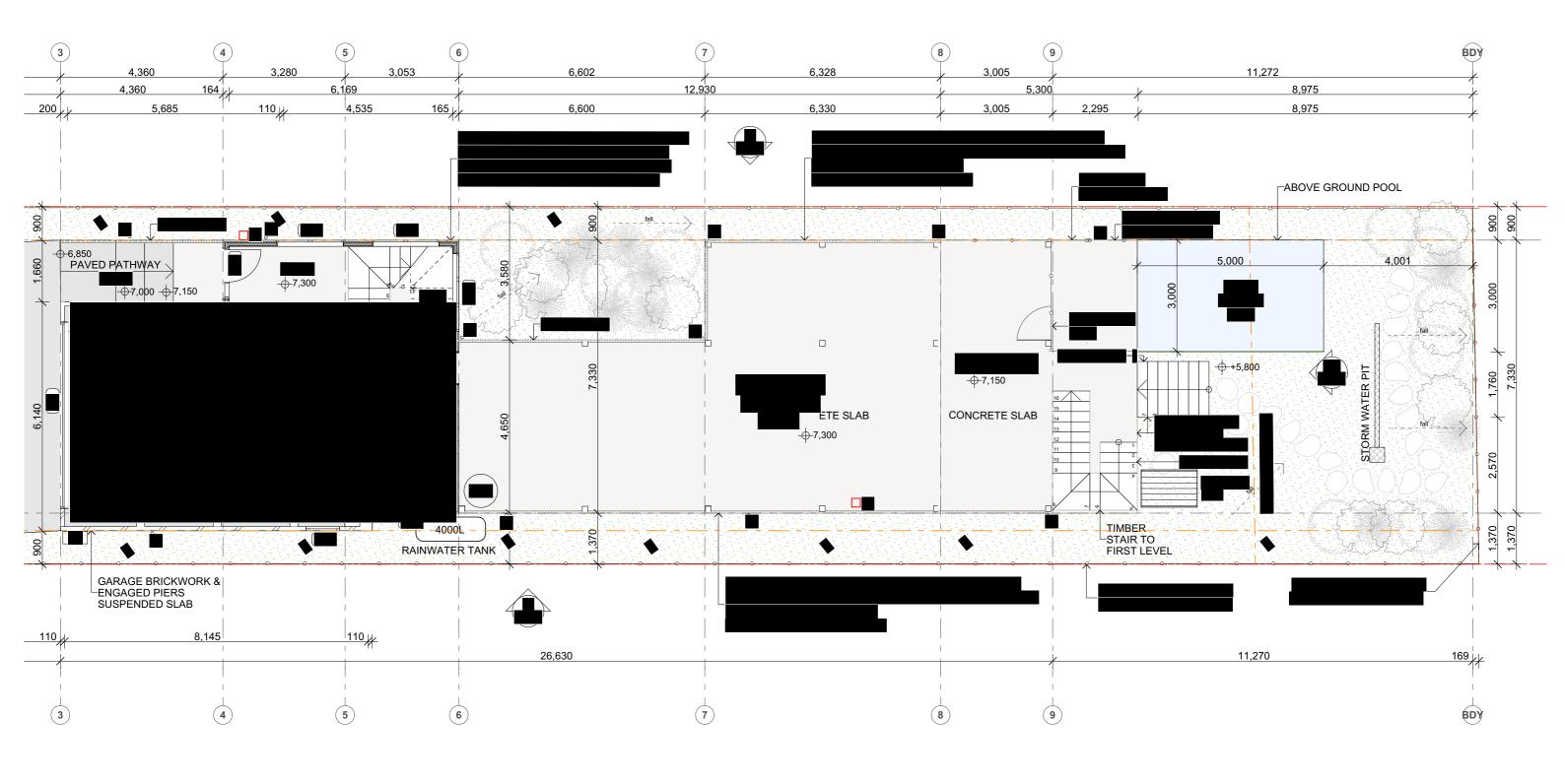
1/32 JAMES STREET HORSESHOE BEND, 2320 LOT 1, DP741557

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12/09/2025

BUILDING A - FIRST FLOOR PLAN

Scale at A3: 1:100 Job Ref: YHD-860 DA.11 DA



HWU HOT WATER UNIT

MB ELECTRICAL METER BOX

□PS PLUMBING STACK

⊕ SA SMOKE ALARM AS PER AS3786



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PROPOSED EXTERNAL AREAS

60.0 65.9 143.7

HOLLIER 1/32 JAMES STREET HORSESHOE BEND, 2320 LOT 1, DP741557

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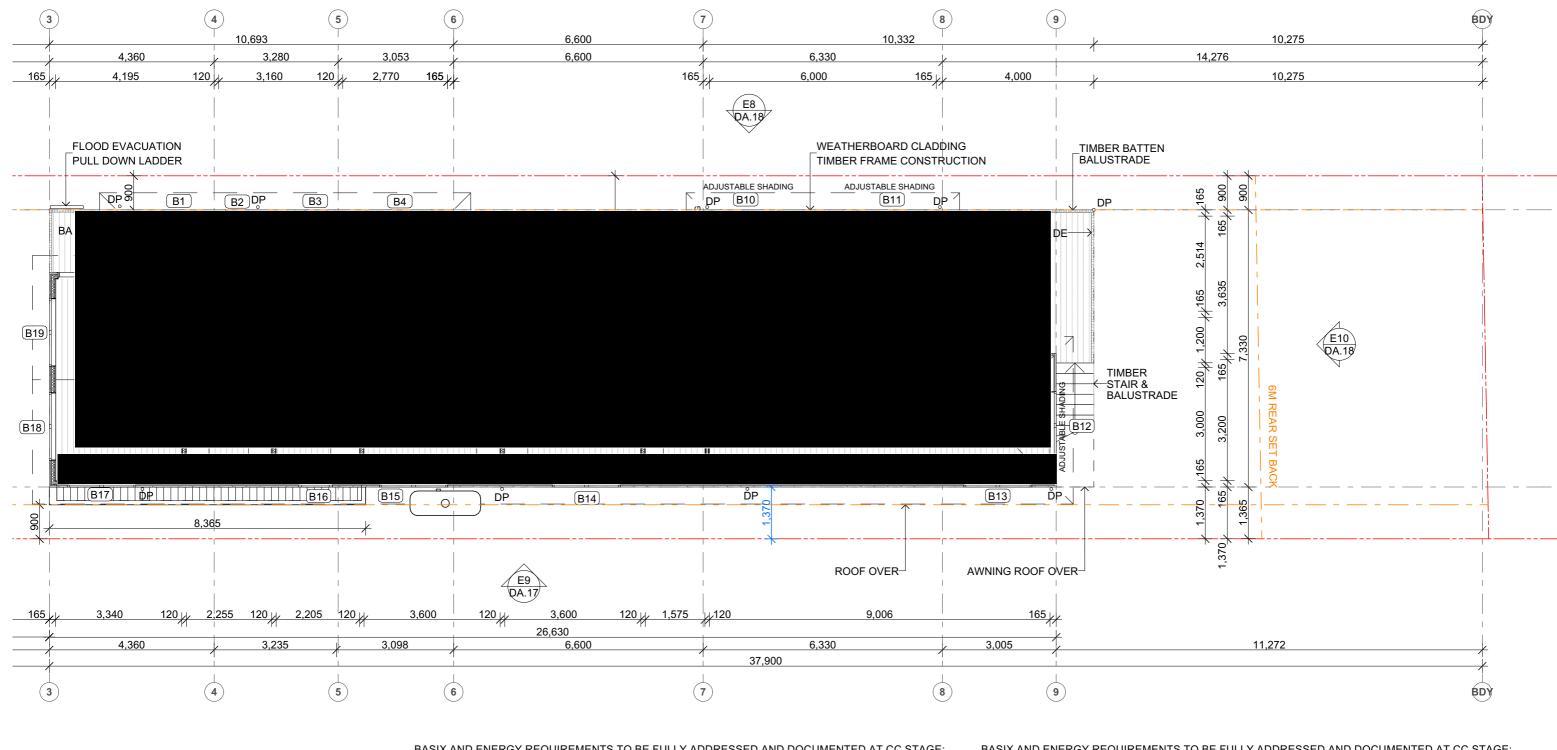
DA

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BUILDING A - BALC BUILDING A - PORCH BUILDING B - FIRST FL BALCONY BUILDING B - GROUND FL DECK

BUILDING B - GROUND FLOOR PLAN

Scale at A3: 1:100 Job Ref: YHD-860 DA.12



HWU HOT WATER UNIT

MB ELECTRICAL METER BOX

PS PLUMBING STACK

⊕ SA SMOKE ALARM AS PER AS3786

BASIX AND ENERGY REQUIREMENTS TO BE FULLY ADDRESSED AND DOCUMENTED AT CC STAGE:

- NOMINATE ALL DOWNLIGHTS AS IC/IC-F RATED
- R2.7 INSULATION TO INTERNAL BATHROOM WALLS
- R6.0 INSULATION TO SUSPENDED FRAMED FLOOR
- R6.0 CEILING INSULATION TO ALL FLOORS (EXCLUDING GARAGE)
- REFLECTIVE WALL WRAP TO ALL EXTERNAL WALLS (CLASS 4 IF REQUIRED FOR CONDENSATION)
- R2.7 EXTERNAL WALL INSULATION (EXCLUDING GARAGE)
- R1.3 REFLECTIVE BLANKET TO ROOF
- 2 X CEILING FANS TO KITCHEN/LIVING (MIN 1800MM DIA)

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- CEILING FANS TO MASTER, BED 2, BED 3 (MIN 1200MM DIA)
- R2.3 / 50MM INSULATION UNDER SLAB ON GROUND (EXCL. LAUNDRY & GARAGE)
- THERMALLY BROKEN DOUBLE GLAZED LOW-E WINDOWS/DOORS (EXCL. GARAGE, LAUNDRY, BATHROOM)
- R2.3 INSULATION TO ENTRY WALLS ADJOINING WORKSHOP & GARAGE
- R2.7 INSULATION TO LAUNDRY/ENTRY & ENTRY/SUBFLOOR WALLS
- 35MM XCEM ALPHAFLOOR TO SUSPENDED FLOOR
- 25MM XPS CORE INSULATED ENTRY DOOR
- R1.3 REFLECTIVE BLANKET TO GARAGE ROOF
- ADJUSTABLE EXTERNAL SHADING (BLINDS/SHUTTERS/LOUVRES) TO WINDOWS B9, B10, B11, B12



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ALL STRUCTURAL STEEL SHOULD BE SITE MEASURED PRIOR TO FABRICATION

PROPOSED SITE AREAS SITE AREA: 686r POOL: 12m2

PROPOSED INTERNAL AREAS BUILDING A - FIRST FLOOR BUILDING A - GROUND FLOOR BUILDING B - FIRST FLOOR BUILDING B - GROUND FLOOR PROPOSED EXTERNAL AREAS BUILDING A - BALC BUILDING A - PORCH

BUILDING B - FIRST FL BALCONY BUILDING B - GROUND FL DECK

65.9 143.7

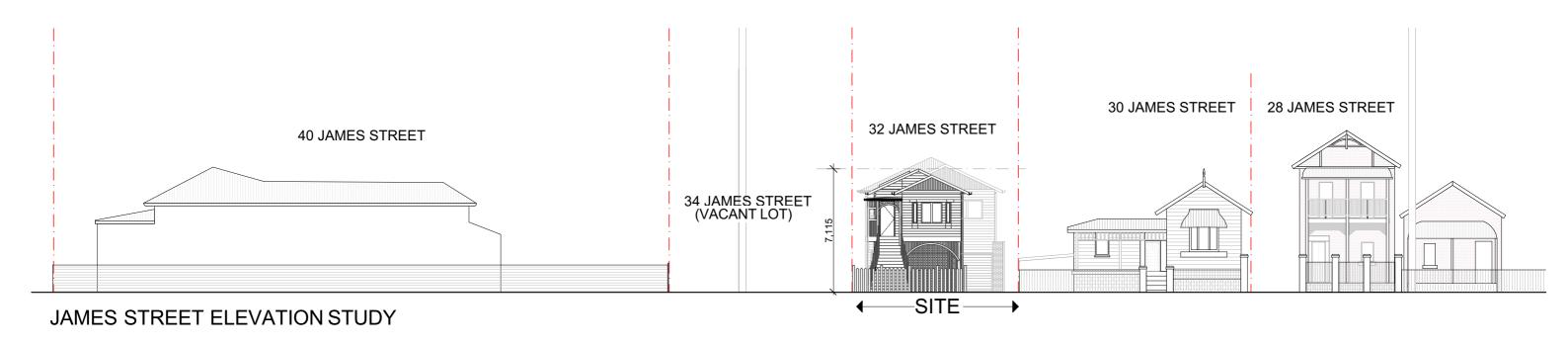
1/32 JAMES STREET HORSESHOE BEND, 2320 LOT 1, DP741557

11/04/25 22/04/25 29/04/25 11/07/25 18/07/25

PRELIMINARY DRAWINGS NOT FOR CONSTRUCTION



Scale at A3: 1:100 Job Ref: BUILDING B - FIRST FLOOR PLAN YHD-860 DA.13 DA













40 JAMES STREET

34 JAMES STREET ◀ (VACANT LOT)

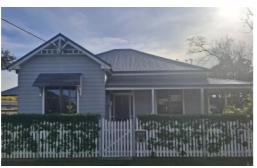
-SITE ----→

30 JAMES STREET

28 JAMES STREET

JAMES STREET PHOTO STUDY













SURROUNDING NEIGHBOURHOOD CONTEXT



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POOL: 12m2

PROPOSED INTERNAL AREAS BUILDING A - FIRST FLOOR BUILDING A - GROUND FLOOR BUILDING B - FIRST FLOOR BUILDING B - GROUND FLOOR

PROPOSED EXTERNAL AREAS BUILDING A - BALC BUILDING A - PORCH BUILDING B - FIRST FL BALCONY BUILDING B - GROUND FL DECK

60.0 65.9 143.7 69.5 339.1 m²

HOLLIER 1/32 JAMES STREET HORSESHOE BEND, 2320 LOT 1, DP741557

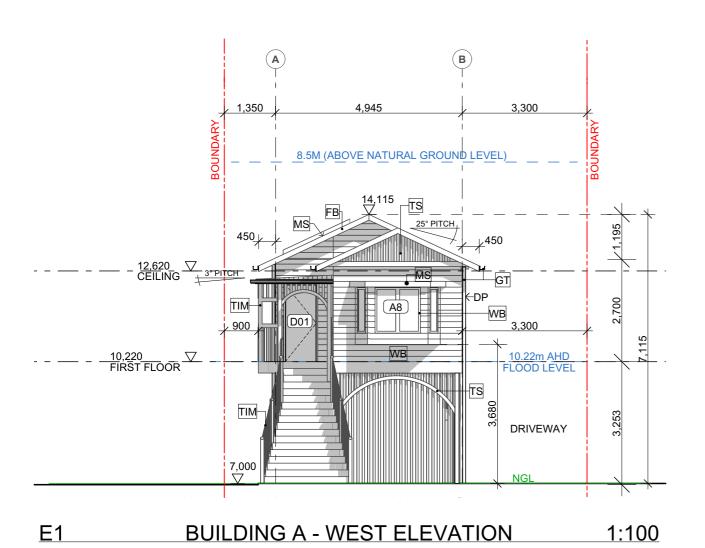
11/04/25 22/04/25 29/04/25 11/07/25 18/07/25 25/08/25

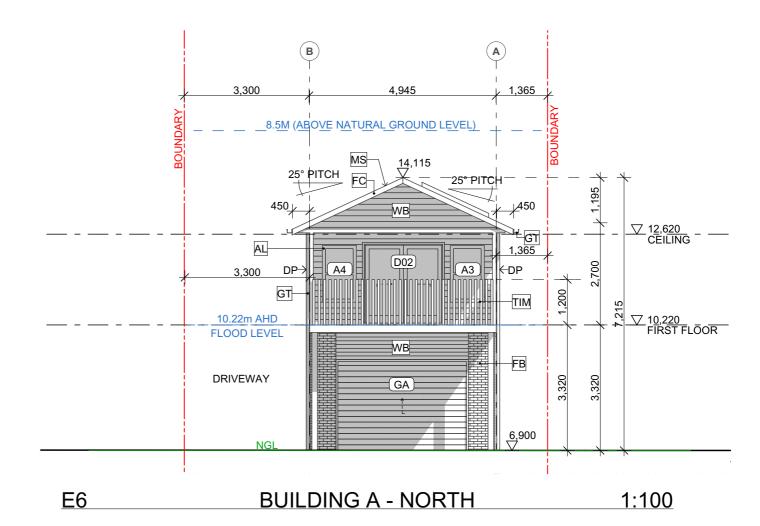
PRELIMINARY DRAWINGS NOT FOR CONSTRUCTION



DA

Scale at A3: 1:200 Job Ref: JAMES STREET ELEVATION YHD-860 DA.14





CODE	ELEMENT	MATERIAL / PRODUCT	COLOUR / FINISH	NOTES
AL	DOORS & WINDOWS	POWDER-COATED ALUMINUM FRAMES	WHITE	HAMPTONS-STYLE PROPORTIONS
FB	GARAGE WALLS (EXTERNAL) & FOUNDATION WALL	FACE BRICK	CREAM	TRADITIONAL OR PAINTED CREAM FACE BRICK
FC	FASCIA BOARD	TIMBER OR FIBRE CEMENT	WHITE	PAINTED FASCIA BOARD
GT	GUTTERS & DOWNPIPES	COLORBOND OR SIMILAR	MATCH ROOF / SHALE GREY	TO MATCH ROOF SHEETING
MF	SIDE BOUNDARY FENCE	METAL PANEL FENCE	SHALE GREY	1800MM HIGH
MS	METAL ROOF SHEETING	COLORBOND LONGLINE PROFILE	SHALE GREY	METAL ROOF SHEETING
TBS	FRONT BOUNDARY FENCE	TIMBER PICKET	NATURAL TIMBER	1200MM HIGH
MIT	TIMBER BALUSTRADE	TIMBER	WHITE (PAINTED)	HAMPTONS-STYLE BALUSTRADE
TS	TIMBER BATTEN SCREEN & BRACKETS	TIMBER (DECORATIVE)	WHITE (PAINTED)	VERTICAL BATTENS FOR SCREENING
WB	EXTERNAL WALL CLADDING	JAMES HARDIE LINEA 150MM WEATHERBOARD OR SIMILAR	WHITE	HORIZONTAL PROFILE, PAINTED WHITE

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PROPOSED SITE AREAS SITE AREA: 686m2 LANDSCAPE AREA: 230m2 POOL: 12m2

PROPOSED INTERNAL AREAS BUILDING A - FIRST FLOOR BUILDING A - GROUND FLOOR BUILDING B - FIRST FLOOR BUILDING B - GROUND FLOOR PROPOSED EXTERNAL AREAS

BUILDING A - BALC BUILDING A - PORCH BUILDING B - FIRST FL BALCONY BUILDING B - GROUND FL DECK

60.0 65.9 143.7 69.5 339.1 m²

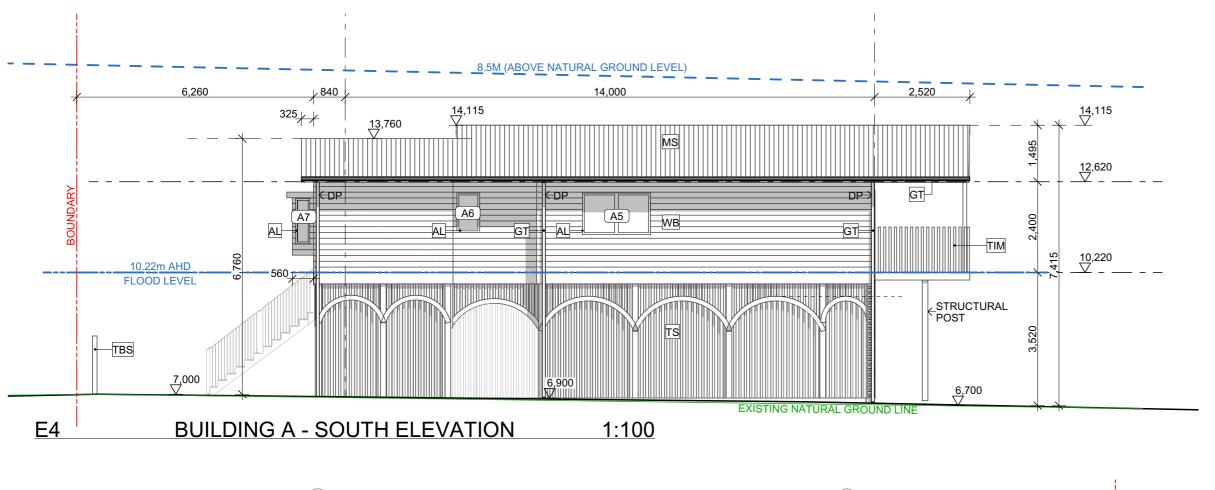
HOLLIER 1/32 JAMES STREET HORSESHOE BEND, 2320 LOT 1, DP741557

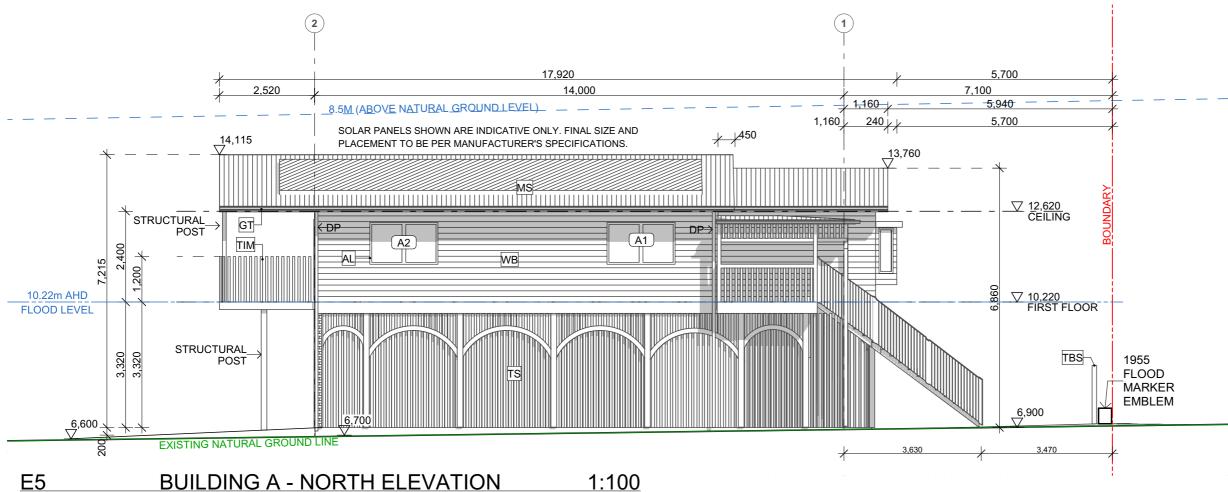
Revision Date
S1 11/04/25
Pre-DA 22/04/25
Pre-DA 29/04/25
S3.A 11/07/25
S3.B 18/07/25
DA.1 25/08/25
DA.2 21/09/25

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Scale at A3: 1:100 12/09/2025 Job Ref: BUILDING A - ELEVATIONS 1:100 - SHEET 1 YHD-860 DA DA.15







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PRIOR TO FABRICATION

PRIOR TO CONSTRUCTION.

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60.0 65.9 143.7

HOLLIER 1/32 JAMES STREET HORSESHOE BEND, 2320 LOT 1, DP741557

BUILDING A - ELEVATIONS 1:100 - SHEET 2

PRELIMINARY DRAWINGS 11/04/25 22/04/25 29/04/25 11/07/25 18/07/25 25/08/25 NOT FOR CONSTRUCTION

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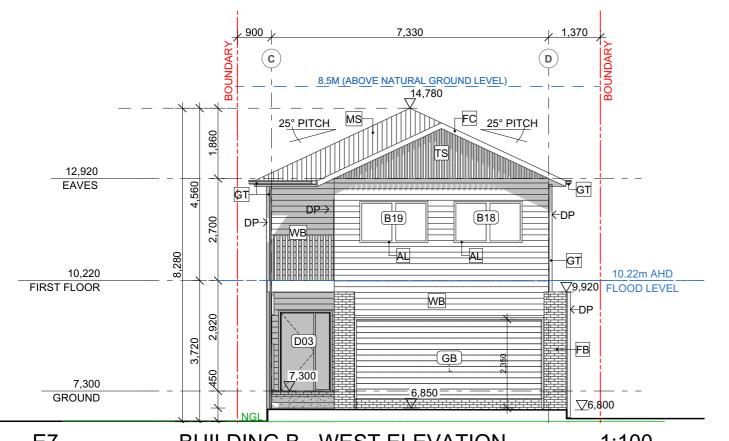
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Job Ref:



DA.16

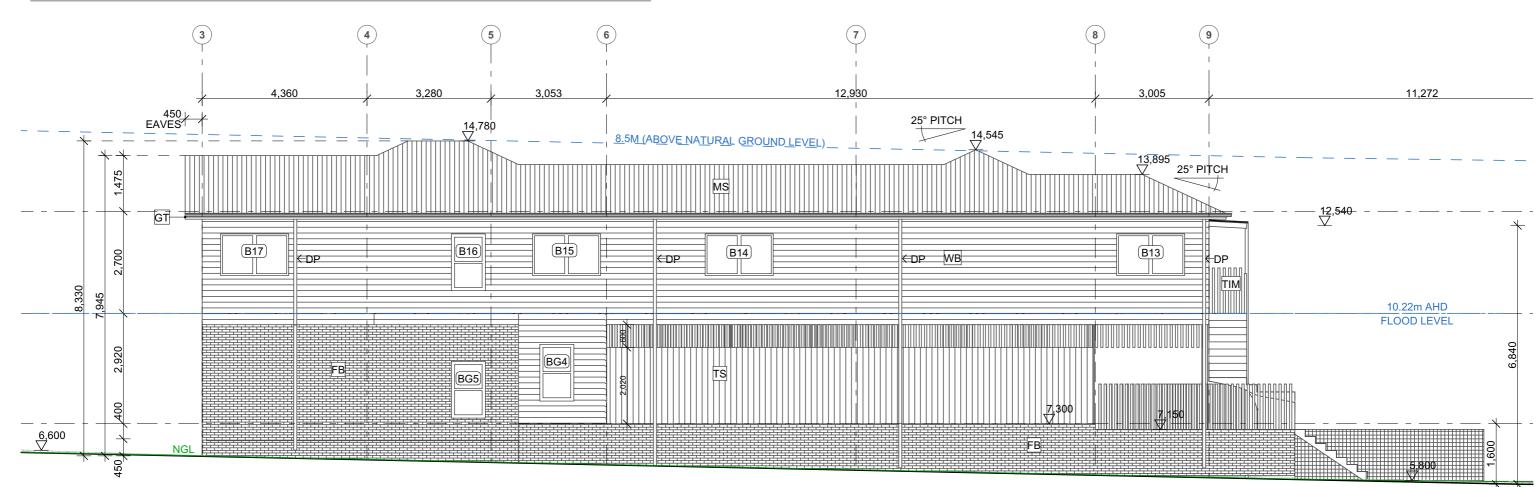
DA





E7 BUILDING B - WEST ELEVATION

1:100



BUILDING B - SOUTH ELEVATION 1:100



E9

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PROPOSED INTERNAL AREAS BUILDING A - FIRST FLOOR BUILDING A - GROUND FLOOR BUILDING B - FIRST FLOOR BUILDING B - GROUND FLOOR PROPOSED EXTERNAL AREAS BUILDING A - BALC BUILDING A - PORCH BUILDING B - FIRST FL BALCONY BUILDING B - GROUND FL DECK

60.0 65.9 143.7

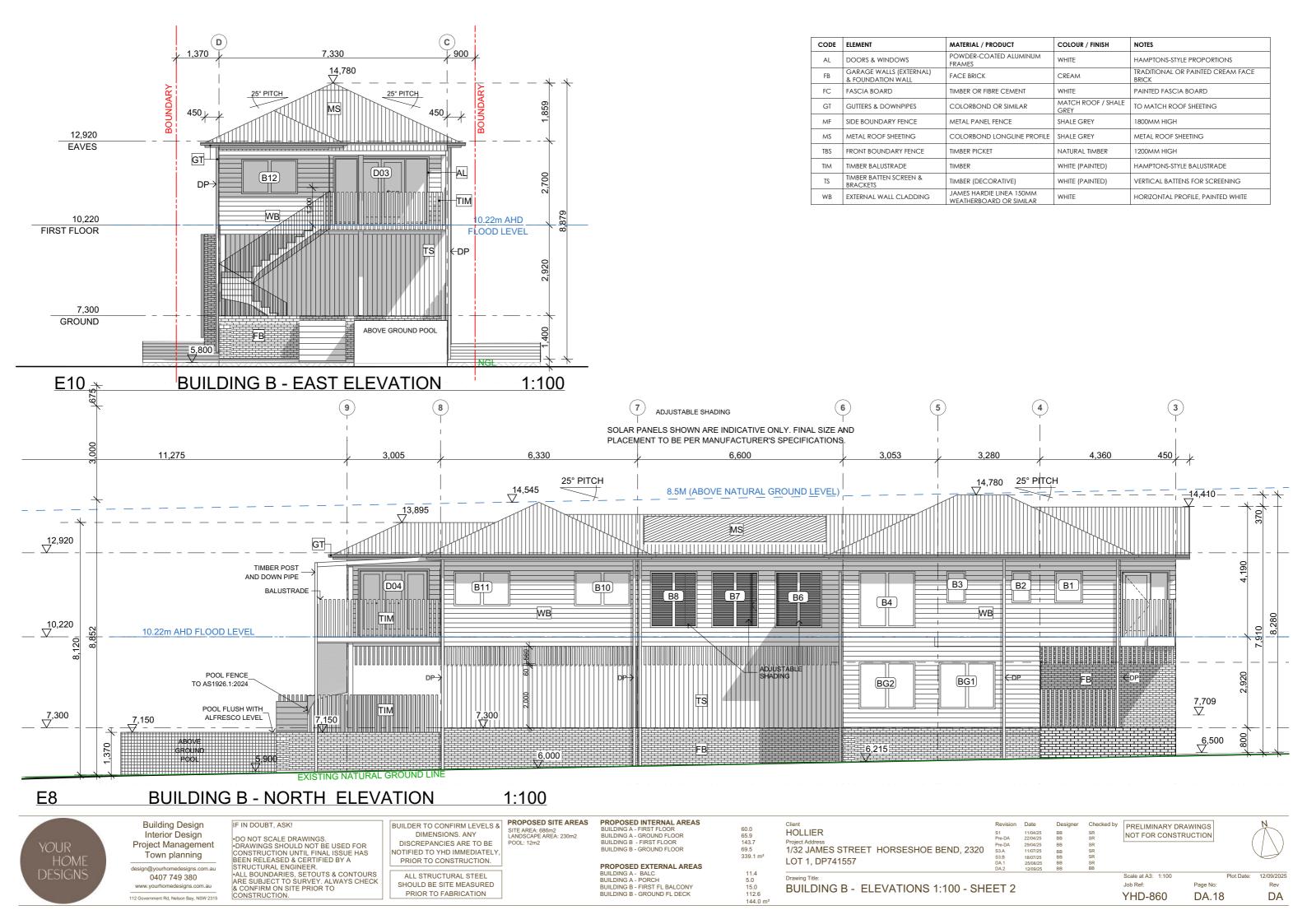
HOLLIER 1/32 JAMES STREET HORSESHOE BEND, 2320 LOT 1, DP741557

11/04/25 22/04/25 29/04/25 11/07/25 18/07/25 25/08/25

PRELIMINARY DRAWINGS NOT FOR CONSTRUCTION



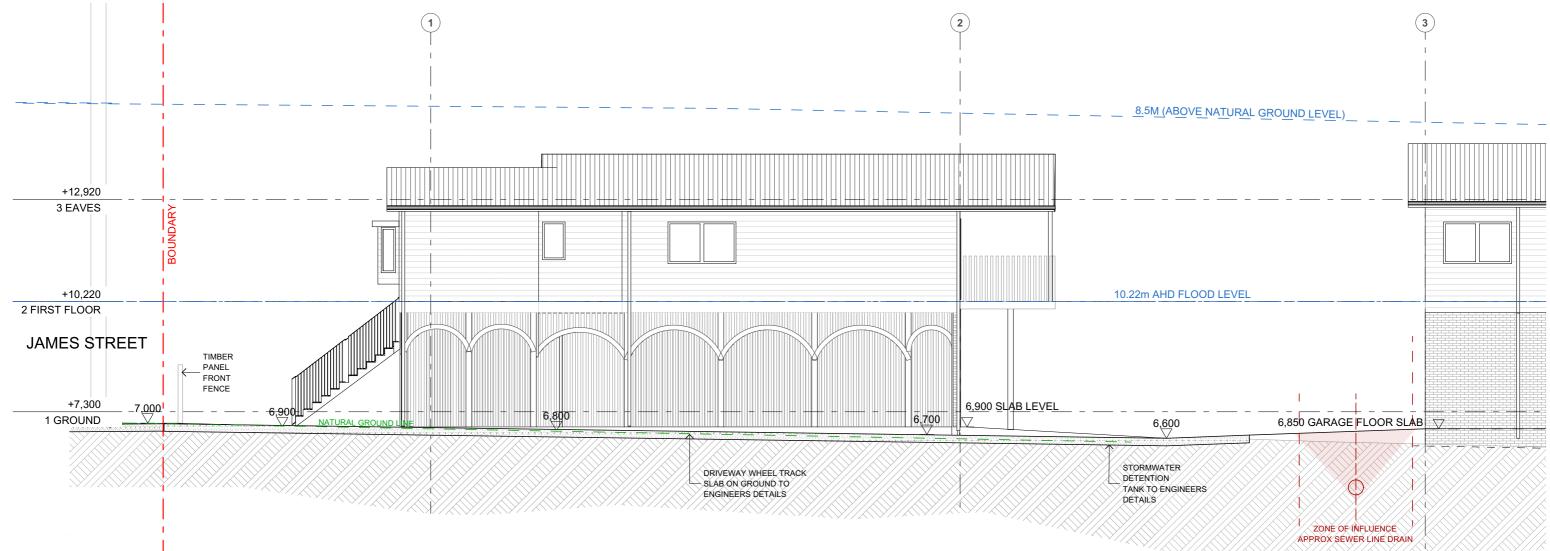
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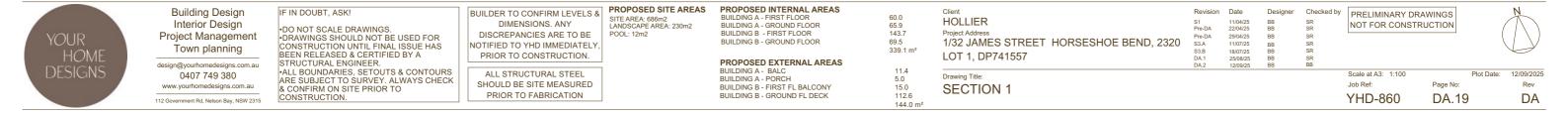
BASIX AND ENERGY REQUIREMENTS TO BE FULLY ADDRESSED AND DOCUMENTED AT CC STAGE: NOMINATE ALL DOWNLIGHTS AS IC/IC-F RATED

- R2.7 INSULATION TO INTERNAL BATHROOM WALLS
- R6.0 INSULATION TO SUSPENDED FRAMED FLOOR
- R6.0 CEILING INSULATION TO ALL FLOORS (EXCLUDING GARAGE)
- REFLECTIVE WALL WRAP TO ALL EXTERNAL WALLS (CLASS 4 IF REQUIRED FOR CONDENSATION)
- R2.7 EXTERNAL WALL INSULATION (EXCLUDING GARAGE)
- R1.3 REFLECTIVE BLANKET TO ROOF
- 2 X CEILING FANS TO KITCHEN/LIVING (MIN 1800MM DIA)
- CEILING FANS TO MASTER, BED 2, BED 3 (MIN 1200MM DIA)
- R2.3 / 50MM INSULATION UNDER SLAB ON GROUND (EXCL. LAUNDRY & GARAGE)
- THERMALLY BROKEN DOUBLE GLAZED LOW-E WINDOWS/DOORS (EXCL. GARAGE, LAUNDRY, BATHROOM)
- R2.3 INSULATION TO ENTRY WALLS ADJOINING WORKSHOP & GARAGE
- R2.7 INSULATION TO LAUNDRY/ENTRY & ENTRY/SUBFLOOR WALLS
- 35MM XCEM ALPHAFLOOR TO SUSPENDED FLOOR
- 25MM XPS CORE INSULATED ENTRY DOOR
- R1.3 REFLECTIVE BLANKET TO GARAGE ROOF



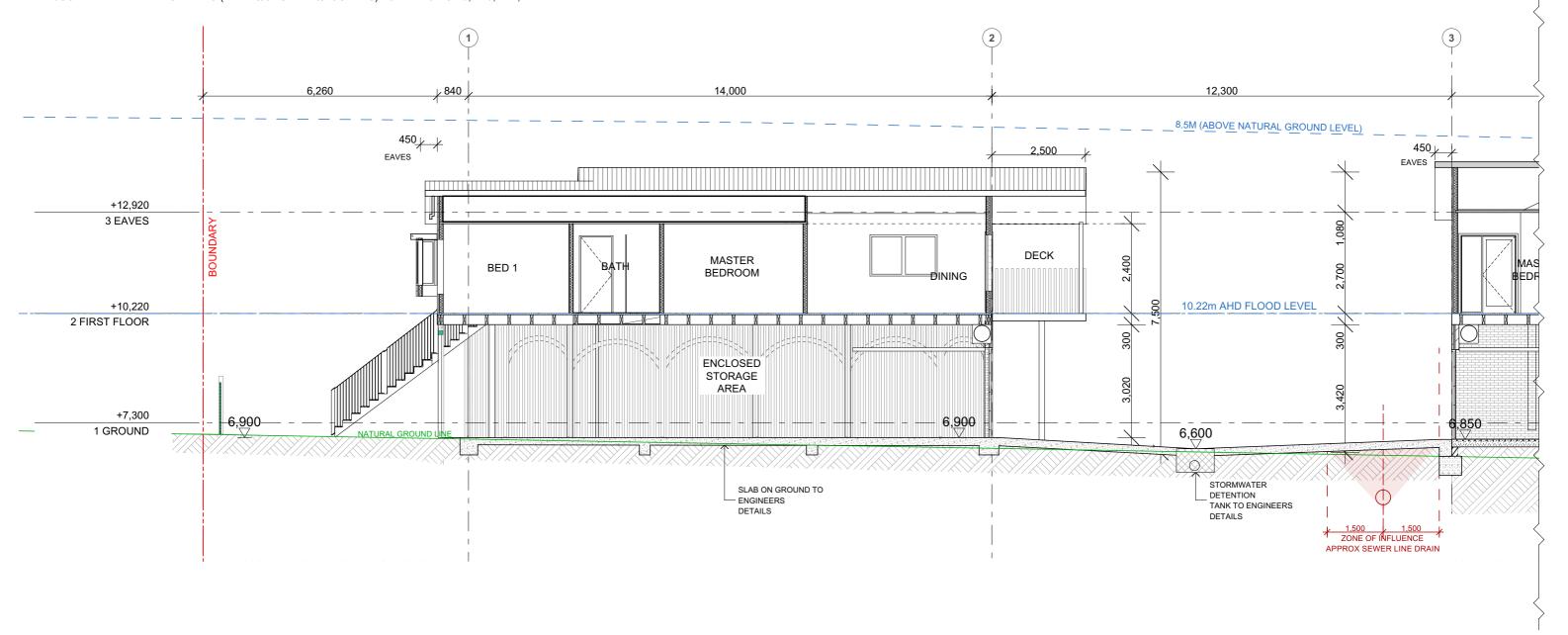


SECTION 1 - DRIVEWAY RPOFILE 1:100



BASIX AND ENERGY REQUIREMENTS TO BE FULLY ADDRESSED AND DOCUMENTED AT CC STAGE: NOMINATE ALL DOWNLIGHTS AS IC/IC-F RATED

- R2.7 INSULATION TO INTERNAL BATHROOM WALLS
- R6.0 INSULATION TO SUSPENDED FRAMED FLOOR
- R6.0 CEILING INSULATION TO ALL FLOORS (EXCLUDING GARAGE)
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- THERMALLY BROKEN DOUBLE GLAZED LOW-E WINDOWS/DOORS (EXCL. GARAGE, LAUNDRY, BATHROOM)
- R2.3 INSULATION TO ENTRY WALLS ADJOINING WORKSHOP & GARAGE
- R2.7 INSULATION TO LAUNDRY/ENTRY & ENTRY/SUBFLOOR WALLS
- 35MM XCEM ALPHAFLOOR TO SUSPENDED FLOOR
- 25MM XPS CORE INSULATED ENTRY DOOR
- R1.3 REFLECTIVE BLANKET TO GARAGE ROOF
- ADJUSTABLE EXTERNAL SHADING (BLINDS/SHUTTERS/LOUVRES) TO WINDOWS B9, B10, B11, B12





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NOTIFIED TO YHD IMMEDIATELY.

PRIOR TO CONSTRUCTION.

PROPOSED SITE AREAS LANDSCAPE AREA: 230m2

PROPOSED INTERNAL AREAS BUILDING A - FIRST FLOOR BUILDING A - GROUND FLOOR BUILDING B - FIRST FLOOR BUILDING B - GROUND FLOOR PROPOSED EXTERNAL AREAS BUILDING A - BALC BUILDING A - PORCH BUILDING B - FIRST FL BALCONY BUILDING B - GROUND FL DECK

65.9 143.7 5.0 15.0 112.6

SEC

HOLLIER 1/32 JAMES STREET HORSESHOE BEND, 2320 LOT 1, DP741557

11/04/25 22/04/25 29/04/25 11/07/25 18/07/25 25/08/25

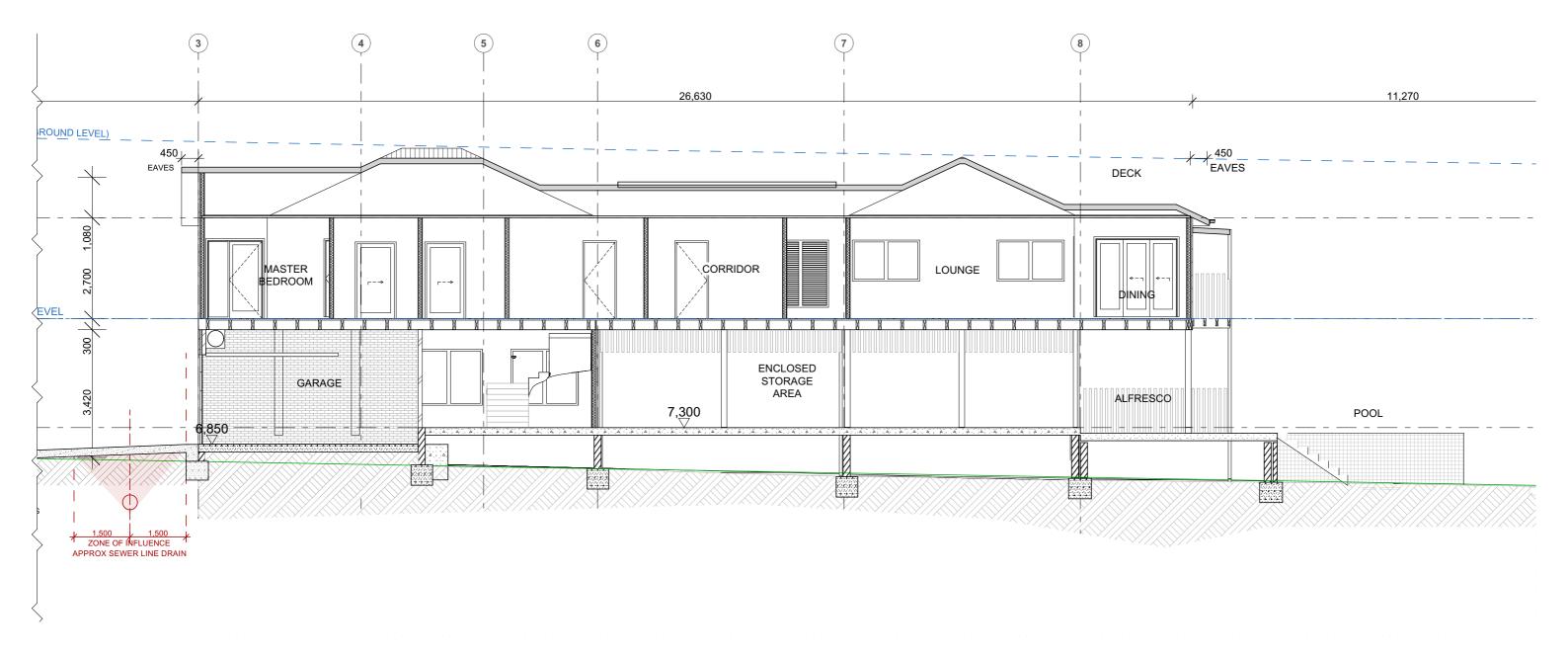
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	DA.2	12/09/25	BB	BB				
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- R2.7 INSULATION TO INTERNAL BATHROOM WALLS
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- R6.0 CEILING INSULATION TO ALL FLOORS (EXCLUDING GARAGE)
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- R2.7 INSULATION TO LAUNDRY/ENTRY & ENTRY/SUBFLOOR WALLS
- 35MM XCEM ALPHAFLOOR TO SUSPENDED FLOOR
- 25MM XPS CORE INSULATED ENTRY DOOR
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POOL: 12m2

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PROPOSED EXTERNAL AREAS BUILDING A - BALC BUILDING A - PORCH BUILDING B - FIRST FL BALCONY BUILDING B - GROUND FL DECK

60.0 65.9 143.7 5.0 15.0 112.6 Drawing Title

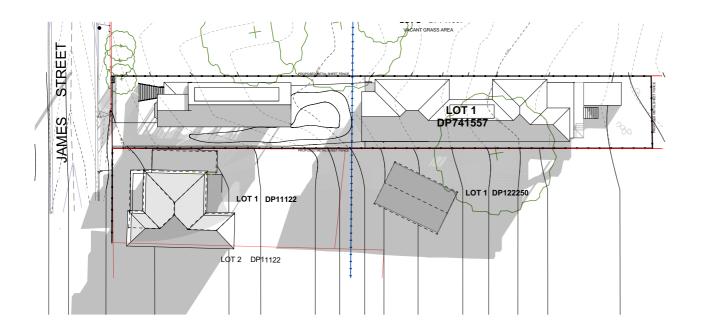
HOLLIER 1/32 JAMES STREET HORSESHOE BEND, 2320 LOT 1, DP741557

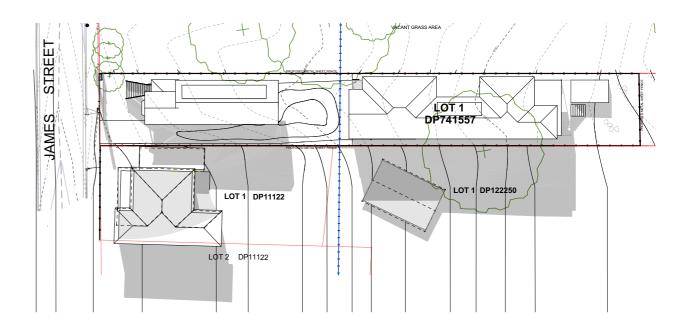
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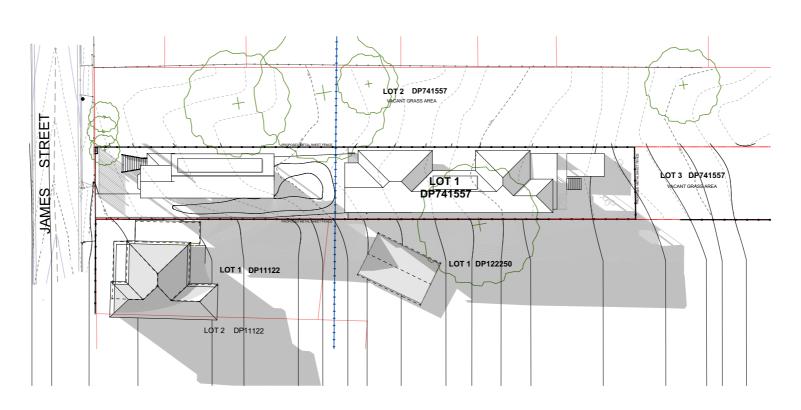


2011, 21111001	DA.2	12/09/25	BB	BB			
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SECTION 2 - SHEET 2					Job Ref:	Page No:	Rev
OLOTION 2 - OTILLT 2					VHD-860	DΔ 21	$D\Delta$





12 noon WINTER SOLCE 9am WINTER SOLTICE



3pm WINTER SOLTICE

POOL: 12m2



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PROPOSED INTERNAL AREAS BUILDING A - FIRST FLOOR BUILDING A - GROUND FLOOR BUILDING B - FIRST FLOOR BUILDING B - GROUND FLOOR

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60.0 65.9 143.7 69.5 339.1 m²

HOLLIER 1/32 JAMES STREET HORSESHOE BEND, 2320 LOT 1, DP741557

SHADOW DIAGRAMS

Revision Date
S1 11/04/25
Pre-DA 22/04/25
Pre-DA 29/04/25
S3.A 11/07/25
S3.B 18/07/25
DA.1 25/08/25
DA.2 12/09/25

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Scale at A3: 12/09/2025 Job Ref: YHD-860 DA DA.22





















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PROPOSED INTERNAL AREAS
BUILDING A - FIRST FLOOR
BUILDING A - GROUND FLOOR
BUILDING B - FIRST FLOOR
BUILDING B - GROUND FLOOR PROPOSED SITE AREAS SITE AREA: 686m2 LANDSCAPE AREA: 230m2 POOL: 12m2

PROPOSED EXTERNAL AREAS BUILDING A - BALC BUILDING A - PORCH BUILDING B - FIRST FL BALCONY BUILDING B - GROUND FL DECK

60.0 65.9 143.7 69.5 339.1 m²

Client HOLLIER

PRECEDENT / CONCEPT IMAGES

1/32 JAMES STREET HORSESHOE BEND, 2320 LOT 1, DP741557

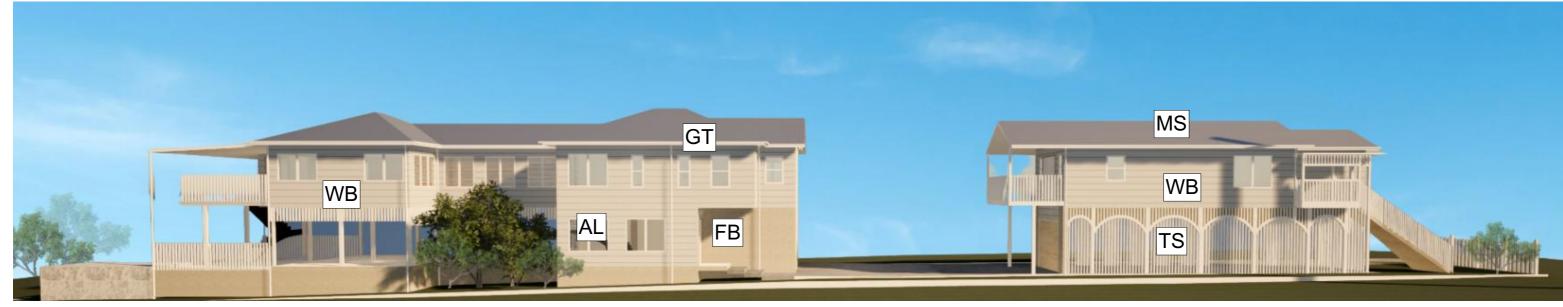
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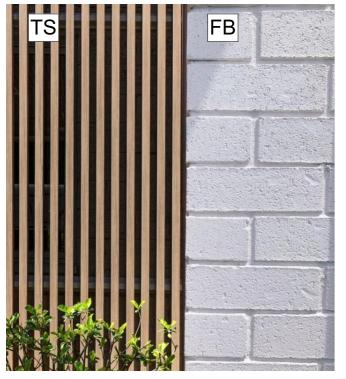
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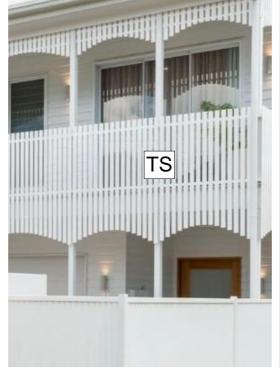
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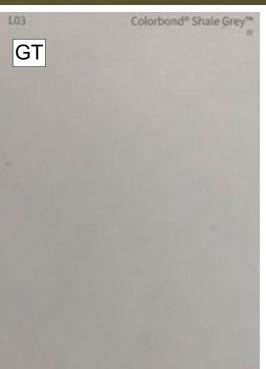
CODE	ELEMENT	MATERIAL / PRODUCT	COLOUR / FINISH	NOTES
AL	DOORS & WINDOWS	POWDER-COATED ALUMINUM FRAMES	WHITE	HAMPTONS-STYLE PROPORTIONS
FB	GARAGE WALLS (EXTERNAL) & FOUNDATION WALL	FACE BRICK	CREAM	TRADITIONAL OR PAINTED CREAM FACE BRICK
FC	FASCIA BOARD	TIMBER OR FIBRE CEMENT	WHITE	PAINTED FASCIA BOARD
GT	GUTTERS & DOWNPIPES	COLORBOND OR SIMILAR	MATCH ROOF / SHALE GREY	TO MATCH ROOF SHEETING
MF	SIDE BOUNDARY FENCE	METAL PANEL FENCE	SHALE GREY	1800MM HIGH
MS	METAL ROOF SHEETING	COLORBOND LONGLINE PROFILE	SHALE GREY	METAL ROOF SHEETING
TBS	FRONT BOUNDARY FENCE	TIMBER PICKET	NATURAL TIMBER	1200MM HIGH
TIM	TIMBER BALUSTRADE	TIMBER	WHITE (PAINTED)	HAMPTONS-STYLE BALUSTRADE
TS	TIMBER BATTEN SCREEN & BRACKETS	TIMBER (DECORATIVE)	WHITE (PAINTED)	VERTICAL BATTENS FOR SCREENING
WB	EXTERNAL WALL CLADDING	JAMES HARDIE LINEA 150MM WEATHERBOARD OR SIMILAR	WHITE	HORIZONTAL PROFILE, PAINTED WHITE

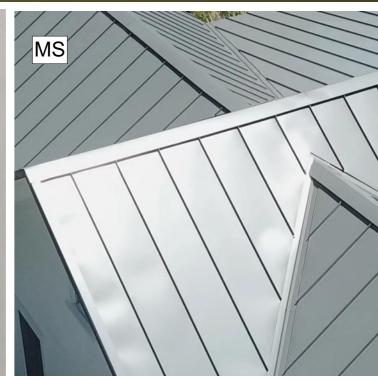














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BUILDER TO CONFIRM LEVELS &

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PROPOSED SITE AREAS SITE AREA: 686m2 LANDSCAPE AREA: 230m2

PROPOSED INTERNAL AREAS BUILDING A - FIRST FLOOR BUILDING A - GROUND FLOOR BUILDING B - FIRST FLOOR POOL: 12m2 BUILDING B - GROUND FLOOR

PROPOSED EXTERNAL AREAS BUILDING A - BALC BUILDING A - PORCH BUILDING B - FIRST FL BALCONY BUILDING B - GROUND FL DECK

60.0 65.9 143.7 69.5 339.1 m²

HOLLIER 1/32 JAMES STREET HORSESHOE BEND, 2320

LOT 1, DP741557

Revision Date
S1 11/04/25
Pre-DA 22/04/25
Pre-DA 29/04/25
S3.A 11/07/25
S3.B 18/07/25
DA.1 25/08/25
DA.2 12/09/25

PRELIMINARY DRAWINGS NOT FOR CONSTRUCTION

DA

COLOURS & MATERIALS SCHEDULE

Scale at A3: Job Ref: YHD-860

12/09/2025 DA.24

GLAZING																
SCHEDULE				+									†			
30112332																
ew from Reveal (External) Side	1,800	4 900 A	* 900 *	1,800		430	1,200	430	* 300 * 4	7 ₆₀₀ ×	**************************************	1,800	2,100	1,500	1,500	8 + 1,500
ID A1	A2	A3	A4	A5	A6	A7	A8	A9	B1	B2	В3	B4	B5	В6	В7	B8
Overall Height (m) 1.10	1.10	1.50	1.50	1.10	1.00	1.20	1.20	1.20	1.00	1.00	1.00	1.80	1.80	1.80	1.80	1.80
Overall Width (m) 1.80	1.80	0.90	0.90	1.80	0.60	0.43	1.20	0.43	0.90	0.60	0.60	1.80	2.10	1.50	1.50	1.50
Sill Height (mm) 1,000	1,000	600	600	1,000	1,100	300	300	300	1,100	1,100	1,100	300	300	300	300	300
V/D Nominal Head Height 2,100	2,100	2,100	2,100	2,100	2,100	1,500	1,500	1,500	2,100	2,100	2,100	2,100	2,100	2,100	2,100	2,100
Frame Type Aluminium	Aluminium	Aluminium	Aluminium	Aluminium	Aluminium	Aluminium	Aluminium	Aluminium	Aluminium	Aluminium		Aluminium	Aluminium	Aluminium	Aluminium	Aluminium
Frame Finish White	White	White	White	White	White	White	White	White	White	White	White	White	White	White	White	White
Operation Double Hung	Double Hung	Double Hung	Double Hung	Double Hung	Double Hung	Double Hung	Double Hung	Double Hung	Double Hung	Double Hung	Hung	Double Hung	Double Hung	Double Hung		Double Hung
Glazing Requirements TBC	TBC	TBC	TBC	TBC	TBC	TBC	TBC	TBC	TBC	TBC		TBC	TBC	TBC	TBC	TBC
Hardware TBC	TBC	TBC	TBC	TBC	TBC	TBC	TBC	TBC	TBC	TBC	TBC	TBC	TBC	TBC	TBC	TBC
Notes Surface Area (m2) 2.0	2.0	1.4	1.4	2.0	0.6	0.5	÷				0.6		3.8	2.7		
	4						1.4	0.5	0.9	0.6		3.2		151	2.7	2.7
w from Reveal (External) Side	1,800	, 1,100 ±	1,800	1.800 x		800	: 1.4 [1,800	1,100		0.0	3.2 1 2 1 2 1 2 1 2 1 2 1 2 1 2 1 2 1 2 1	1,800		1,800	7001-1
Z,100	→ 1 B10	**************************************	1,800	1,800 + B12 B1		1,100			7 001-1-1-4-4 2 B15	— 1.	1,100	100g/ 1 900 /	1,800 / S	1,800 B18	1,800 B19	801 BG1
ID B9 Overall Height (m) 1.50	B10 1.10	B11 1.10	1,800	1,800 + B12 B1 1.10 1.	1 13	1,100	B14 1.10		B15	1 , 1, 1	1,100	# 900 # B16 1.50	1.800 / S	H18 1.10	B19 1.10	BG1 1.50
ID B9 Overall Height (m) 1.50 Overall Width (m) 2.10	B10 1.10 1.80	B11 1.10 1.80	1,800	B12 B1 1.10 1.180 1.80	13 10 80	1,100	B14 1.10 1.80		B15 1.10 1.80	1, 1, 1, 1, 1, 1, 1, 1, 1, 1, 1, 1, 1, 1	1,100	B16 1.50 0.90	B17 1.10 1.80	B18 1.10 1.80	B19 1.10 1.80	BG1 1.50 1.80
ID B9 Overall Height (m) 1.50 Overall Width (m) 2.10 Sill Height (mm) 650	B10 1.10 1.80 1,000	B11 1.10 1.80 1,000	1,800	B12 B1 1.800 1.1 1.80 1.1 1,000 1,	13 10 80	1,100	B14 1.10 1.80 1,000		B15 1.10 1.80	1.3 3.0 0.0 0.0	1,100	B16 1.50 0.90 600	B17 1.10 1.80 1,000	B18 1.10 1.80 1,000	B19 1.10 1.80 1,000	BG1 1.50 1.80 600
ID B9 Overall Height (m) 1.50 Overall Width (m) 2.10 Sill Height (mm) 650 I/D Nominal Head Height 2,150	B10 1.10 1.80	B11 1.10 1.80	1,800	B12 B1 1.800 1.1 1.80 1.1 1,000 1,2,100 2,	13 10 80	1,100	B14 1.10 1.80		B15 1.10 1.80 1,00 2,10	1.3 3.0 0.0 0.0	1,100	B16 1.50 0.90	B17 1.10 1.80	B18 1.10 1.80	B19 1.10 1.80	BG1 1.50 1.80
ID B9 Overall Height (m) 1.50 Overall Width (m) 2.10 Sill Height (mm) 650	B10 1.10 1.80 1,000 2,100	B11 1.10 1.80 1,000 2,100	1,800	B12 B1 1.800 1.1 1.80 1.1 1.80 1.1 1,000 1,1 2,100 2, Aluminium Al	13 10 80 0000	1,100	B14 1.10 1.80 1,000 2,100		B15 1.10 1.80 1,00 2,10	1.3 3.0 0.0 0.0 0.0 0.0 minium	1,100	B16 1.50 0.90 600 2,100	B17 1.10 1.80 1,000 2,100	B18 1.10 1.80 1,000 2,100	B19 1.10 1.80 1,000 2,100	BG1 1.50 1.80 600 2,100
ID B9 Overall Height (m) 1.50 Overall Width (m) 2.10 Sill Height (mm) 650 I/D Nominal Head Height 2,150 Frame Type Aluminium	B10 1.10 1.80 1,000 2,100 Aluminium	B11 1.10 1.80 1,000 2,100 Aluminiu	1.800 J	B12 B1 1.10 1. 1.80 1.4 1,000 1, 2,100 2, Aluminium All White W	13 10 80 000 100 uminium	1,100	B14 1.10 1.80 1,000 2,100 Aluminium	1,800	B15 1.10 1.80 1,00 2,10 Alur Whi	1.3 3.0 0.0 0.0 0.0 0.0 minium	1,100	B16 1.50 0.90 600 2,100 Aluminium	B17 1.10 1.80 1,000 2,100 Aluminium	B18 1.10 1.80 1,000 2,100 Aluminium	B19 1.10 1.80 1,000 2,100 Aluminium	BG1 1.50 1.80 600 2,100 Aluminium
ID B9 Overall Height (m) 1.50 Overall Width (m) 2.10 Sill Height (mm) 650 I/D Nominal Head Height 2,150 Frame Type Aluminium Frame Finish White	B10 1.10 1.80 1,000 2,100 Aluminium White	B11 1.10 1.80 1,000 2,100 Aluminiu White	1.800 J	B12 B1 1.10 1. 1.80 1.4 1,000 1, 2,100 2, Aluminium All White W	13 10 80 000 100 uminium hite	1,100	B14 1.10 1.80 1,000 2,100 Aluminium White	1,800	B15 1.10 1.80 1,00 2,10 Alur Whi	1. 1. 1. 1. 1. 1. 1. 1. 1. 1.	1,100	B16 1.50 0.90 600 2,100 Aluminium White	B17 1.10 1.80 1,000 2,100 Aluminium White	B18 1.10 1.80 1,000 2,100 Aluminium White	B19 1.10 1.80 1,000 2,100 Aluminium White	BG1 1.50 1.80 600 2,100 Aluminium White
ID B9 Overall Height (m) 1.50 Overall Width (m) 2.10 Sill Height (mm) 650 I/D Nominal Head Height 2,150 Frame Type Aluminium Frame Finish White Operation Double Hung	B10 1.10 1.80 1,000 2,100 Aluminium White Double Hung	B11 1.10 1.80 1,000 2,100 Aluminiu White Double H	1.800 J	B12 B1 1.800 1.1 1.80 1.3 1,000 1,1 2,100 2, Aluminium Ali White W Double Hung Do	13 10 80 000 100 uminium hite buble Hung	1,100	B14 1.10 1.80 1,000 2,100 Aluminium White Double Hung	1,800	B15 1.10 1.80 1,00 2,10 Alur Whi	1. 1. 1. 1. 1. 1. 1. 1. 1. 1.	1,100	B16 1.50 0.90 600 2,100 Aluminium White Double Hung	B17 1.10 1.80 1,000 2,100 Aluminium White Double Hung	B18 1.10 1.80 1,000 2,100 Aluminium White Double Hung	B19 1.10 1.80 1,000 2,100 Aluminium White Double Hung	BG1 1.50 1.80 600 2,100 Aluminium White Double Hung
ID B9 Overall Height (m) 1.50 Overall Width (m) 2.10 Sill Height (mm) 650 I/D Nominal Head Height 2,150 Frame Type Aluminium Frame Finish White Operation Double Hung Glazing Requirements TBC	B10 1.10 1.80 1,000 2,100 Aluminium White Double Hung TBC	B11 1.10 1.80 1,000 2,100 Aluminiu White Double H	1.800 J	B12 B1 1.800 1.1 1.80 1.3 1,000 1,1 2,100 2, Aluminium Ali White W Double Hung Do	13 10 80 000 100 uminium hite buble Hung	1,100	B14 1.10 1.80 1,000 2,100 Aluminium White Double Hung	1,800	B15 1.10 1.80 1,00 2,10 Alur Whi	1. 1. 1. 1. 1. 1. 1. 1. 1. 1.	1,100	B16 1.50 0.90 600 2,100 Aluminium White Double Hung TBC	B17 1.10 1.80 1,000 2,100 Aluminium White Double Hung TBC	B18 1.10 1.80 1,000 2,100 Aluminium White Double Hung TBC	B19 1.10 1.80 1,000 2,100 Aluminium White Double Hung TBC	BG1 1.50 1.80 600 2,100 Aluminium White Double Hung TBC

View from Reveal (External) Side	1,800	2.100	* 900 *	* 900 * * * * * * * * * * * * * * * * *
ID	BG2	BG3	BG4	BG5
Overall Height (m)	1.50	1.80	1.50	1.50
Overall Width (m)	1.80	2.10	0.90	0.90
Sill Height (mm)	600	300	600	600
W/D Nominal Head Height	2,100	2,100	2,100	2,100
Frame Type	Aluminium	Aluminium	Aluminium	Aluminium
Frame Finish	White	White	White	White
Operation	Double Hung	Double Hung	Double Hung	Double Hung
Glazing Requirements	TBC	TBC	TBC	TBC
Hardware	TBC	TBC	TBC	TBC
Notes				
Surface Area (m2)	2.7	3.8	1.4	1.4

NOTE:

- WINDOW SIZES TAKEN FROM "BRADNAMS" WHERE
- FINAL SIZES TO BE CHECKED & CONFIRMED BY BUILDER / SUPPLIER AND ANY ALTERATIONS ARE TO BE NOTIFIED TO THE DESIGNER.



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PROPOSED SITE AREAS SITE AREA: 686m2 LANDSCAPE AREA: 230m2 POOL: 12m2

PROPOSED INTERNAL AREAS BUILDING A - FIRST FLOOR BUILDING A - GROUND FLOOR BUILDING B - FIRST FLOOR BUILDING B - GROUND FLOOR

PROPOSED EXTERNAL AREAS BUILDING A - BALC BUILDING A - PORCH BUILDING B - FIRST FL BALCONY BUILDING B - GROUND FL DECK

60.0 65.9 143.7 69.5 339.1 m²

HOLLIER 1/32 JAMES STREET HORSESHOE BEND, 2320 LOT 1, DP741557

WINDOW SCHEDULE

Revision Date
S1 11/04/25
Pre-DA 22/04/25
Pre-DA 29/04/25
S3.A 11/07/25
S3.B 18/07/25
DA.1 25/08/25
DA.2 21/09/25

PRELIMINARY DRAWINGS NOT FOR CONSTRUCTION



Scale at A3: Job Ref: Page No: YHD-860 DA.25

12/09/2025 DA

DOOR SCHEDULE

	2,040	2,100	1,348	3,000	2,210	2,100
ID	D01	D02	D03	D03	D04	D05
Overall width	820	2,100	1,348	3,000	2,210	1,500
Overall height	2,040	2,100	2,100	2,100	2,100	2,100
Operation	Hinged	Sliding	Hinged	Sliding	Sliding	Hinged
Frame Type		Aluminium	Aluminium	Aluminium	Aluminium	Aluminium
Frame Finish		White	White	White	White	White
Leaf Finish	White	White	White	White	White	White
Notes						

NOTE:

- WINDOW SIZES TAKEN FROM "BRADNAMS" WHERE POSSIBLE.

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PROPOSED INTERNAL AREAS BUILDING A - FIRST FLOOR BUILDING A - GROUND FLOOR BUILDING B - FIRST FLOOR BUILDING B - GROUND FLOOR

PROPOSED EXTERNAL AREAS
BUILDING A - BALC
BUILDING A - PORCH
BUILDING B - FIRST FL BALCONY
BUILDING B - GROUND FL DECK

60.0 65.9 143.7 69.5 339.1 m²

Client HOLLIER 1/32 JAMES STREET HORSESHOE BEND, 2320 11.4 5.0 15.0 112.6

Revision Date S1 11/04/25 Pre-DA 22/04/25 Pre-DA 29/04/25 S3.A 11/07/25

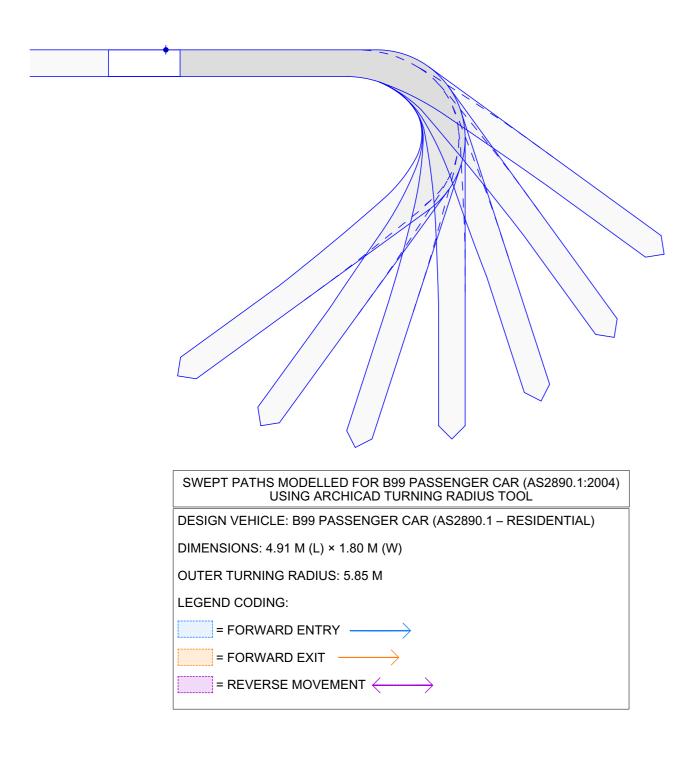
PRELIMINARY DRAWINGS NOT FOR CONSTRUCTION

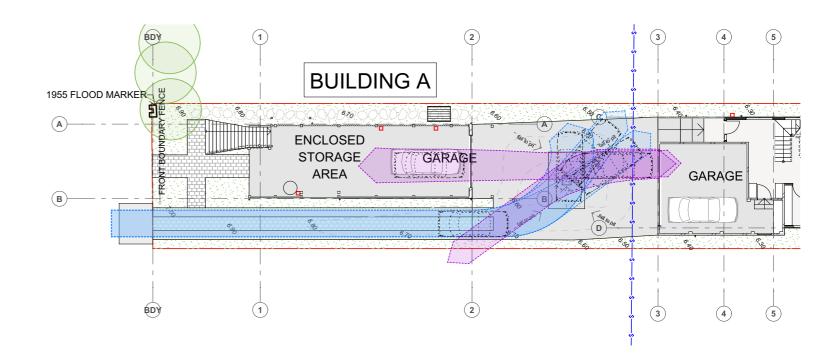


12/09/2025

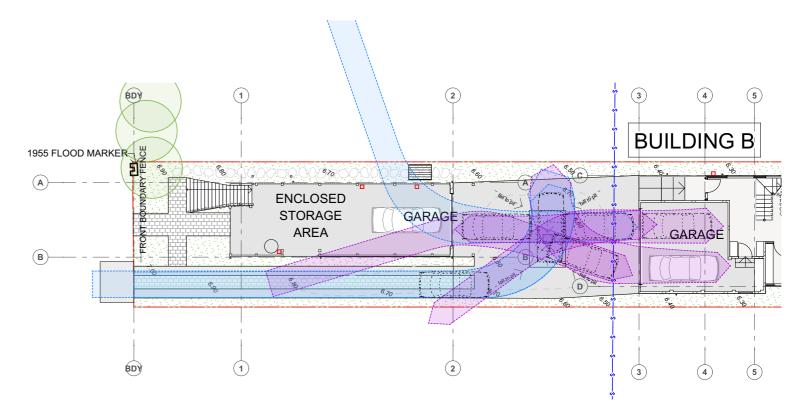
DA

LOT 1, DP	741557	S3.B DA.1 DA.2	18/07/25 25/08/25 12/09/25	BB BB BB	SR SR BB			Ì
Drawing Title:						Scale at A3:	PI	lot Date:
	CHEDULE					Job Ref:	Page No:	
DOON	CHLDOLL					VHD-860	DA 26	





B99 SWEPT PATHS FOR BUILDING A 1:250



B99 SWEPT PATHS FOR BUILDING A 1:250

SWEPT PATHS FOR B99 PASSENGER CAR 1:250

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BUILDER TO CONFIRM LEVELS &

PROPOSED SITE AREAS SITE AREA: 686m2 LANDSCAPE AREA: 230m2 POOL: 12m2

PROPOSED INTERNAL AREAS BUILDING A - FIRST FLOOR BUILDING A - GROUND FLOOR BUILDING B - FIRST FLOOR BUILDING B - GROUND FLOOR

60.0 65.9 143.7

HOLLIER 1/32 JAMES STREET HORSESHOE BEND, 2320 LOT 1, DP741557

11/04/25 22/04/25 29/04/25 11/07/25 18/07/25 25/08/25

PRELIMINARY DRAWINGS NOT FOR CONSTRUCTION

Job Ref:



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VEHICLE SWEPT PATHS DIAGRAM

Scale at A3: 1:250

DA YHD-860 DA.27