PROPOSED MULTI DWELLING HOUSING AND TWO LOT SUBDIVISION, No.45 RAYMOND TERRACE ROAD, EAST MAITLAND.

PLANNING REPORT INCORPORATING STATEMENT OF ENVIRONMENTAL EFFECTS

AB NELSON
& ASSOCIATES

CLIENT: MRS. C. CROESE

SITE: No.45 RAYMOND TERRACE ROAD,
EAST MAITLAND

DEVELOPMENT: MULTI DWELLING HOUSING AND
TWO LOT SUBDIVISION

PROJECT: PLANNING REPORT INCORPORATING
STATEMENT OF ENVIRONMENTAL EFFECTS

PREPARED BY: ALLAN B NELSON,
A. B. NELSON AND ASSOCIATES PTY. LIMITED.
P.O. BOX 4040,
RATHMINES, NSW 2283

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ALLAN B. NELSON AUGUST 2025

ACN 056 036 894
ABN. 17 056 036

AB NELSON
& ASSOCIATES

Table of Content

1.0 Introduction **1**

2.0 Development Site and Context **2**

2.1 The Development Site 2

2.2 Site Context 2

3.0 Proposed Development **3**

4.0 Planning Controls **4**

4.1 Maitland Local Environmental Plan 2011 4

4.1.1 Zoning 4

4.1.2 Lot Size 6

4.1.3 Building Height 6

4.1.4 Floor Space Ratio 7

4.1.5 Heritage Conservation 8

4.1.6 Flood Planning 8

4.1.7 Acid Sulphate Soils 9

4.1.8 Riparian and Watercourses 10

4.2 Maitland Development Control Plan 2011 11

5.0 Section 4.15 Assessment **14**

6.0 Conclusion **16**

ATTACHMENTS
A: Torren Bell Building Design Drawings
B. Proposed Subdivision Plan – Le Mottee Group

Disclaimer
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1.0 INTRODUCTION

This report has been prepared to accompany a Development Application by the owner to Maitland City Council, for the demolition of the detached garages at the rear of the existing dwelling on site and the erection of a new carport, the erection of three new detached dwellings at the rear of the site and a two-lot subdivision. The site is at No.45 Raymond Terrace Road, East Maitland and a location plan (SixMaps) of the site is provided below.

LOCATION PLAN

This report describes, at Sections 2.0 and 3.0, the site, its context and the development proposal. Relevant Planning Controls are discussed in Section 4.0. Section 5.0 provides an assessment of the proposed development against the heads of consideration in Section 4.15 of the Act, and as such, competes the required Statement of Environmental Effects.

2.0 DEVELOPMENT SITE AND CONTEXT

2.1 The Development Site

The proposed development site comprises Lot 10, Section 48 in Deposited Plan 758374 with a street address of 45 Raymond Terrace Road, East Maitland. According to DP758374 Lot 10 has a frontage to Raymond Terrace Road of 20.115 metres and also a rear boundary of the same length, a western side boundary of 88.965 metres, an eastern side boundary of 89.565 metres and a site area of some 1,801.6m^2. The development site has a crossfall of less than 1 metre from west to east across the site and a fall of some 4 metres from front to rear.

PLATE 1

View of No.45 Raymond Terrace Road, an older style weatherboard dwelling with a tiled roof.

The development site is occupied by a single storey weatherboard dwelling with a tiled roof as shown in Plate 1 above and two garages are located to the rear of that dwelling. Pedestrian access and garaging are accessed directly from the Raymond Terrace Road frontage.

2.2 Site Context

The development site is situated in an older residential area with a mix of weatherboard/brick and tile dwellings and a number of relatively modern multi dwelling developments on nearby sites. This area is a short distance to the east of the East Maitland shopping centre which houses a large range of retail, commercial and recreational enterprises.

3.0 PROPOSED DEVELOPMENT

The proposed development is detailed on the drawings by Torren Bell Building Design, a reduced set of are marked Attachment 'A', and which comprise part of the Development Application documentation. The proposed development incorporates the following elements: -

EXISTING DWELLING

Retention of the existing dwelling fronting Raymond Terrace Road. Demolition of the existing freestanding garages located behind that dwelling and removal of the existing driveway on the western side of the house leading to those garages. Construction of a new carport in line with the dwelling and a new access off Raymond Terrace Road to that carport.

NEW DWELLINGS

Construction of three (3) new detached single storey dwelling behind the existing dwelling each containing a master bedroom with walk-in robe and en-suite, two smaller bedrooms with built-in wardrobes, an open plan kitchen, dining room and living area opening directly onto a courtyard space. A double garage is provided within each dwelling adjacent to the entry porch and each garage is accessed from a new driveway running parallel to the sites' western boundary.

SUBDIVISION

The proposed development will comprise a two-lot subdivision with a smaller lot housing the existing dwelling fronting Raymond Terrace Road while the rear lot will house the new dwellings.

The three new dwellings are simple single storey structures of brick veneer construction with metal roofs and given the fall of the land away from Raymond Terrace Road will be largely hidden from public view.

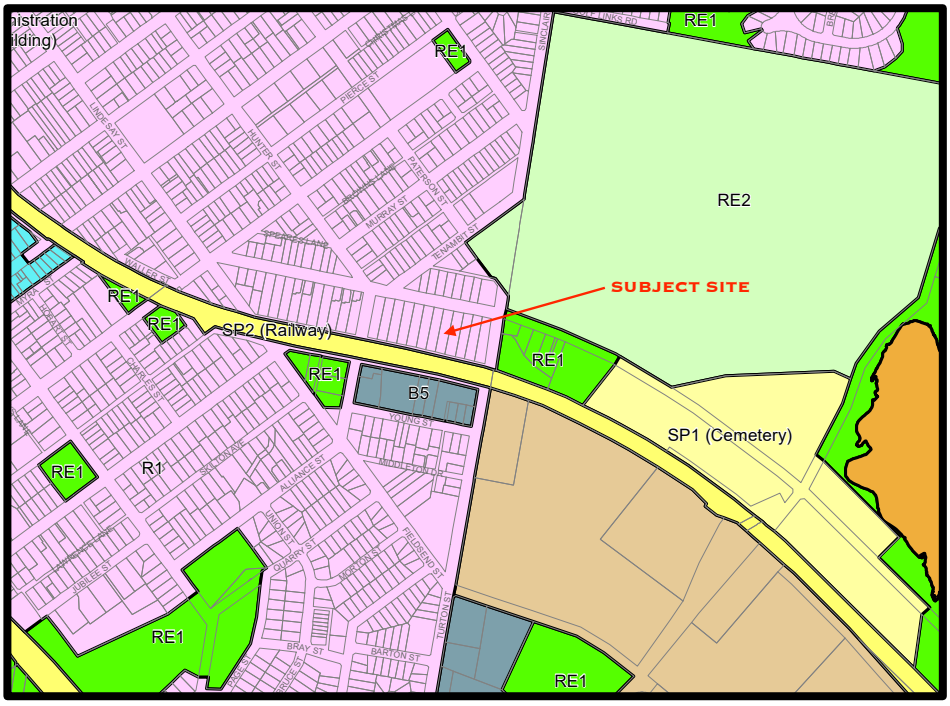
4.0 PLANNING CONTROLS

4.1 Maitland Local Environmental Plan 2011

Maitland Local Environmental Plan 2011 (MLEP-2011) commenced on 16th November 2011. Those provisions of MLEP-2011 relevant to the proposed development and or the site of the development are addressed below.

4.1.1 Zoning (Cl. 2.3)

Under MLEP-2011 the land that comprises the development site is shown on the relevant Land Zoning Map (ref. Sheet LZN_004D), an extract of which is shown below, as being Zoned R1 General Residential.



An extract from the zoning table for the R2 Low Density Residential zone appears below.

Zone R2 Low Density Residential

1 Objectives of zone

- *To provide for the housing needs of the community;*
- *To provide for a variety of housing types and densities;*
- *To enable other land uses that provide facilities or services to meet the day to day needs of residents.*

2 Permitted without consent

Home occupations

3 Permitted with consent

Attached dwellings; Bed and breakfast accommodation; Boarding houses; Building identification signs; Business identification signs; Centre-based child care facilities; Community facilities; Dwelling houses; Group homes; Home-based child care; Home industries; Hostels; Hotel or motel accommodation; Multi dwelling housing; Neighbourhood shops; Oyster aquaculture; Places of public worship; Pond-based aquaculture; Residential flat buildings; Respite day care centres; Roads; Semi-detached dwellings; Seniors housing; Serviced apartments; Shop top housing; Tank-based aquaculture; Any other development not specified in item 2 or 4

4 Prohibited

Any Agriculture; Air transport facilities; Airstrips; Amusement centres; Animal boarding or training establishments; Biosolids treatment facilities; Boat building and repair facilities; Boat launching ramps; Boat sheds; Camping grounds; Car parks; Caravan parks; Cemeteries; Charter and tourism boating facilities; Commercial premises; Correctional centres; Crematoria; Depots; Eco-tourist facilities; Entertainment facilities; Extractive industries; Farm buildings; Forestry; Freight transport facilities; Function centres; Heavy industrial storage establishments; Helipads; Highway service centres; Home occupations (sex services); Industrial retail outlets; Industrial training facilities; Industries; Information and education facilities; Jetties; Local distribution premises; Marinas; Mooring pens; Moorings; Mortuaries; Open cut mining; Passenger transport facilities; Public administration buildings; Recreation facilities (indoor); Recreation facilities (major); Registered clubs; Research stations; Restricted premises; Rural industries; Rural workers' dwellings; Service stations; Sewage treatment plants; Sex services premises; Signage; Storage premises; Tourist and visitor accommodation; Transport depots; Truck depots; Vehicle body repair workshops; Vehicle repair stations; Veterinary hospitals; Warehouse or distribution centres; Waste or resource management facilities; Water recreation structures; Water recycling facilities; Wharf or boating facilities; Wholesale supplies

The Dictionary to the MLEP-2011 contains the definitions for use in the zoning table above. Among the definitions listed in Item 3 above and contained in the Dictionary are the definitions for ***'welling house'*** and ***'multi dwelling housing'***, and those definitions read as follows: -

"dwelling house *means a building containing only one dwelling"*

and

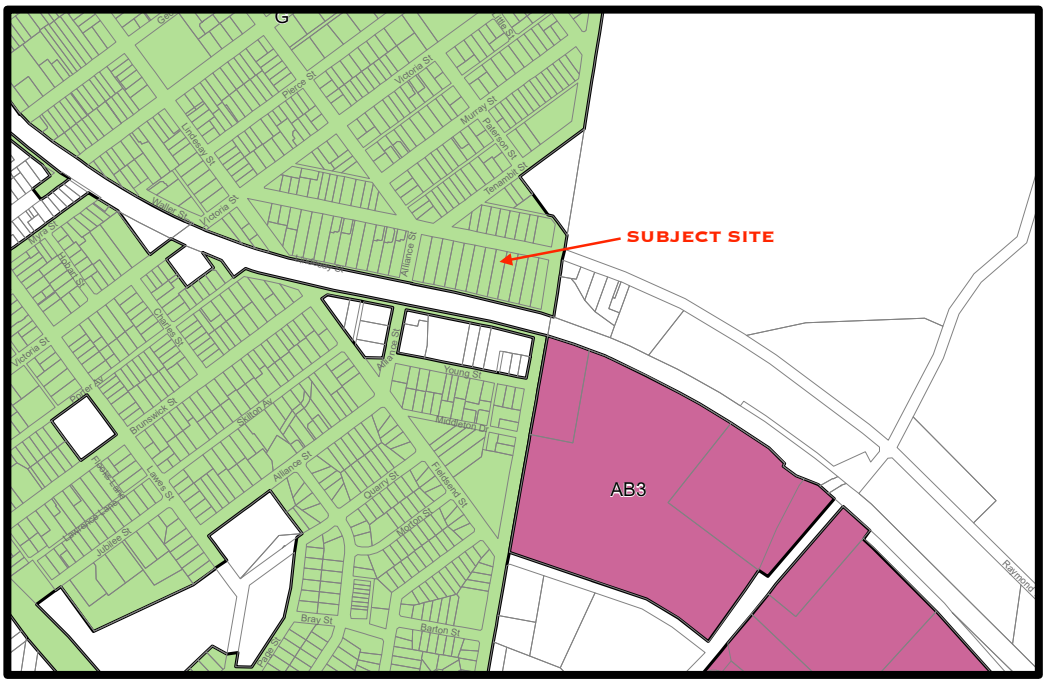
"multi dwelling housing *means 3 or more dwellings (whether attached or detached) on one lot of land each with access at ground level, but does not include a residential flat building".*

The proposed development comprises the existing dwelling and three new self-contained dwellings, all of which are detached from each other, on Lot 10 Section 48 DP758274, which is a single lot of land. As such the proposed development is by definition ***'multi***

dwelling housing' a land use specifically listed in Item 3 of the R1 General Residential land use table and therefore a development that is permitted, with consent.

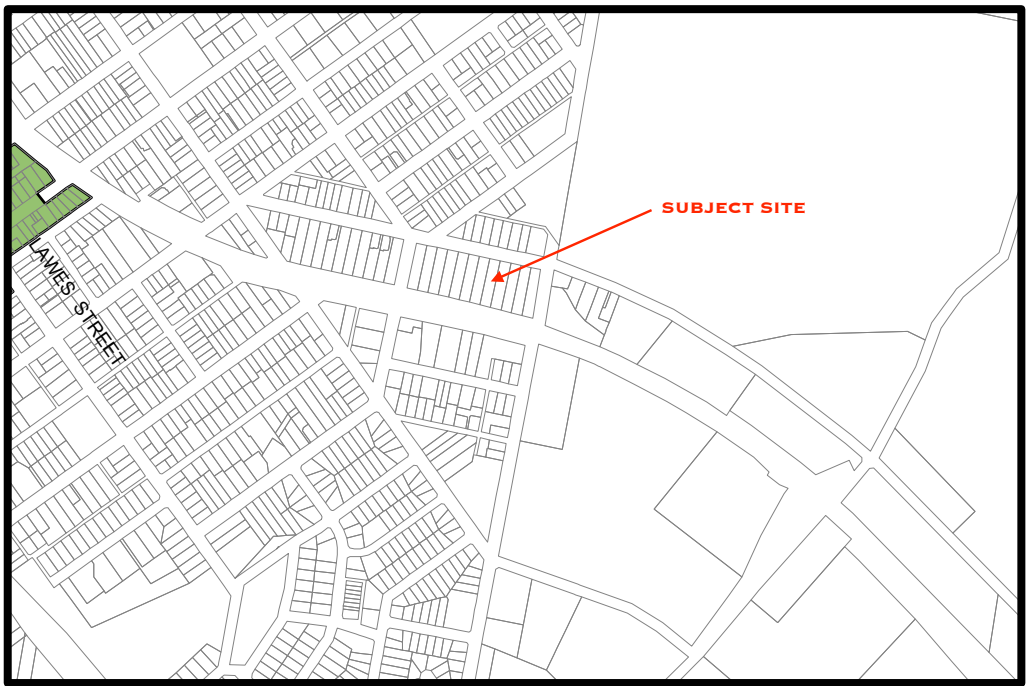
4.1.2 Lot Size (Cl. 4.1)

Under MLEP-2011 the land that comprises the development site is shown on the relevant Lot Size Map (ref. Sheet LSZ_004D), an extract of which is shown below, as being limited to a minimum Lot Size of 450m^2. The proposed subdivision as shown on the architectural Drawing 2085A-A1.03 by Torren Bell Building Design-A1.04, and in more detail on the Proposed Subdivision Plan (ref. 9714 PS-V1) by Le Mottee Group, a reduced copy of which is contained at Attachment 'B'. The proposed subdivision will result in the existing dwelling being located on Proposed Lot 1 having an area of 451m^2 while the three new dwellings will be located on Proposed Lot 2 having an area of 1,350m^2. As such both lots comply with the minimum 450m^2 lot size prescribed.



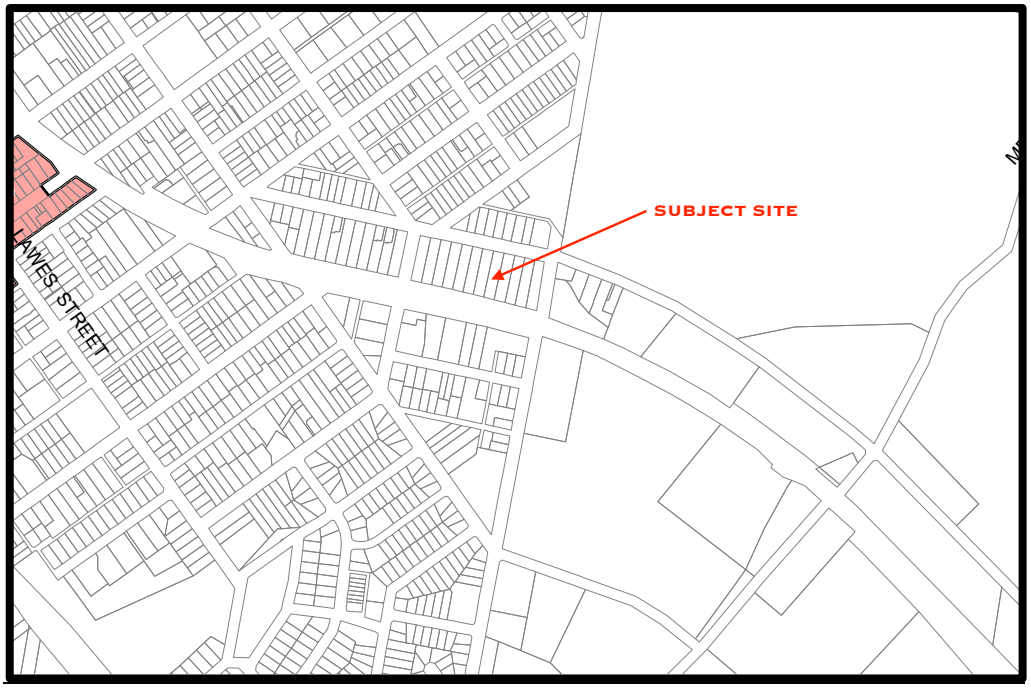
4.1.3 Building Height (Cl. 4.3)

Under MLEP-2011 the land that comprises the development site is shown on the relevant Height of Buildings Map (ref. Sheet HOB_004D), an extract of which is shown below, as NOT being limited to a maximum Building Height. The maximum Building Height however in the proposed development occurs at the main ridgeline of the House 3, located above the north-eastern corner of the laundry at which point interpolated Natural Ground Level is some RL6.0m while the ridge above has a nominated maximum level of RL12.18m producing a maximum Building Height of 6.18 metres.



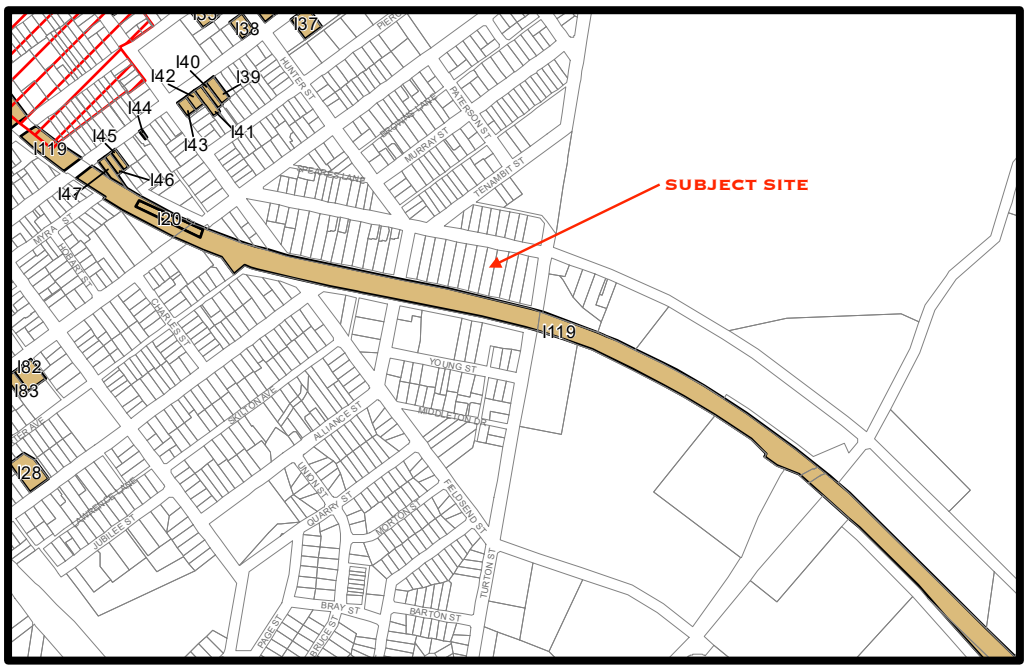
4.1.4 Floor Space Ratio (Cl. 4.4)

Under MLEP-2011 the land that comprises the development site is shown on the relevant Floor Space Ratio Map (ref. Sheet FSR_004D), an extract of which is shown below, as NOT being limited to a maximum Floor Space Ratio.



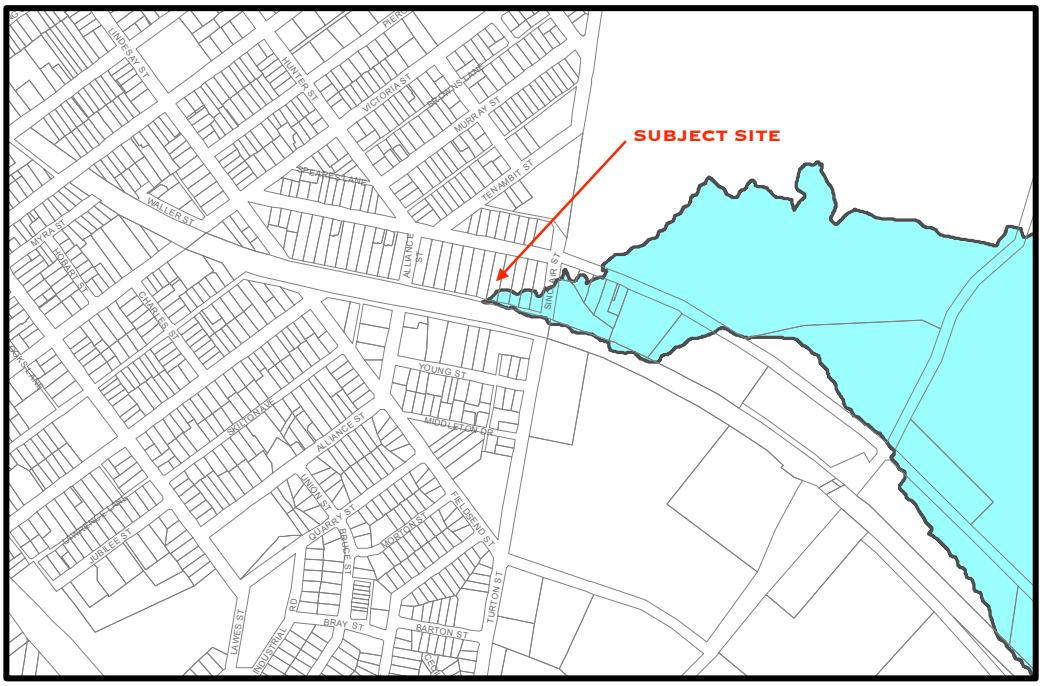
4.1.5 Heritage Conservation (Cl. 5.10)

Under MLEP-2011 the land that comprises the development site is shown on the relevant Heritage Map (ref. Sheet HER_004D), an extract of which is shown below, as not comprising a Heritage Item and not located within a Heritage Conservation Area. Item I119 – Government Railway line, an Item of Local Significance, is located adjacent to the rear boundary of the development site however the proposed development will not have any impact on it.



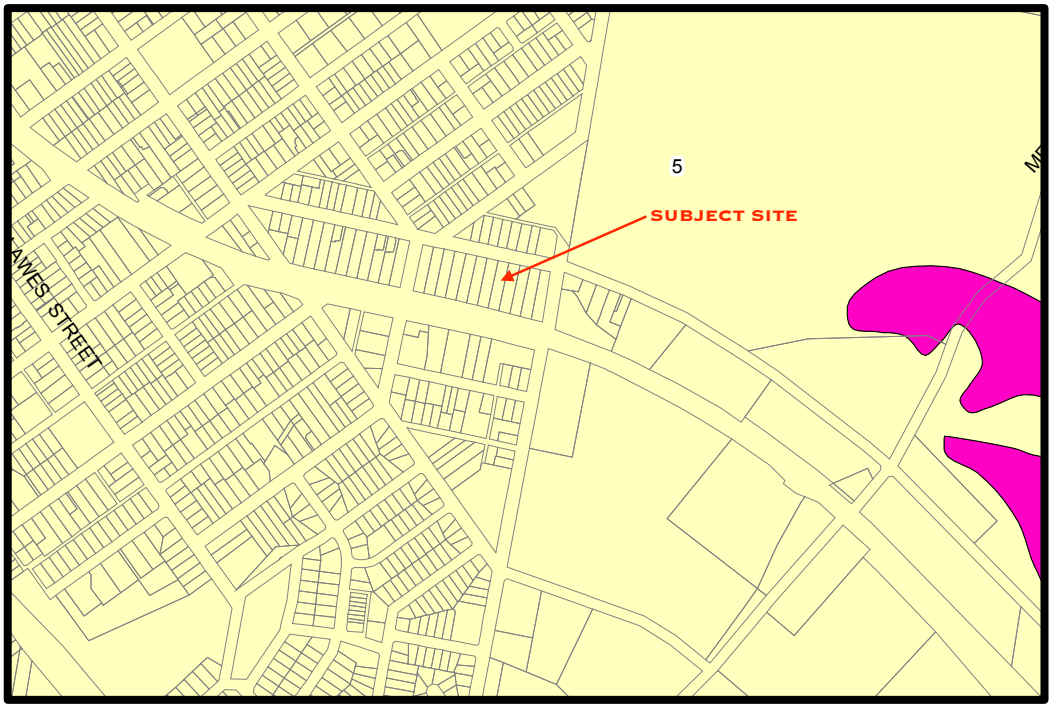
4.1.6 Flood Planning (Cl. 5.21)

Under MLEP-2011 the land that comprises the development site is shown on the relevant Heritage Map (ref. Sheet FLD_004D), an extract of which is shown below, as being impacted by flooding however the area of impact shown relates to a very small section in the south-east corner of the site, an area which is proposed to be primarily occupied by yard spaces associated with House 3, and as the development is unlikely to have any impact on flooding.



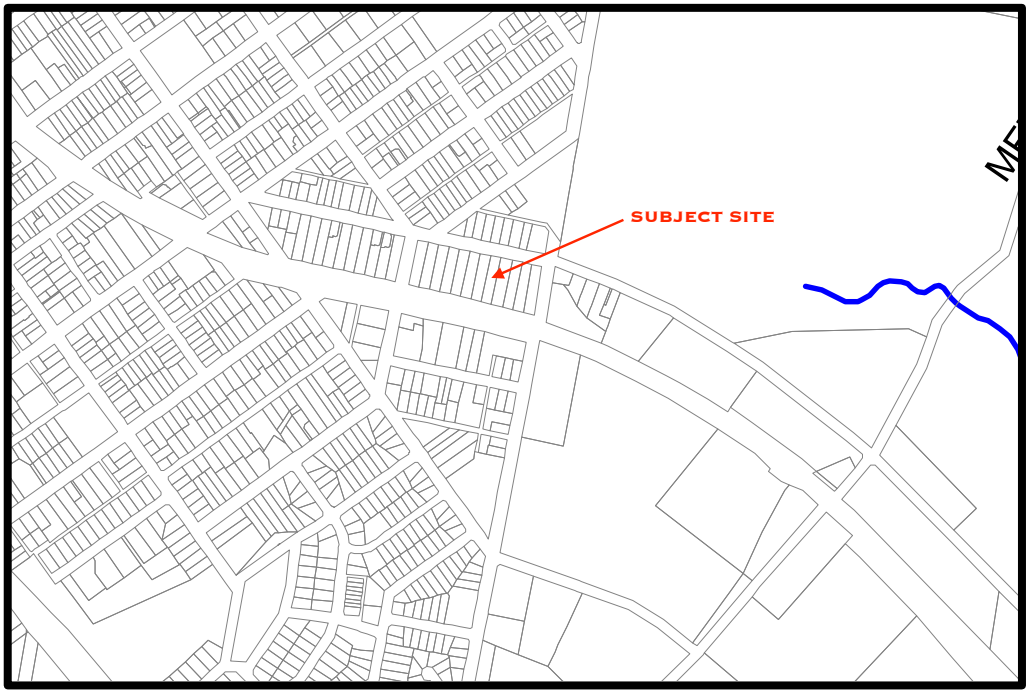
4.1.7 Acid Sulphate Soils (Cl. 7.1)

Under MLEP-2011 the land that comprises the development site is shown on the relevant Acid Sulphate Soils Map (ref. Sheet ASS_004D), an extract of which is shown below, as comprising entirely Class 5 land however Development Consent is not required as a consequence of this given the distance of the site, relative to the nearest Class 1-4 land being more than 500 metres.



4.1.8 Riparian Land and Watercourses (Cl. 7.4)

Under MLEP-2011 the land that comprises the development site is shown on the relevant Watercourse Map (ref. Sheet WCL_004), an extract of which is shown below, as not being impacted.



4.2 Maitland Development Control Plan 2011

Maitland Development Control Plan 2011 (MDCP-2011) came into force of 16th December 2011 and has been amended from time to time since. The MDCP-2011 is divided into a number of Parts and those of particular relevance to this development are addressed below.

PART B – ENVIRONMENTAL GUIDELINES

MDCP-2011 Part B provides relevant environmental controls for all development and the most significant of those applying to the site are addressed below.

B3 – Hunter River Floodplain

Control 2.3 requires that all habitable finished floors be no lower than the FPL for the site. Councils mapping system and Councils' Flood Maps from the DCP appear to show that the extreme south-east corner of the site is impacted by the 1:100yr ARI with an FPL 6.75 AHD. The proposed floor level of House 3 is nominated at RL6.98 AHD and is clearly not below that level. Notwithstanding this an enquiry made to Council by the owner of the property resulted in email advice dated 26 June 2025, copied below, stating that the property ***"... is not impacted by the 1% AEP (flood planning level".***

From: **Maitland City Council** <mycouncil@maitland.nsw.gov.au>
Date: Thu, 26 Jun 2025 at 15:56
Subject: RE: ? We've got your request number 00040551 [thread::HW3bPwjHKfqRl0Oda0aQ7ww::]
To: carlie.croese@gmail.com <carlie.croese@gmail.com>

Hi Carlie

I can confirm that the subject property is not impacted by the 1% AEP (flood planning level.

I trust this assists. Please contact Council's Duty Planner if you require further clarification.

Regards
Kristen

PART C – DESIGN GUIDELINES

MDCP-2011 Part C provides relevant design controls for all development and the most significant of those applying to the development are addressed below.

C.8 - Residential Design

5 - Street Building Setbacks (5.1, 5.6)

The front setback of the existing dwelling from Raymond Terrace Road is to be retained and is excess of 4.5 metres prescribed. Garaging for the existing dwelling is currently located in the rear yard of the property, and the redevelopment requires its demolition with provision of replacement parking in front of the dwelling. This parking needs to be provided in front of the western end of the existing dwelling to avoid impacting the dwelling or the front patio of that dwelling. As such the carport can only achieve a street setback of 5.17 metres marginally less than the prescribed 6 metres and it will also sit slightly forward of the front of that dwelling. Given that a carport is proposed and it is an open structure any adverse impacts of these variations is minimised.

6 – Side and Rear Setbacks (6.1)

The eastern side wall of all 3 proposed dwellings are less than 3.0 metres in height, and each has a corresponding side boundary setback of 1200mm well in excess of the 900mm prescribed. The rear boundary setback of House 3 is some 5.837 metres and also well in excess of the prescribed setback.

7 – Site Coverage and Unbuilt Areas (7.1)

The proposed development as detailed in the Development Summary Table at the top of Drawing 2085A-A1.02, comprising the proposed dwellings, proposed carport and driveways, has a combined 'built area' of 875.49m^2 and when combined with the existing dwelling having a floor area of some 132.8m^2 provides a total 'built area' of some 1,008.27m^2 which with a site area of 1081.6m2 produces a coverage of 56%. The 'unbuilt area' comprising Private Open Space and Communal Open Space is shown in the same Table as being some 723.43m^2 which represents a coverage of some 40.1%. Both of these figures satisfy the requirements of Table 3 for multi dwelling housing of a maximum site coverage of 70% and unbuilt area of 30%.

10 – Open Space (10.1)

The required Private Open Space areas, based on Figure 20 of the DCP and the orientation of the site and positioning of the open spaces are 60m^2 for the existing dwelling and proposed House 1, while for proposed Houses 2 and 3 an area of 35m^2 is required and all dwellings satisfy this requirement. The linear dimensions of 6x6 for the existing dwelling and 5x5 for proposed Houses 2 and 3 are also satisfied. The linear dimension of 6x6 for proposed House 1 cannot be met due to the site constraint of the

sewer main running through the site meaning that House 1 if moved further north would compromise the open space of the existing dwelling and it cannot be extended southward due to the sewer main. The space that ius provided for proposed House 1 measures some 13x3.6 and at more than twice the length required more than offsets the departure from the depth. All Private Open Space areas form a direct extension of the proposed living areas of the respective dwellings.

15 - Driveway Access and Parking (15.13, 15.14, 15.19)

Car parking is provided in the form of a double garage for each of proposed Houses 1, 2 and 3, and a carport for the existing dwelling. Two visitors parking spaces are also provided. This complies with the parking requirements and the carport for the existing dwelling is in accordance with the concession provided by 15.19 allowing a development of 3 or more dwellings to have a garage or carport of one of those dwellings directly addressing the street.

17 – Water and Energy Conservation (17.7)

Of the three proposed dwellings in the development only proposed House1 has a ground level private open space area that is located in a quadrant other than "optimum' or 'good' as such Shadow Diagrams are not technically required however they are provided as Drawings 2085A-A1.17/18. The diagrams confirm that it is only proposed House 1 that falls below the standard of 3 hours sunlight to 50% of its private open space.

5.0 SECTION 4.15 ASSESSMENT

The following is a summary assessment of the proposed development under the heads of consideration contained in Section 4.15 (formerly 79C) of the Environmental Planning and Assessment Act.

The Provisions of any Environmental Planning Instrument S. 79C(1)(a)(i)

The proposal is permissible with the consent of Council.

The Provisions of any draft Environmental Planning Instrument S. 79C(1)(a)(ii)

There are no draft Environmental Planning Instruments which affect the permissibility of the proposed development.

The Provisions of any Development Control Plans
S. 79C(1)(a)(iii)

The proposal is entirely consistent with the Development Control Plans applying to the development and the site.

Matters Prescribed by the Regulations S. 79C(1)(a)(iv)

There are no applicable matters prescribed by the Regulations other than those addressed in this report.

Likely Impacts of the Development S. 79C(1)(b)

The proposal will have no significant adverse or identifiable impacts in terms of: -

- Context and setting in that it is a form of development in an area set aside and occupied by this type of development for that purpose;
- Access, transport and parking due to the provision of adequate on-site parking and available public parking;
- The public domain as there will be no perceivable adverse impact on the public domain;
- Utilities as the development is within the capacity of existing utilities;
- Heritage as the site is not a Heritage Item or within a Heritage Conservation Area;
- Other land resources the development will have no impact on land resources other than better utilisation of limited land supply in the locality;
- Water as the development will adequately address stormwater flows;
- Soils as there are no soil issues of concern to the development;

- Air and microclimate given that the development involves no activity which will directly impact on the air or microclimate;
- Flora and fauna due to there being no site clearing of any significance required for the proposed development;
- Waste as adequate waste collection and disposal services are already available in the area and will be adequate for the increased demand generated by the development;
- Energy as the increase in energy demands created by the development can be accommodated by the existing services in the area;
- Noise and vibration as appropriate measures will be in place to address any noise impacts during demolition and construction;
- Natural hazards as none are known to exist on site;
- Technological hazards as none exist in respect of this type of development;
- Safety, security and crime prevention as adequate casual surveillance of the site and surrounds is available from within the proposed development;
- Social impact as the development is compatible with surrounding land uses;
- Economic impact as the development will have a positive economic impact;
- Site design and internal design for the reasons detailed in this report;
- Construction as the development involves construction works of a scale consistent with development in a residential area;
- Cumulative impacts as none are apparent or likely to result from this scale of development.

Suitability of the Site for the Development S. 79C(1)(c)

The site is suitable for the proposed development.

Submissions S. 79C(1)(d)

Not available

Public Interest S. 79C(1)(e)

There are no public interest issues, which should interfere with approval of the proposal.

6.0 CONCLUSION

The proposed development involves the redevelopment of an existing residential property in a residential enclave of East Maitland. The development is a permissible form of development under the relevant zoning controls in force under Maitland Local Environmental Plan 2011 and it is compliant with the relevant provisions of Maitland Development Control Plan 2011. Where there are departures from provisions of Development Control Plan 2011, they are entirely justified, and it is suggested better serve the Development Principles espoused for that particular control.

In summary the proposed development, when considered on its merits, warrants the granting of development consent.

ATTACHMENT ‘A’

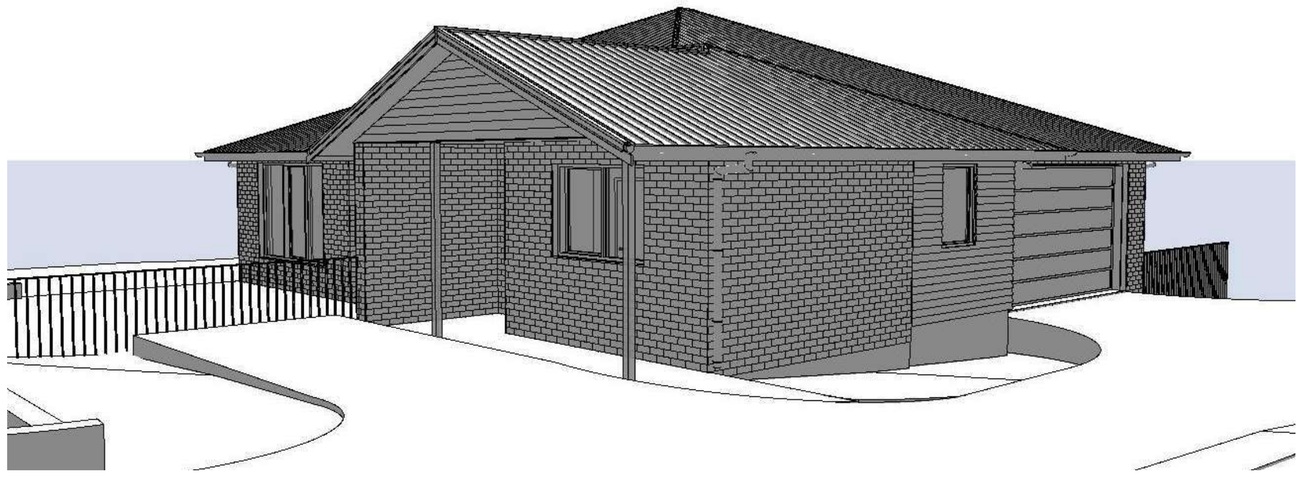
CROESE - RAYMOND TERRACE RD RESIDENCE

A1 DA / BA / CC Plans

A1.00	COVER SHEET & PERSPECTIVES	E
A1.01	SITE ANALYSIS & LOCALITY	E
A1.02	PROPOSED SITE LAYOUT	E
A1.03	PROPOSED SUBDIVISION PLAN	D
A1.04	LANDSCAPE PLAN	E
A1.05	FLOOR PLAN OVERALL	E
A1.06	ELEVATIONS OVERALL	D
A1.07	HOUSE 1 PROPOSED FLOOR PLANS	F
A1.08	HOUSE 1 ELEVATIONS	D
A1.09	HOUSE 1 SECTION AND WINDOW & DOOR SCHEDULE	D
A1.10	HOUSE 2 PROPOSED FLOOR PLANS	F
A1.11	HOUSE 2 ELEVATIONS	D
A1.12	HOUSE 2 SECTION AND WINDOW & DOOR SCHEDULE	E
A1.13	HOUSE 3 PROPOSED FLOOR PLANS	F
A1.14	HOUSE 3 ELEVATIONS	D
A1.15	HOUSE 3 SECTION AND WINDOW & DOOR SCHEDULE	E
A1.16	PROPOSED CARPORT	C
A1.17	SHADOW DIAGRAMS 1	C
A1.18	SHADOW DIAGRAMS 2	C

HOUSE 1 PERSPECTIVE

SCALE



HOUSE 2 AND 3 PERSPECTIVE

SCALE

GENERAL NOTES:

ALL MEASUREMENT IN MILLIMETRES UNLESS NOTED OTHERWISE. ALL DIMENSIONS ARE TO STRUCTURE. ALL DIMENSIONS MUST BE CHECKED ON SITE BEFORE COMMENCEMENT OF ANY WORK OR THE PREPARATION OF SHOP DRAWINGS. DISCREPANCIES MUST BE IMMEDIATELY REPORTED TO TOZ PTY. LTD. FOR INTERPRETATION. DO NOT SCALE DRAWINGS – USE FIGURED DIMENSIONS ONLY.

THESE DRAWINGS ARE TO BE USED IN CONJUNCTION WITH OTHER RELEVANT DRAWINGS BY CONSULTANTS. ALL CONSTRUCTION MATERIALS AND WORKMANSHIP ARE TO BE IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA (NCC 2022), VIC CODE1, RELEVANT AUSTRALIAN STANDARDS, LOCAL AUTHORITY AND ALL RELEVANT AUTHORITIES REGULATIONS, STATUTORY REQUIREMENTS AND BY-LAWS.

GENERAL STANDARDS:

NOTE:
ALL BUILDING WORKS TO COMPLY WITH THE CURRENT BUILDING REGULATIONS, INCLUDING THE NATIONAL CONSTRUCTION CODE. CURRENT NCC 2022.

HEATING AND COOLING:
THE HEATING AND COOLING SYSTEMS ARE TO COMPLY WITH CURRENT NCC 2022 REQUIREMENTS.

LIGHTING:
THE ARTIFICIAL LIGHTING SYSTEMS ARE TO COMPLY WITH CURRENT NCC 2022 REQUIREMENTS.

GLAZING:
ALL GLAZING TO COMPLY WITH AS1288 AND ALL WINDOW TO COMPLY WITH AS2047.

WET AREAS:
ALL WET AREAS TO BE WATERPROOFED IN ACCORDANCE WITH AS3740. IMPERVIOUS CERAMIC TILES TO 2100mm Min. ALL WET AREAS.

SHOWER SCREENS:
TO BE 12mm TOUGHENED GLASS AS PER AS1288.
FRAMELESS GLASS, POLISHED AREAS.

SPLASHBACKS:
AN IMPERVIOUS SPLASHBACK OF Min. 150mm ABOVE ALL BASINS, SINKS AND TROUGHS ARE TO BE PROVIDED.

DOWN PIPES:
ALL DRAINAGE, DOWNPIPES AND GUTTERS TO COMPLY WITH AS3500.3 ALL STORMWATER DISCHARGE TO BE CONNECTED TO THE LEGAL POINT OF DISCHARGE.

EXHAUST FANS:
EXHAUST FAN TO ALL WET AREAS, WC'S AND LAUNDRY FAN TO VENT TO OUTSIDE FAN CAPACITY 75LTR/SEC AND TO HAVE CLOSABLE BAFFLES FOR WHEN NOT IN USE.

BALUSTRADES:
BALUSTRADES TO LANDINGS ON DECKS TO BE A MINIMUM OF 1000mm HIGHT ABOVE FINISHED DECK LEVEL AND HAVE BALUSTERS OR RAILS HAVING A MAXIMUM GAP OF 125mm TO COMPLY WITH CURRENT NCC 2022 REQUIREMENTS AND AS1428.1.

INTERNAL STAIR HANDRAIL:
TO BE A MINUMUM HEIGHT ABOVE STAIR NOSING OF 865mm TO COMPLY WITH CURRENT NCC 2022 REQUIREMENTS AND AS1428.1.

STAIRS:
MUST HAVE A MINIMUM WIDTH TREAD OF 250mm AND A Max. HEIGHT OF 190mm RISERS. STAIR TO BE EVEN IN 'GOING' AND 'RISER' THROUGHOUT THE FLIGHT. THE MAXIMUM GAP BETWEEN STAIRS IS 125mm TO COMPLY WITH CURRENT NCC 2022 REQUIREMENTS.

PENETRATIONS:
ALL PENETRATIONS THROUGH FIRE RATED WALLS AND FIRE RATED FLOORS ARE TO BE SEALED TO MAINTAIN THE REQUIRED APPLICABLE FIRE RATING TO COMPLY WITH CURRENT NCC 2022 REQUIREMENTS.

STEEL:
ALL STRUCTURAL STEEL MEMBERS TO BE CORROSION PROTECTED IN ACCORDANCE WITH CURRENT NCC 2022 REQUIREMENTS.

SMOKE ALARMS:
MUST COMPLY WITH THE REQUIREMENTS OF NCC 2022 VOL 2 PART H3D6 AND ABCB HOUSING PROVISIONS STANDARD 2022 PART 9.5
i) SMOKE ALARMS MUST BE PHOTOELECTRIC (A.S. 3786-2014): and
ii) NOT ALSO CONTAIN AN ISOLATION SENSOR:
iii) BE HARDWIRED TO A MAINS POWER SUPPLY SOURCE WITH A SECONDARY POWER SOURCE (ie BATTERY): and
IV) BE INTERCONNECTED WITH EVERY OTHER SMOKE ALARM IN THE DWELLING SO ALL ARE ACTIVE TOGETHER.

DOORS:
THE DOOR TO A FULLY ENCLOSED SANITARY COMPARTMENT SHALL OPEN OUTWARDS, SLIDE OR BE READILY REMOVABLE FROM THE OUTSIDE OF THE COMPARTMENT IE. REMOVABLE HINGES IF THE CLOSET PAN IS WITHIN 1200mm OF THE HINGE OF THE DOOR TO COMPLY WITH CURRENT NCC 2022 REQUIREMENTS.

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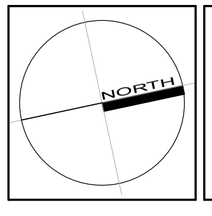

Rev	Transmittal Set Name	Date
E	FOR APPROVAL	5/8/2025
D	DRAFT SET FOR REVIEW	31/7/2025
C	DRAFT SET FOR REVIEW	7/7/2025
B	DRAFT SET FOR REVIEW	26/6/2025
A	DRAFT SET FOR REVIEW	18/6/2025

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QLD LIC NO.169 7662

CLIENT:
CROESE - RAYMOND TERRACE RD

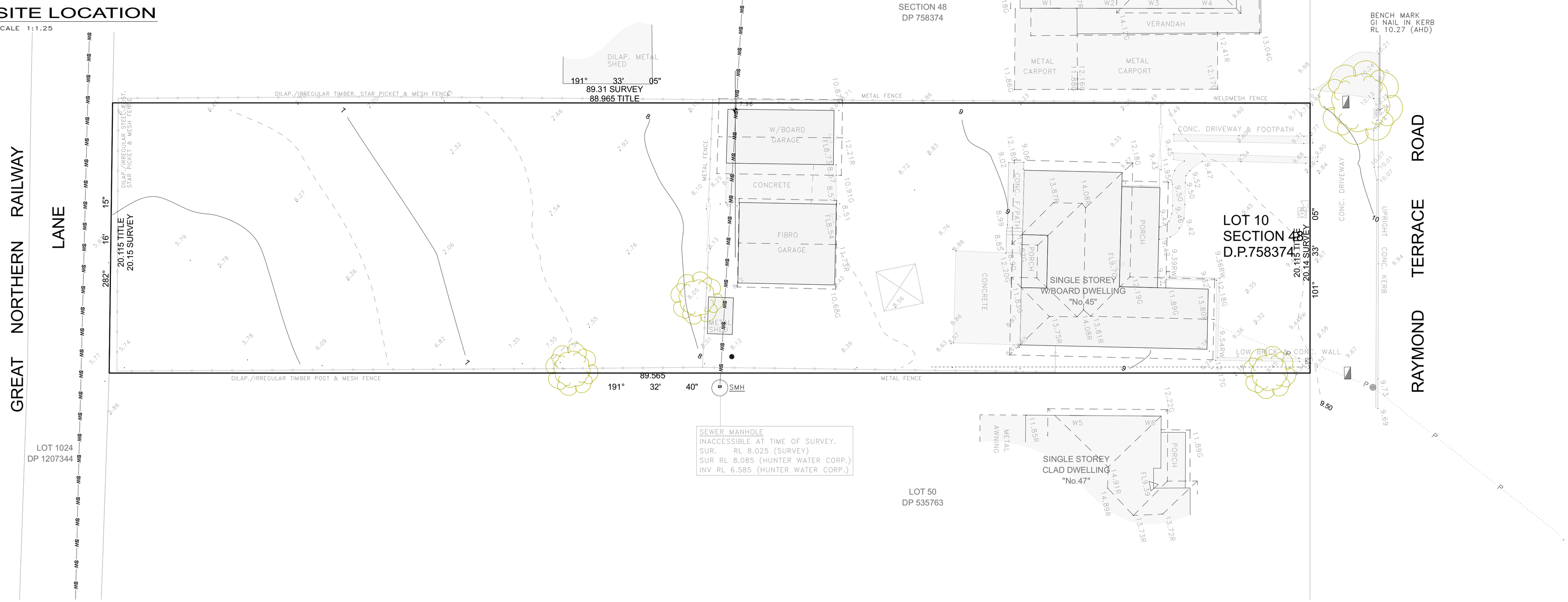
PROJECT:
PROPOSED NEW MULTI-RES
LOT 10 SECTION 48 D.P.758274
No. 45 RAYMOND TERRACE ROAD
EAST MAITLAND, NSW 2323

DRAWING TITLE:
COVER SHEET & PERSPECTIVES

DATE: 05/08/25
SCALE: 1:78.29, 1:1 @ A1
DRAWING No: 2085A - A1.00
ISSUE: E

SITE LOCATION

SCALE 1:1.25



SITE ANALYSIS

SCALE 1:150

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LOT 10 SECTION 48 D.P.758274
No. 45 RAYMOND TERRACE ROAD
EAST MAITLAND, NSW 2323

DRAWING TITLE:
SITE ANALYSIS & LOCALITY

DATE: 05/08/25
SCALE: 1:100
DRAWING No: 2085A - A1.01
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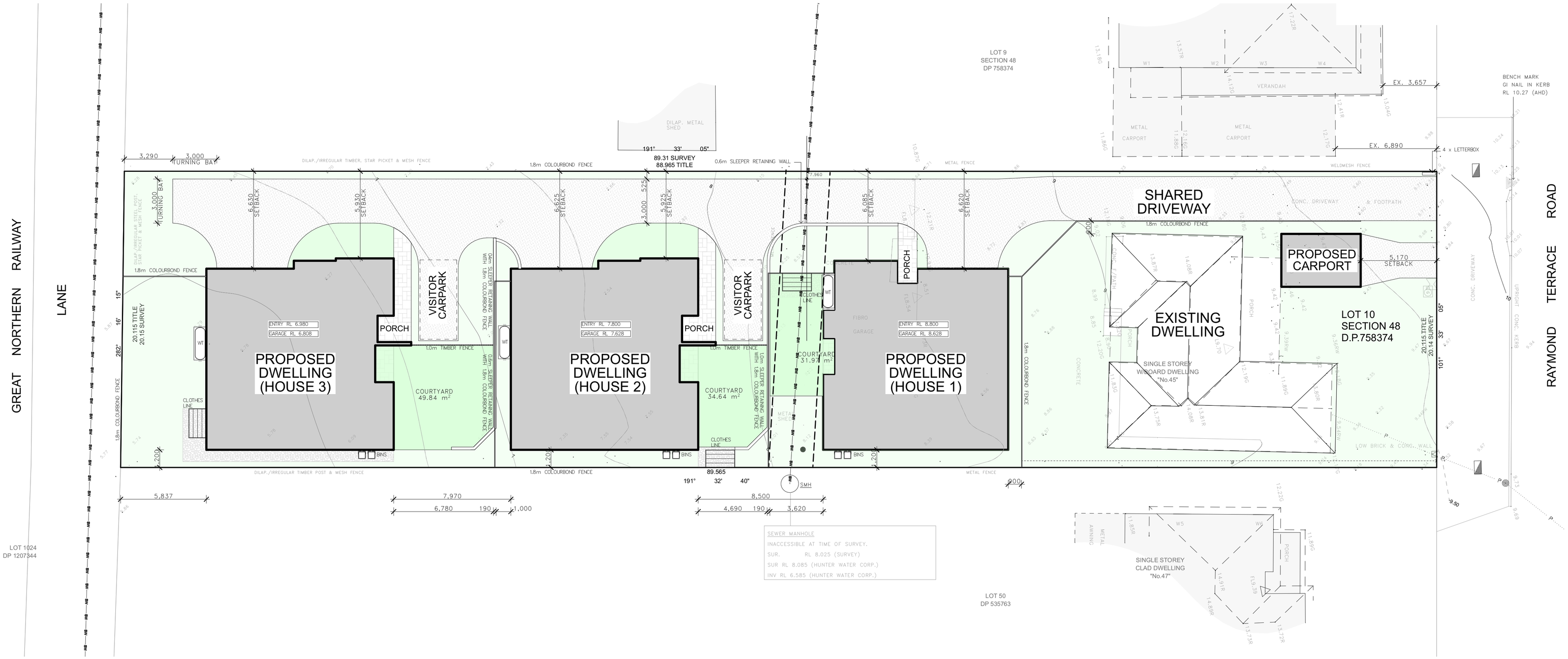
SITE AREA (LOT 10)	1,801.60m²
HOUSE 1	
G.F.A	152.39m²
PATIO/PORCH	6.8m²
HOUSE 2	
G.F.A	156.54m²
PATIO/PORCH	13.88m²
HOUSE 3	
G.F.A	156.54m²
PATIO/PORCH	13.88m²
TOTAL GFA	465.47m²
F.S.R.	0.25 : 1
BUILDING FOOTPRINT	493.02m²/27%
TOTAL DRIVEWAY	382.47m²/21%
L/SCAPE COVERAGE TOTAL	723.43m²/40%
MAX. BUILDING HEIGHT	5.2m
CARPARKING	
GARAGED	6 SPACES
PROPOSED CARPORT	1 SPACE
OUTDOOR VISITOR	2 SPACES
TOTAL	9 SPACES

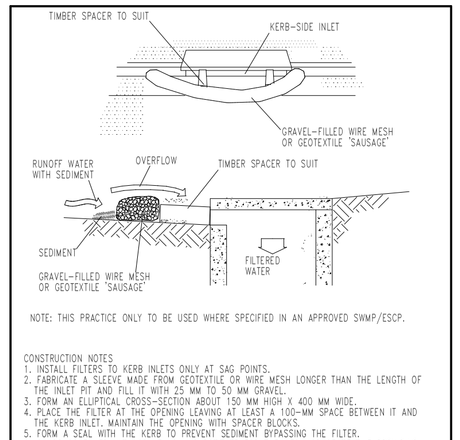
LEGEND:

- DENOTES STRAW BALE OR GEOTEXTILE SEDIMENT TRAP. REFER TO DETAIL SD6-12
- DENOTES SEDIMENT FENCE. REFER TO DETAIL SD6-8
- DENOTES TEMPORARY CONSTRUCTION EXIT. REFER TO DETAIL SD6-14



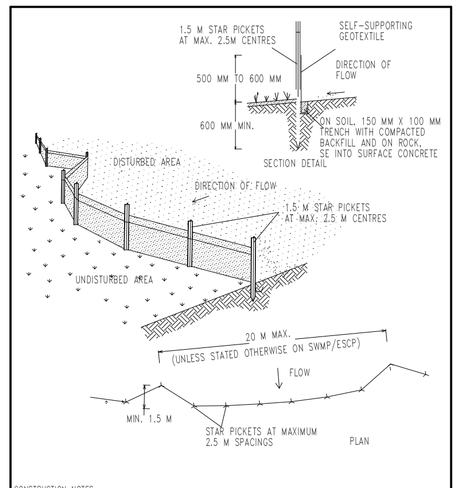
PROPOSED SITE LAYOUT

SCALE 1:150



NOTE: THIS PRACTICE ONLY TO BE USED WHERE SPECIFIED IN AN APPROVED SWMP/ESCP.

CONSTRUCTION NOTES.
1. INSTALL FILTERS TO KERB INLETS ONLY AT SAG POINTS.
2. FABRICATE A SLEEVE MADE FROM GEOTEXTILE OR WIRE MESH LONGER THAN THE LENGTH OF THE INLET PIT AND FILL IT WITH 25 MM TO 50 MM GRAVEL.
3. FORM AN ELLIPTICAL CROSS-SECTION ABOUT 150 MM HIGH X 400 MM WIDE.
4. PLACE THE FILTER AT THE OPENING LEAVING AT LEAST A 100-MM SPACE BETWEEN IT AND THE KERB INLET. MAINTAIN THE OPENING WITH SPACER BLOCKS.
5. FORM A SEAL WITH THE KERB TO PREVENT SEDIMENT BYPASSING THE FILTER.
6. SANDBAGS FILLED WITH GRAVEL CAN SUBSTITUTE FOR THE MESH OR GEOTEXTILE PROVIDING THEY ARE PLACED SO THAT THEY FIRMLY ABUT EACH OTHER AND SEDIMENT-LADEN WATERS CANNOT PASS BETWEEN.



CONSTRUCTION NOTES.
1. CONSTRUCT SEDIMENT FENCES AS CLOSE AS POSSIBLE TO BEING PARALLEL TO THE CONTOURS OF THE SITE, BUT WITH SMALL RETURNS AS SHOWN IN THE DRAWING TO LIMIT THE CATCHMENT AREA OF ANY ONE SECTION. THE CATCHMENT AREA SHOULD BE SMALL ENOUGH TO LIMIT WATER FLOW IF CONCENTRATED AT ONE POINT TO NO LONG MORE THAN SECOND IN THE DESIGN STORM EVENT, USUALLY THE 10-YEAR EVENT.
2. CUT A 150-MM DEEP TRENCH ALONG THE UPSLOPE LINE OF THE FENCE FOR THE BOTTOM OF THE FABRIC TO BE ENTRENCHED.
3. DRIVE 1.5 METRE LONG STAR PICKETS INTO GROUND AT 2.5 METRE INTERVALS (MAX) AT THE DOWNSLOPE EDGE OF THE TRENCH. ENSURE ANY STAR PICKETS ARE FITTED WITH SAFETY CAPS.
4. FIX SELF-SUPPORTING GEOTEXTILE TO THE UPSLOPE SIDE OF THE POSTS ENSURING IT GOES TO THE BASE OF THE TRENCH. FIX THE GEOTEXTILE WITH WIRE TIES OR AS RECOMMENDED BY THE MANUFACTURER. ONLY USE GEOTEXTILE SPECIFICALLY PRODUCED FOR SEDIMENT FENCING. THE USE OF SHADE CLOTH FOR THIS PURPOSE IS NOT SATISFACTORY.
5. JOIN SECTIONS OF FABRIC AT A SUPPORT POST WITH A 150-MM OVERLAP.
6. BACKFILL THE TRENCH OVER THE BASE OF THE FABRIC AND COMPACT IT THOROUGHLY OVER THE GEOTEXTILE.

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CLIENT:
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PROJECT:
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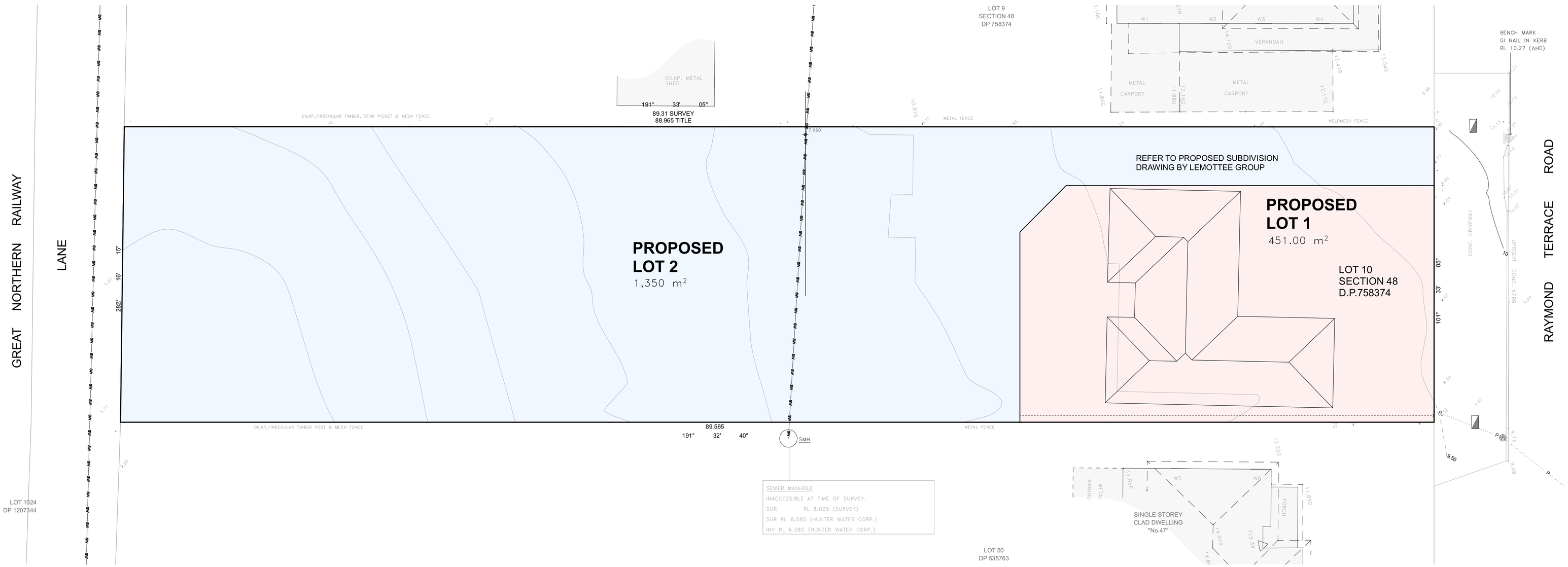
LOT 10 SECTION 48 D.P.758274
No. 45 RAYMOND TERRACE ROAD
EAST MAITLAND, NSW 2323

DRAWING TITLE:
PROPOSED SITE LAYOUT

DATE: 05/08/25
SCALE: 1:100
DRAWING No: 2085A - A1.02
ISSUE: E



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PROPOSED NEW MULTI-RES
LOT 10 SECTION 48 D.P.758274
No. 45 RAYMOND TERRACE ROAD
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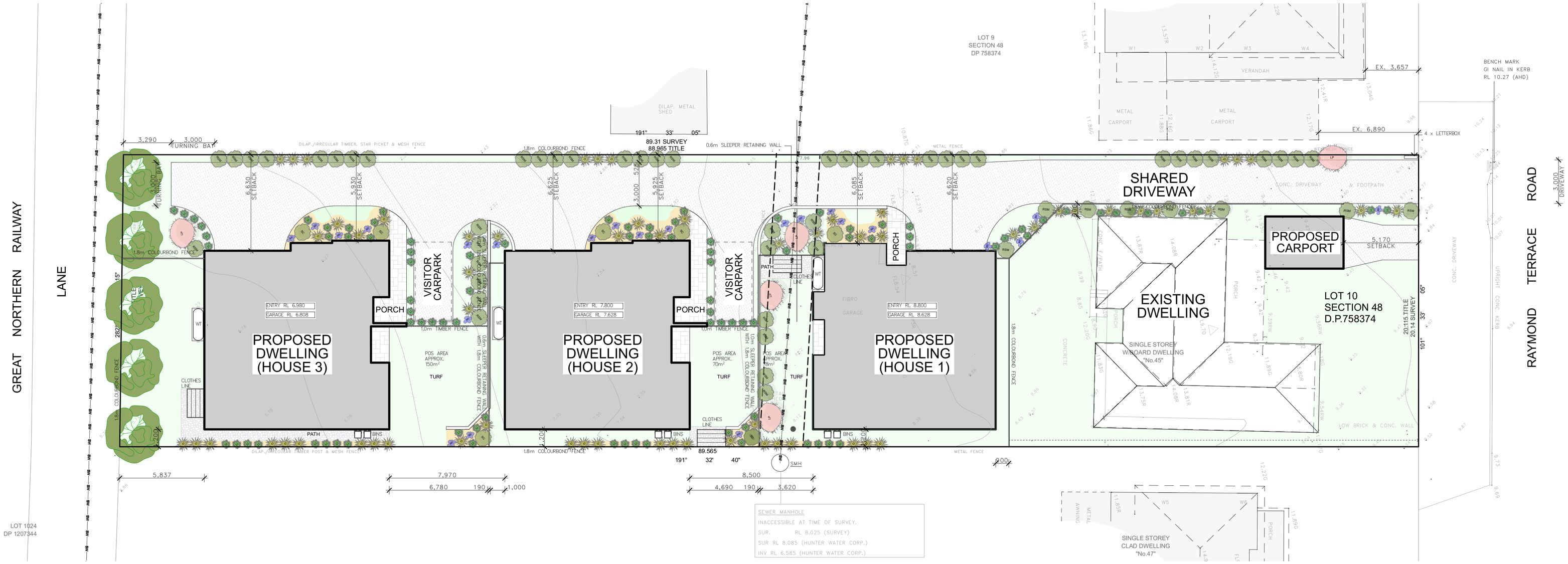
DRAWING TITLE:
PROPOSED SUBDIVISION PLAN

DATE: 05/08/25
SCALE: 1:150 @ A1
DRAWING No: 2085A - A1.03
ISSUE: D

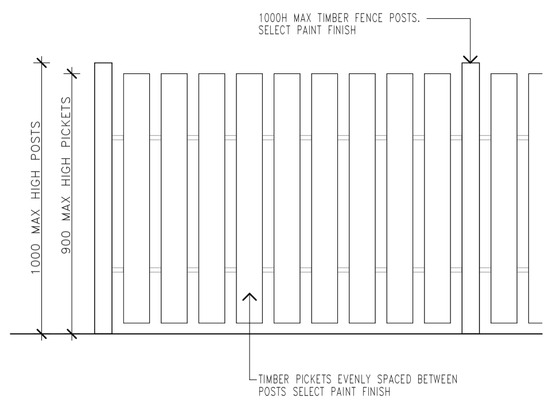


PROPOSED LANDSCAPE LAYOUT

SCALE 1:150

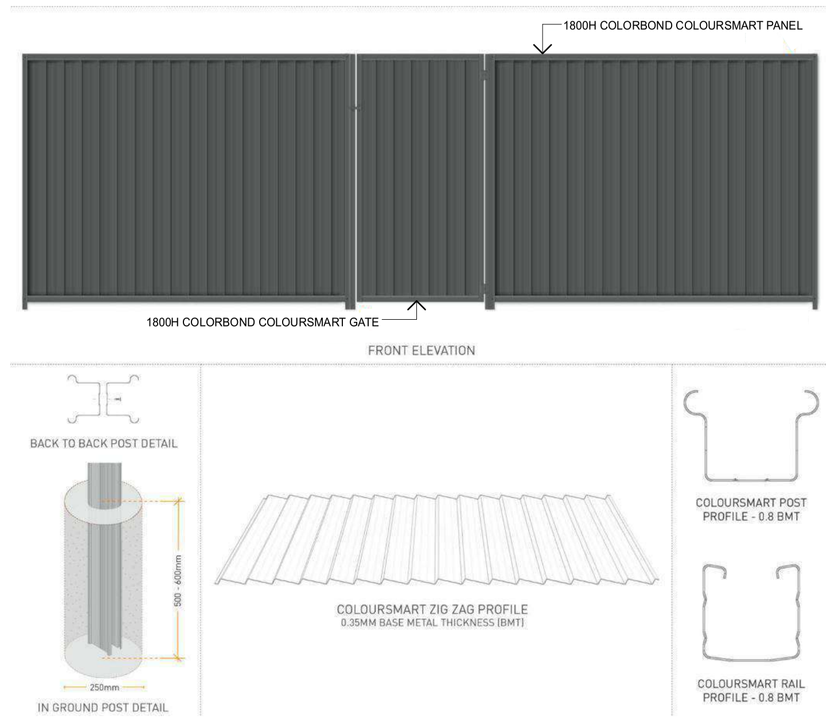
PLANT SCHEDULE EVERGREEN STRAPPY LEAF PERENNIALS & SHRUBS

IMAGE	SYMBOL	COMMON NAME	BOTANICAL NAME	POT SIZE	EST H X W	QUANTITY
	LJ	LIRIOPE JUST RIGHT	Liriope muscari 'LIRJ'	viro tube	0.5m x 0.5m	90
	DG	DIETES	Dietes grandiflora	150mm	1.2mx 1.2m	63
	SBL	SALVIA SPICE BLUE	Blue Sage	150mm	1.2mx 1.2m	23
	RIBA	RAPHIOLEPSIS SNOW MAIDEN	India Hawthorn	200mm	1.5m x 1.5m	55
	BM	BUXUS MICROPHYLLA	Japonese box	200mm	1m x 1m	7
	LP	LOROPETALUM BURGUNDY	Pink Witchhazel	200mm	5m x 3m	5
		Buckinghamia - ivory curl flower	Buckinghamia Celsissima	80mm high x 42 mm wide	10m - 5m	5
			Mulched garden bed			
	TURF		Turf (as selected)			
			Crushed Granite (as selected)			



1.0m HIGH TIMBER FENCE

SCALE 1:20



1.8m HIGH COLOURBOND FENCE

SCALE

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QLD LIC NO: 999 7660

CLIENT: CROESE - RAYMOND TERRACE RD

PROJECT: PROPOSED NEW MULTI-RES
LOT 10 SECTION 48 D.P.758274
No. 45 RAYMOND TERRACE ROAD
EAST MAITLAND, NSW 2323

DRAWING TITLE: LANDSCAPE PLAN

DATE: 05/08/25

SCALE: 1:150, 1:100, 1:20 @ A1

DRAWING No: 2085A - A1.04

ISSUE: E

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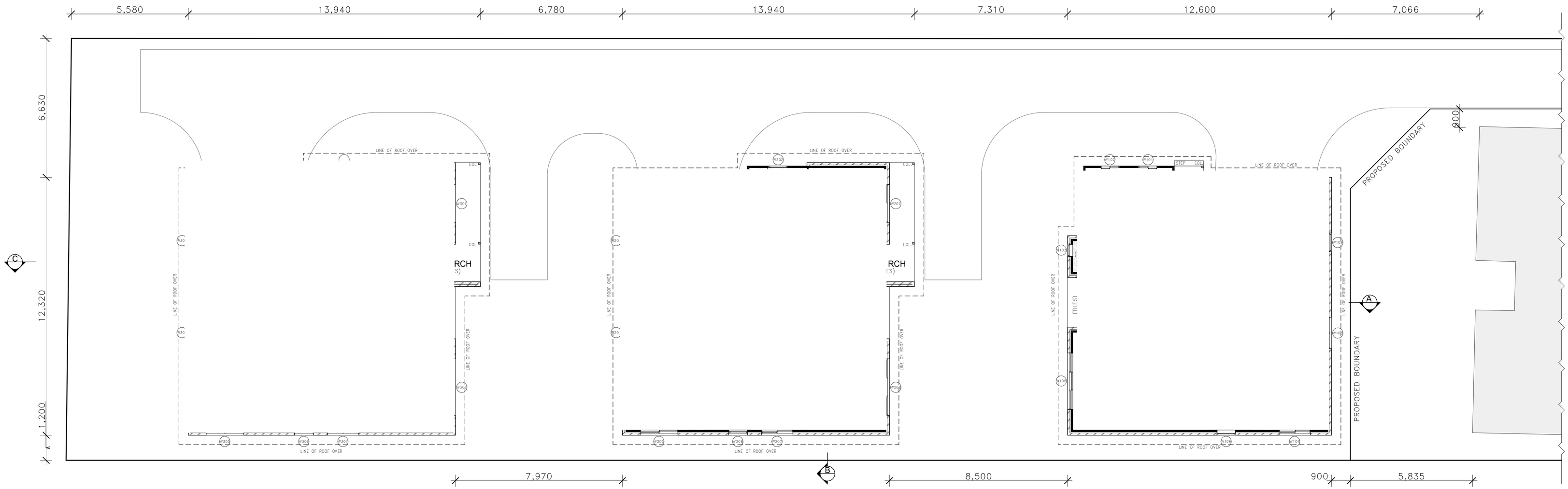

FLOOR PLAN OVERALL

SCALE 1:100

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CLIENT:
CROESE - RAYMOND TERRACE RD

PROJECT:
PROPOSED NEW MULTI-RES
LOT 10 SECTION 48 D.P.758274
No. 45 RAYMOND TERRACE ROAD
EAST MAITLAND, NSW 2323

DRAWING TITLE:
FLOOR PLAN OVERALL

DATE: 05/08/25
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DRAWING No: 2085A - A1.05
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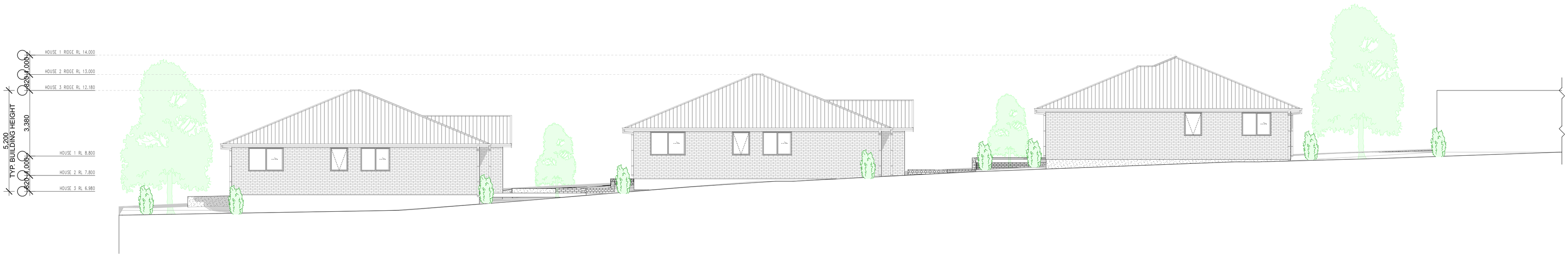
OVERALL DRIVEWAY ELEVATION - WEST

SCALE 1:100



OVERALL BACK ELEVATION - EAST

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DRAWING TITLE:
ELEVATIONS OVERALL

DATE:	05/08/25
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DRAWING No:	2085A - A1.06
ISSUE:	D

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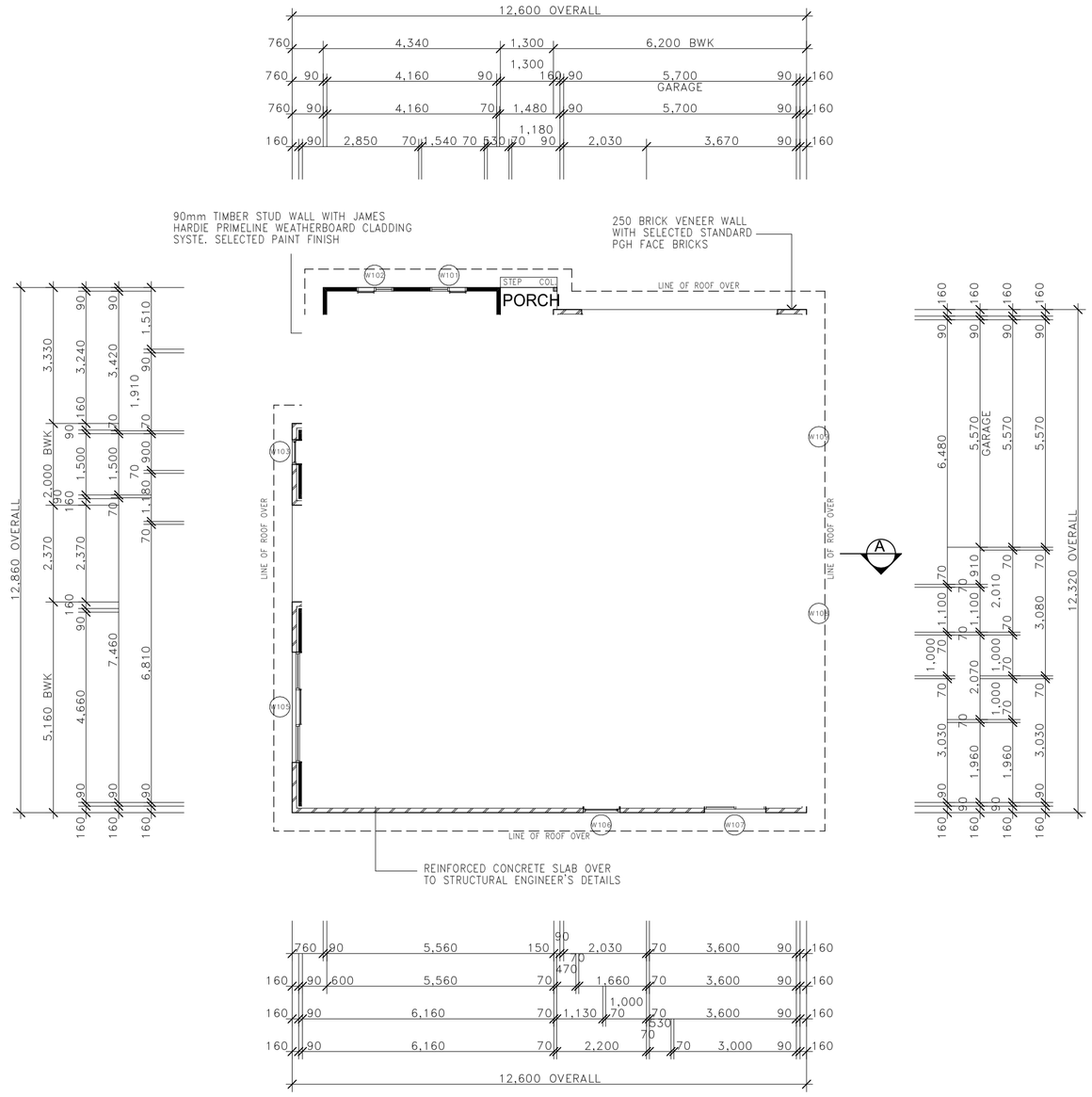
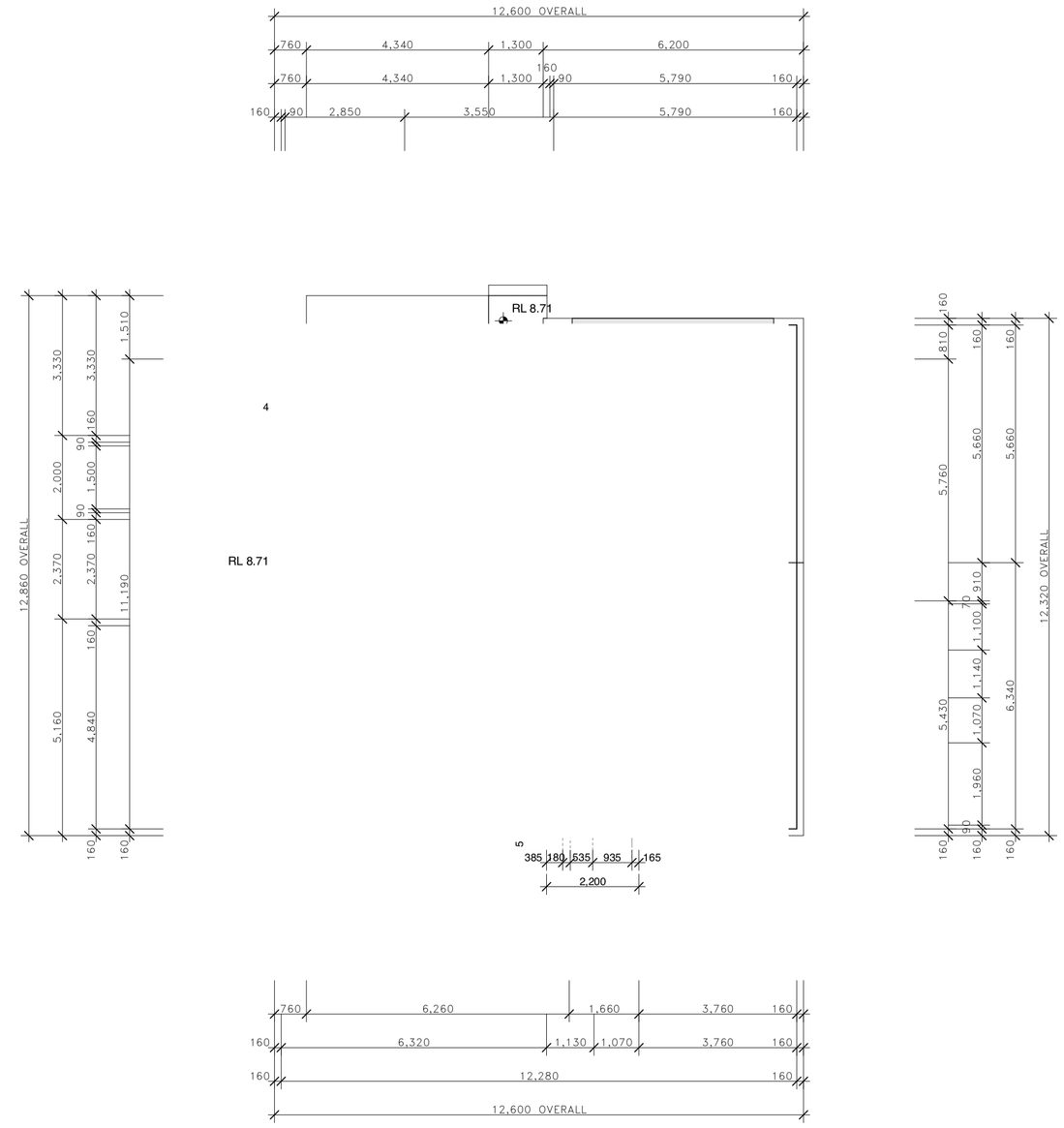


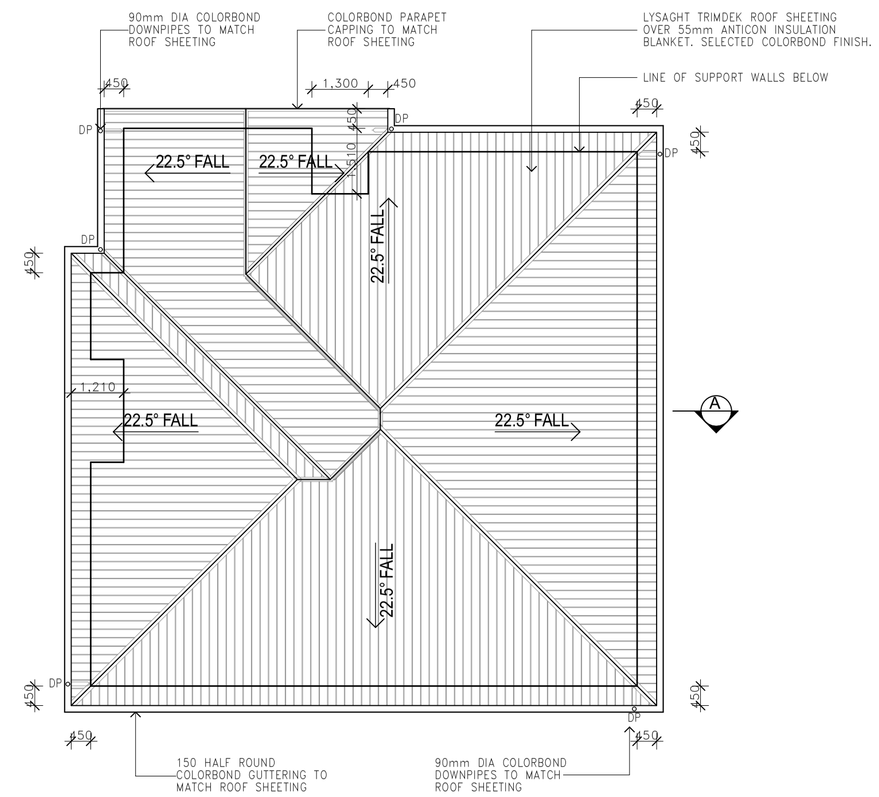
HOUSE 1 PROPOSED FLOOR PLAN

SCALE 1:100



HOUSE 1 PROPOSED SET OUT PLAN

SCALE 1:100



HOUSE 1 PROPOSED ROOF PLAN

SCALE 1:100

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UNIT 1

SUMMARY OF BASIX COMMITMENTS

This is a summary of the BASIX Commitments as detailed in the BASIX Certificate. Builders and Owners must refer to the CURRENT BASIX Certificate for Complete details. For definitions refer to basix.nsw.gov.au

WATER COMMITMENTS

FIXTURES

ALL SHOWER HEADS	ALL TOILETS	ALL KITCHEN TAPS	ALL BATHROOM TAPS
3 STAR(<=9L/min)	3 STAR(<=4L/min)	3 STAR(<=9L/min)	3 STAR(<=9L/min)

LIGHTING

DWELLING No.	
-	MINIMUM OF 40% OF NEW OR ALTERED LIGHT FIXTURES ARE FITTED WITH FLUORESCENT, COMPACT FLUORESCENT OR LIGHT EMITTING-DIODE (LED) LAMPS

THERMAL COMMITMENTS

FLOOR, WALLS & CEILING/ROOF

CONSTRUCTION	ADDITIONAL INSULATION (R-VALUE)	OTHER
WAFFLE POD CONCRETE SLAB		-
EXTERNAL WALL - FRAMED (W/BOARD)	R2.5 WALL BATTS	-
EXTERNAL WALL - BRICK VENEER	R2.5 WALL BATTS	-
INTERNAL PLASTERBOARD WALL	NIL	-
INTERNAL PLASTERBOARD WALL SHARED WITH GARAGE	R1.5 WALL BATTS	
FLAT CEILING, METAL ROOF; FRAMED	CEILING: R2.5 BATTS ROOF: 8:1 ANTICON BLANKET	

ENERGY COMMITMENTS

DWELLING No.	HOT WATER	BATH./KITCH./L'DRY	VENTILATION SYSTEM
	HOT WATER SYSTEM	EACH ROOM	OPERATION CONTROL
-	SOLAR (ELECTRIC BOOSTED) 26-30 RECs	-	-

ACOUSTIC NOTES:

WALLS:

MASONRY, BRICK VENEER CONSTRUCTION IS ACCEPTABLE, INTERNALLY LINED WITH 10MM PLASTERBOARD, PLUS R2/S2 CAVITY INSULATION.

WHERE LIGHT-WEIGHT CLADDING IS INSTALLED (I.E. ALUMINIUM COMPOSITE PANEL, AXON, SHADOWCLAD, WEATHERTEX, OR SIMILAR) INTERNAL LINING TO ROOMS MUST BE MINIMUM 13MM PLASTERBOARD, PLUS R2/S2 CAVITY INSULATION.

ROOF/CEILING:

CONSTRUCTION IS TO CONSIST OF COLORBOND WITH A 30-40MM ANTICON FOIL FACED BUILDING BLANKET HARD UNDER THE ROOF SHEETING (IN SITUATIONS WHERE JOISTS ARE AT CENTRES CLOSE ENOUGH TO AVOID EXCESSIVE SAGGING OF THE BLANKET MAY BE OMITTED). CLOSE OFF EAVES GAPS WITH 2 LAYERS S3/R3 INSULATION IN CEILING VOID, TIGHTLY PACKED AT THE BUILDING PERIMETER AT 600MM WIDTH, ALTERNATIVELY 1 LAYER R4.1 BATTS WILL SUFFICE. ALL CEILINGS ARE TO CONSIST OF 1 LAYER 10-13MM PLASTERBOARD.

TO FURTHER ASSIST IN LOW FREQUENCY ATTENUATION, ALL CEILING VOIDS SHOULD CONTAIN A LAYER OF FIBREGLASS OR ROCKWOOL INSULATION. THE INSULATION IS TO BE INSTALLED IN ADDITION TO, NOT IN LIEU OF THE BUILDING BLANKET. SPECIALISED ACOUSTIC INSULATION IS PREFERRED, HOWEVER, DENSE THERMAL INSULATION (EG, R3 BATTS) WILL SUFFICE AND IS MUCH LESS EXPENSIVE ($15/M2 FOR ROCKWOOL 350 AND $5/M2 FOR R3 BATTS).

NORTH

Rev	Transmittal Set Name	Date
F	FOR APPROVAL	5/8/2025
E	DRAFT SET FOR REVIEW	31/7/2025
D	DRAFT SET FOR REVIEW	28/7/2025
C	DRAFT SET FOR REVIEW	7/7/2025
B	DRAFT SET FOR REVIEW	26/6/2025
A	DRAFT SET FOR REVIEW	18/6/2025

AMENDMENT:

TORRENBELL BUILDING DESIGN
T 07 3185 4684
W www.torrenbell.com.au
PO Box 5736
Q Supercentre QLD 4218
T.O.Z. PTY LTD ABN 32 077 574 984
QLD LIC NO.169 7662

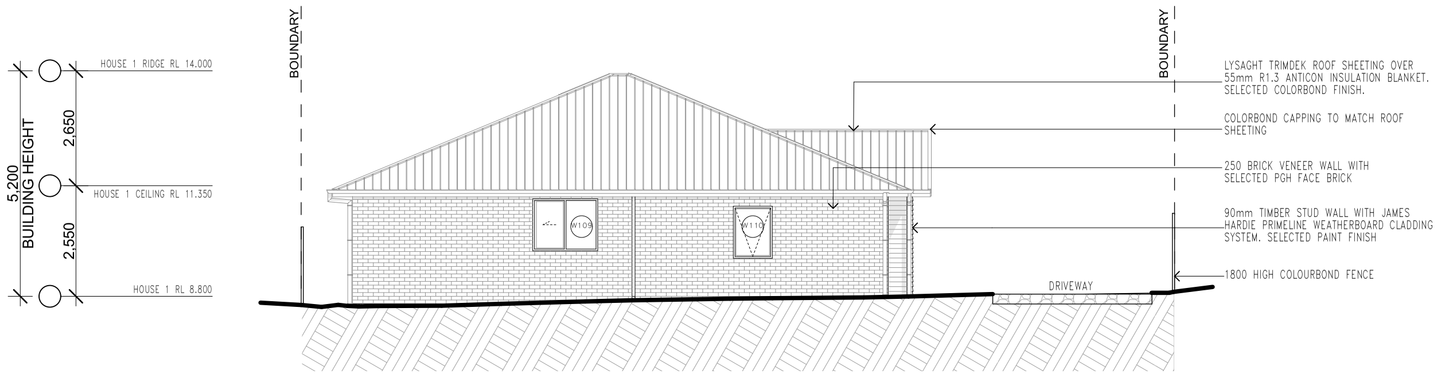
CLIENT: CROESE - RAYMOND TERRACE RD

PROJECT: PROPOSED NEW MULTI-RES
LOT 10 SECTION 48 D.P.758274
No. 45 RAYMOND TERRACE ROAD
EAST MAITLAND, NSW 2323

DRAWING TITLE: HOUSE 1 PROPOSED FLOOR PLANS

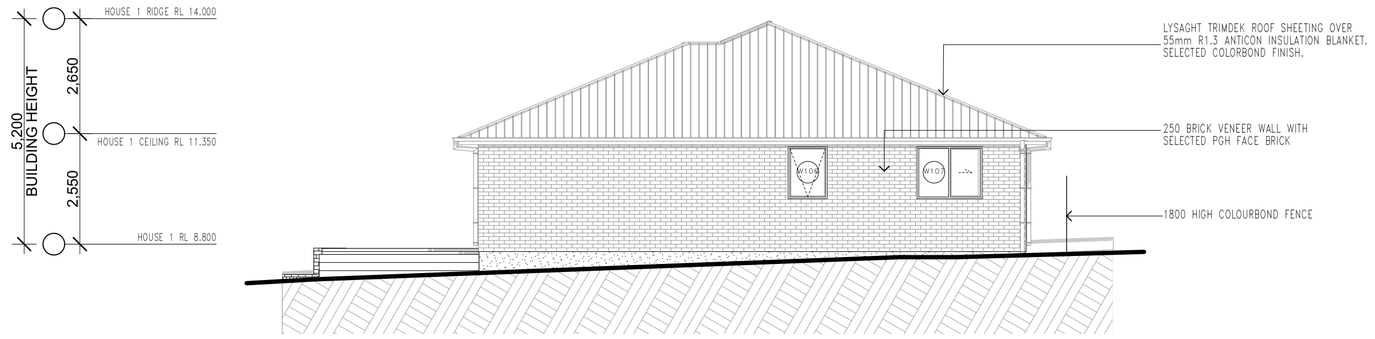
DATE: 05/08/25
SCALE: 1:100 @ A1
DRAWING No: 2085A - A1.07
ISSUE: F

Certificate No. #HR-4Y3R0I-01
Scan QR code or follow website link for rating details.
Assessor name: Ross Grims
Accreditation No.: HERA 10004
Property Address: Unit 01, 45 RAYMOND TERRACE ROAD, EAST MAITLAND, NSW, 2323
http://www.hero-software.com.au/pdf/HR-4Y3R0I-01



HOUSE 1 NORTH ELEVATION

SCALE 1:100



HOUSE 1 EAST ELEVATION

SCALE 1:100

HOUSE 1 SOUTH ELEVATION

SCALE 1:100

HOUSE 1 WEST ELEVATION

SCALE 1:100

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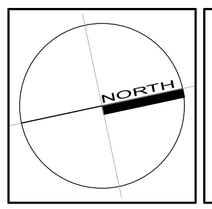

Rev	Transmittal Set Name	Date
D	FOR APPROVAL	5/8/2025
C	DRAFT SET FOR REVIEW	31/7/2025
B	DRAFT SET FOR REVIEW	7/7/2025
A	DRAFT SET FOR REVIEW	26/6/2025

AMENDMENT:

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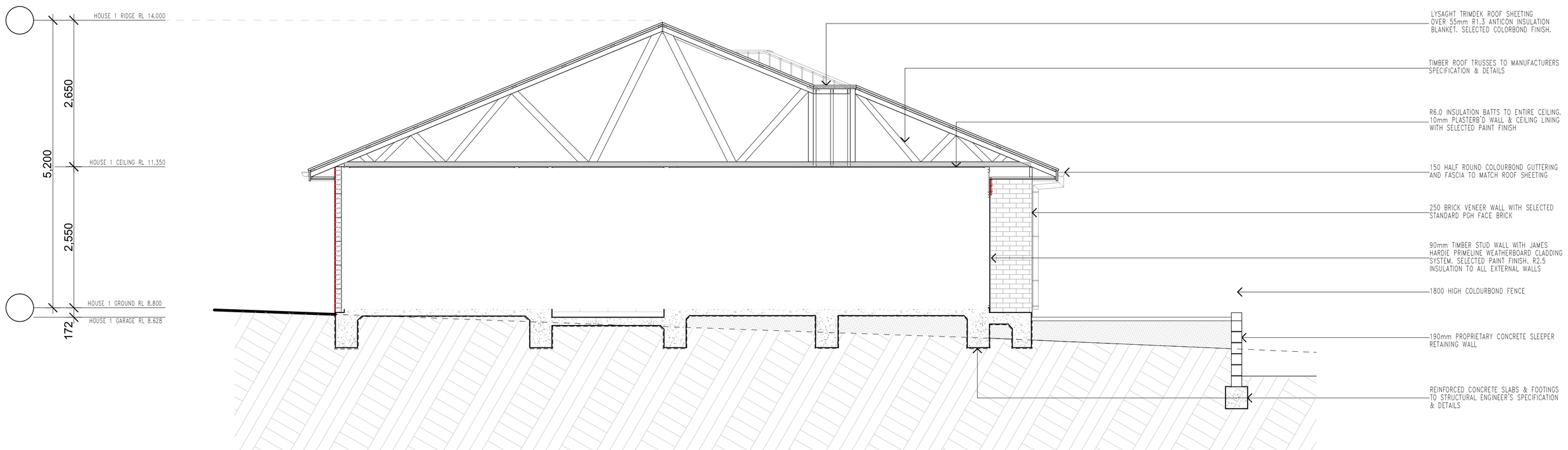
W www.torrenbell.com.au
PO Box 5736
Q Supercentre QLD 4218
T.O.Z. PTY LTD ABN 32 077 574 904
QLD LIC NO 199 7660

CLIENT: CROESE - RAYMOND TERRACE RD

PROJECT: PROPOSED NEW MULTI-RES
LOT 10 SECTION 48 D.P.758274
No. 45 RAYMOND TERRACE ROAD
EAST MAITLAND, NSW 2323

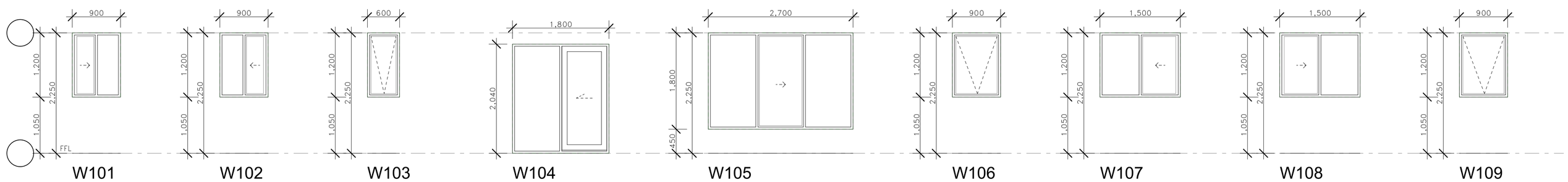
DRAWING TITLE: HOUSE 1 ELEVATIONS

DATE: 05/08/25
SCALE: 1:100 @ A1
DRAWING No: 2085A - A1.08
ISSUE: D



HOUSE 1 SECTION A

SCALE 1:50



W101
FRAME - PC ALUMINIUM
TYPE - SLIDING
GLAZING - SINGLE CLEAR
(U-VALUE:6.38, SHGC:0.72)

W102
FRAME - PC ALUMINIUM
TYPE - SLIDING
GLAZING - SINGLE CLEAR
(U-VALUE:6.38, SHGC:0.72)

W103
FRAME - PC ALUMINIUM
TYPE - AWNING
GLAZING - SINGLE CLEAR
(U-VALUE:6.45, SHGC:0.64)

W104
FRAME - PC ALUMINIUM
TYPE - SLIDING DOOR
GLAZING - SINGLE CLEAR
(U-VALUE:6.24, SHGC:0.72)

W105
FRAME - PC ALUMINIUM
TYPE - SLIDING
GLAZING - SINGLE CLEAR
(U-VALUE:6.38, SHGC:0.72)

W106
FRAME - PC ALUMINIUM
TYPE - AWNING
GLAZING - SINGLE CLEAR
(U-VALUE:6.37, SHGC:0.61)

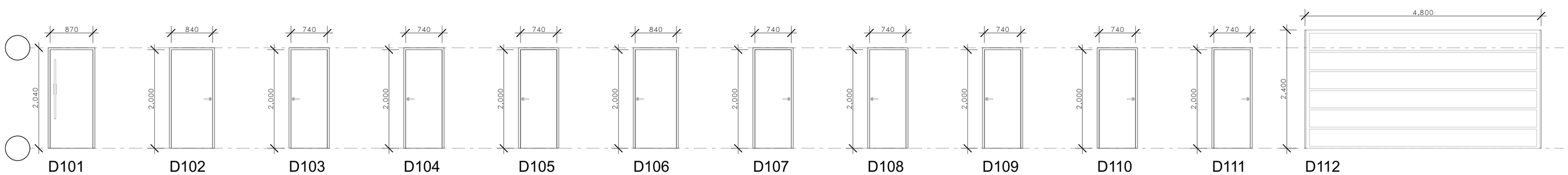
W107
FRAME - PC ALUMINIUM
TYPE - SLIDING
GLAZING - SINGLE CLEAR
(U-VALUE:6.38, SHGC:0.72)

W108
FRAME - PC ALUMINIUM
TYPE - SLIDING
GLAZING - SINGLE CLEAR
(U-VALUE:6.38, SHGC:0.72)

W109
FRAME - PC ALUMINIUM
TYPE - AWNING
GLAZING - SINGLE CLEAR
(U-VALUE:6.37, SHGC:0.61)

HOUSE 1 WINDOW SCHEDULE

SCALE 1:50



D101
TYPE- EXTERNAL DOOR
SIZE - 2040h x 950w
FRAME - ALUMINIUM
HINGES - 2 BUTT HINGES
GLAZING - N/A
HARDWARE - T.B.A

D102
TYPE- HOLLOW CORE TIMBER
SIZE - 2040h x 920w
FRAME - TIMBER
HINGES - 2 BUTT HINGES
GLAZING - N/A
HARDWARE - T.B.A

D103
TYPE- HOLLOW CORE TIMBER
SIZE - 2040h x 820w
FRAME - TIMBER
HINGES - 2 BUTT HINGES
GLAZING - N/A
HARDWARE - T.B.A

D104
TYPE- HOLLOW CORE TIMBER
SIZE - 2040h x 820w
FRAME - TIMBER
HINGES - 2 BUTT HINGES
GLAZING - N/A
HARDWARE - T.B.A

D105
TYPE- HOLLOW CORE TIMBER
SIZE - 2040h x 820w
FRAME - TIMBER
HINGES - 2 BUTT HINGES
GLAZING - N/A
HARDWARE - T.B.A

D106
TYPE- HOLLOW CORE TIMBER
SIZE - 2040h x 820w
FRAME - TIMBER
HINGES - 2 BUTT HINGES
GLAZING - N/A
HARDWARE - T.B.A

D107
TYPE- HOLLOW CORE TIMBER
SIZE - 2040h x 820w
FRAME - TIMBER
HINGES - 2 BUTT HINGES
GLAZING - N/A
HARDWARE - T.B.A

D108
TYPE- HOLLOW CORE TIMBER
SIZE - 2040h x 820w
FRAME - TIMBER
HINGES - 2 BUTT HINGES
GLAZING - N/A
HARDWARE - T.B.A

D109
TYPE- HOLLOW CORE TIMBER
SIZE - 2040h x 820w
FRAME - TIMBER
HINGES - 2 BUTT HINGES
GLAZING - N/A
HARDWARE - T.B.A

D110
TYPE- HOLLOW CORE TIMBER
SIZE - 2040h x 820w
FRAME - TIMBER
HINGES - 2 BUTT HINGES
GLAZING - N/A
HARDWARE - T.B.A

D111
TYPE- HOLLOW CORE TIMBER
SIZE - 2040h x 820w
FRAME - TIMBER
HINGES - 2 BUTT HINGES
GLAZING - N/A
HARDWARE - T.B.A

D112
TYPE- STEEL-LINE ROLLER DOOR
OPENING - 2400h x 4800w
FINISH - COLORBOND, COLOUR T.B.A
OPERATION - ELECTRICALLY OPERATED

HOUSE 1 DOOR SCHEDULE

SCALE 1:50

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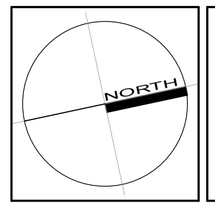

Rev	Transmittal Set Name	Date
D	FOR APPROVAL	5/8/2025
C	DRAFT SET FOR REVIEW	31/7/2025
B	DRAFT SET FOR REVIEW	7/7/2025
A	DRAFT SET FOR REVIEW	26/6/2025

AMENDMENT:

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W www.torrenbell.com.au
PO Box 5736
Q Supercentre QLD 4218
T.O.Z. PTY LTD ABN 32 077 574 004
QLD LIC NO 109 7662

CLIENT:
CROESE - RAYMOND TERRACE RD

PROJECT:
PROPOSED NEW MULTI-RES
LOT 10 SECTION 48 D.P.758274
No. 45 RAYMOND TERRACE ROAD
EAST MAITLAND, NSW 2323

DRAWING TITLE:
HOUSE 1 SECTION AND WINDOW & DOOR SCHEDULE

DATE: 05/08/25
SCALE: 1:50 @ A1
DRAWING No: 2085A - A1.09
ISSUE: D

Certificate No. #HR-83F3BU-01

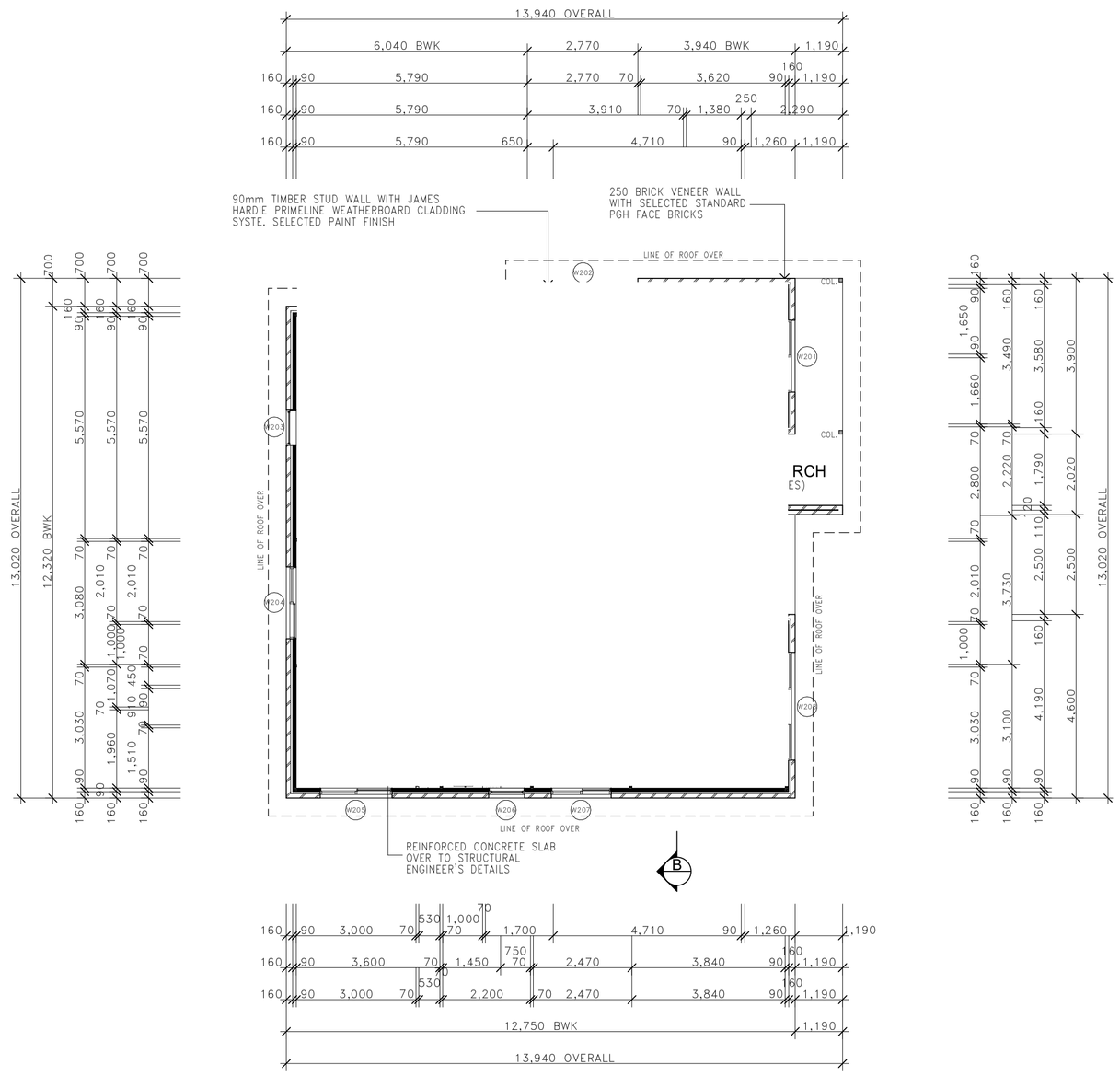
Scan QR code or follow website link for rating details.

Assessor name: Ross Grims

Accreditation No.: HERA 10004

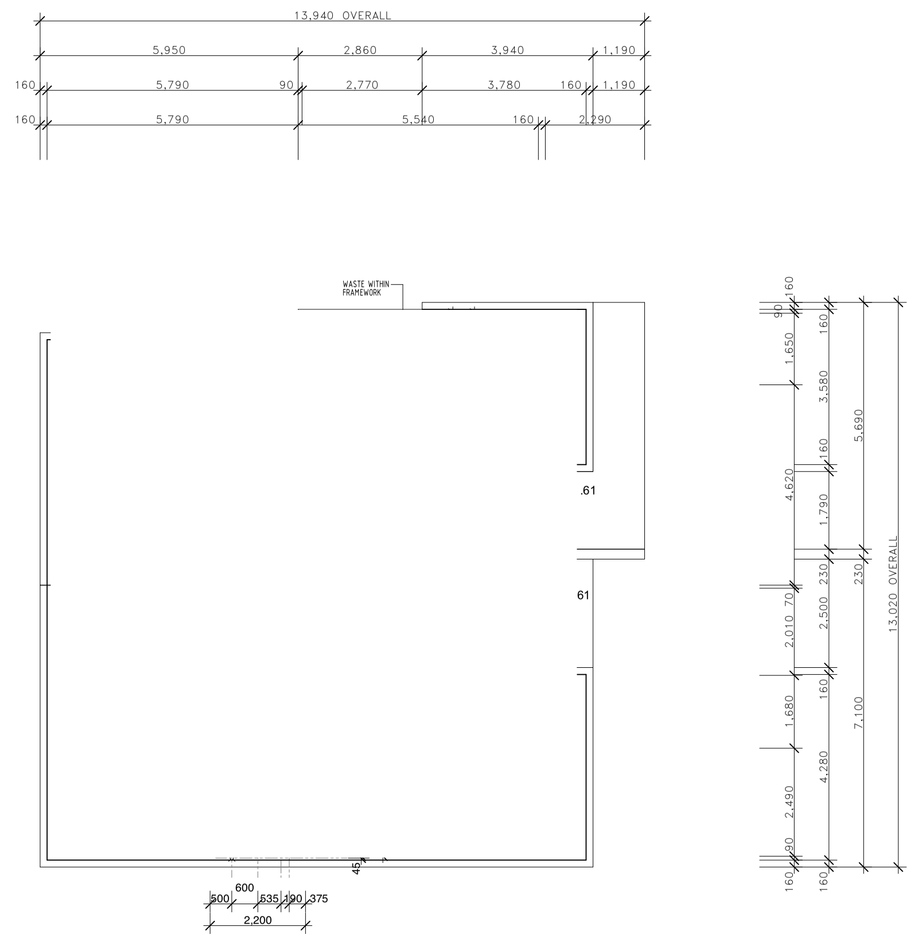
Property Address: Unit 02, 45 RAYMOND TERRACE ROAD, EAST MAITLAND, NSW, 2323

http://www.hero-software.com.au/pdf/HR-83F3BU-01



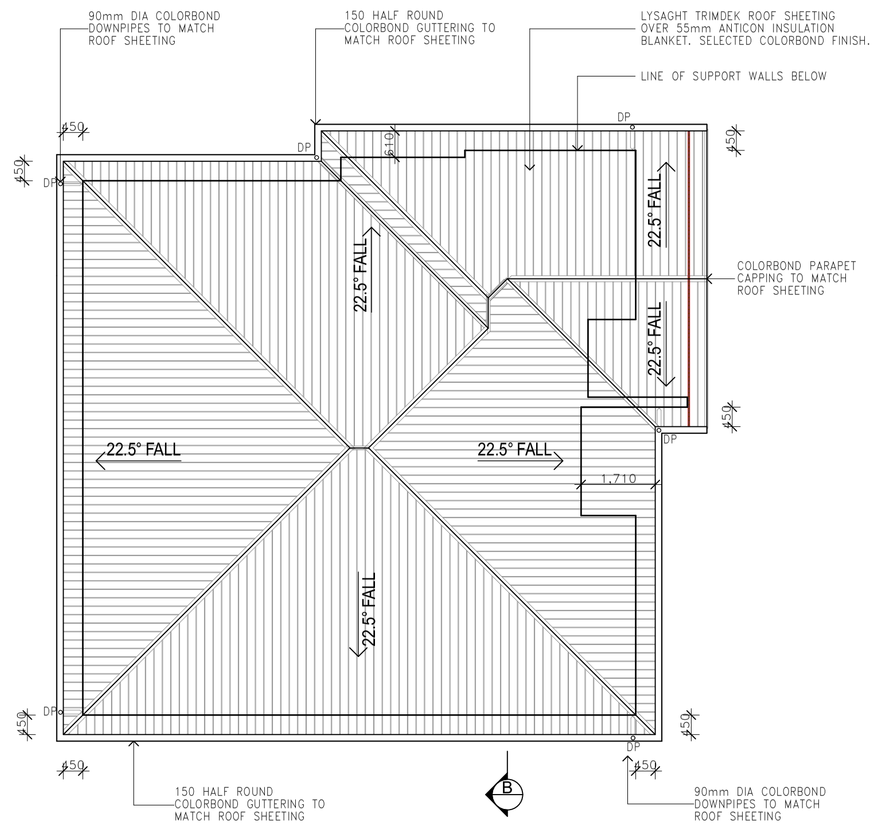
HOUSE 2 PROPOSED FLOORPLAN

SCALE 1:100



HOUSE 2 PROPOSED SET OUT PLAN

SCALE 1:100



HOUSE 2 PROPOSED ROOF PLAN

SCALE 1:100

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UNIT 2

SUMMARY OF BASIX COMMITMENTS

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WATER COMMITMENTS

FIXTURES

ALL SHOWER HEADS	ALL TOILETS	ALL KITCHEN TAPS	ALL BATHROOM TAPS
3 STAR(<=9L/min)	3 STAR(<=4L/min)	3 STAR(<=9L/min)	3 STAR(<=9L/min)

LIGHTING

DWELLING No.	MINIMUM OF 40% OF NEW OR ALTERED LIGHT FIXTURES ARE FITTED WITH FLUORESCENT, COMPACT FLUORESCENT OR LIGHT EMITTING-DIODE (LED) LAMPS

THERMAL COMMITMENTS

FLOOR, WALLS & CEILING/ROOF

CONSTRUCTION	ADDITIONAL INSULATION (R-VALUE)	OTHER
WAFFLE POD CONCRETE SLAB		-
EXTERNAL WALL - FRAMED (W/BOARD)	R2.0 WALL BATTS	-
EXTERNAL WALL - BRICK VENEER	R2.0 WALL BATTS	-
INTERNAL PLASTERBOARD WALL	NIL	-
INTERNAL PLASTERBOARD WALL SHARED WITH GARAGE	R1.5 WALL BATTS	
FLAT CEILING, METAL ROOF, FRAMED	CEILING R5.5 BATTS ROOF: R1.3 ANTICON BLANKET	

ENERGY COMMITMENTS

DWELLING No.	HOT WATER SYSTEM	BATH./KITCH./L'DRY VENTILATION SYSTEM	
		EACH ROOM	OPERATION CONTROL
-	SOLAR (ELECTRIC BOOSTED) 26-30 RECs	-	-

ACOUSTIC NOTES:

WALLS:

MASONRY, BRICK VENEER CONSTRUCTION IS ACCEPTABLE, INTERNALLY LINED WITH 10MM PLASTERBOARD, PLUS R2/S2 CAVITY INSULATION.

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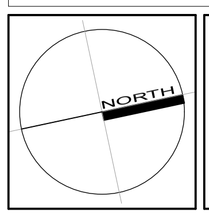
TO FURTHER ASSIST IN LOW FREQUENCY ATTENUATION, ALL CEILING VOIDS SHOULD CONTAIN A LAYER OF FIBREGLASS OR ROCKWOOL INSULATION. THE INSULATION IS TO BE INSTALLED IN ADDITION TO, NOT IN LIEU OF THE BUILDING BLANKET. SPECIALISED ACOUSTIC INSULATION IS PREFERRED, HOWEVER, DENSE THERMAL INSULATION (EG, R3 BATTS) WILL SUFFICE AND IS MUCH LESS EXPENSIVE ($15/M2 FOR ROCKWOOL 350 AND $5/M2 FOR R3 BATTS).



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A	DRAFT SET FOR REVIEW	18/6/2025

AMENDMENT:

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PO Box 5736
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T.O.Z. PTY LTD ABN 32 077 574 004
QLD LIC NO.169 7662

CLIENT: CROESE - RAYMOND TERRACE RD

PROJECT: PROPOSED NEW MULTI-RES
LOT 10 SECTION 48 D.P.758274
No. 45 RAYMOND TERRACE ROAD
EAST MAITLAND, NSW 2323

DRAWING TITLE: HOUSE 2 PROPOSED FLOOR PLANS

DATE: 05/08/25

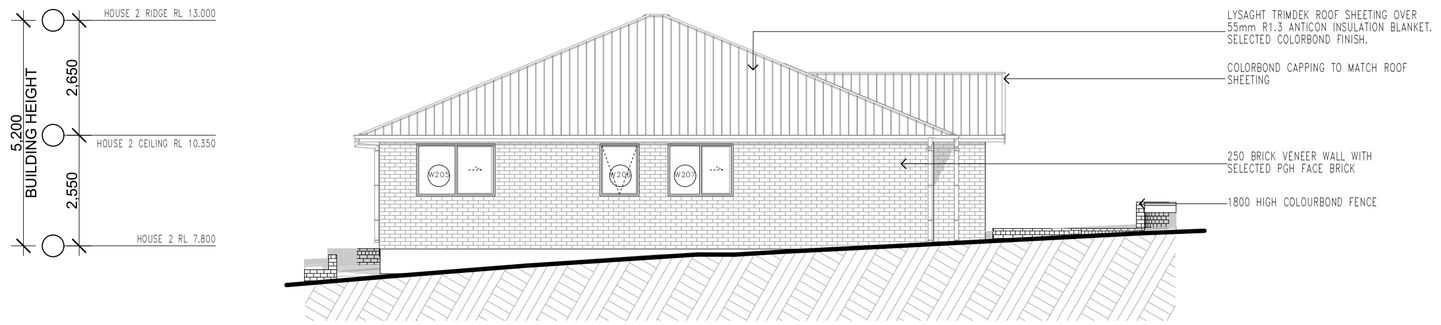
SCALE: 1:100 @ A1

DRAWING No: 2085A - A1.10

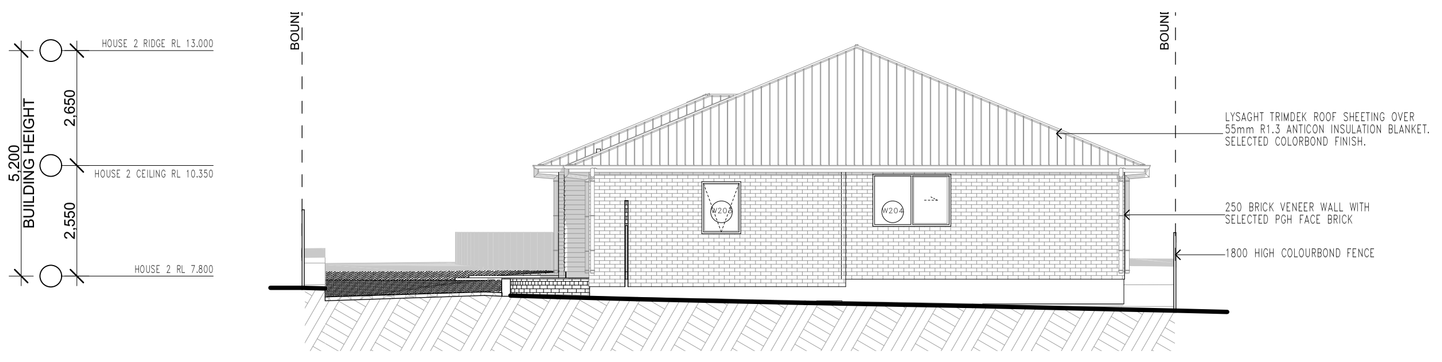
ISSUE: F

Certificate No. #HR-83F3BU-01
Scan QR code or follow website link for rating details.
Assessor name: Ross Grims
Accreditation No.: HERA 10004
Property Address: Unit 02, 45 RAYMOND TERRACE ROAD, EAST MAITLAND, NSW, 2323
http://www.hero-software.com.au/pdf/HR-83F3BU-01

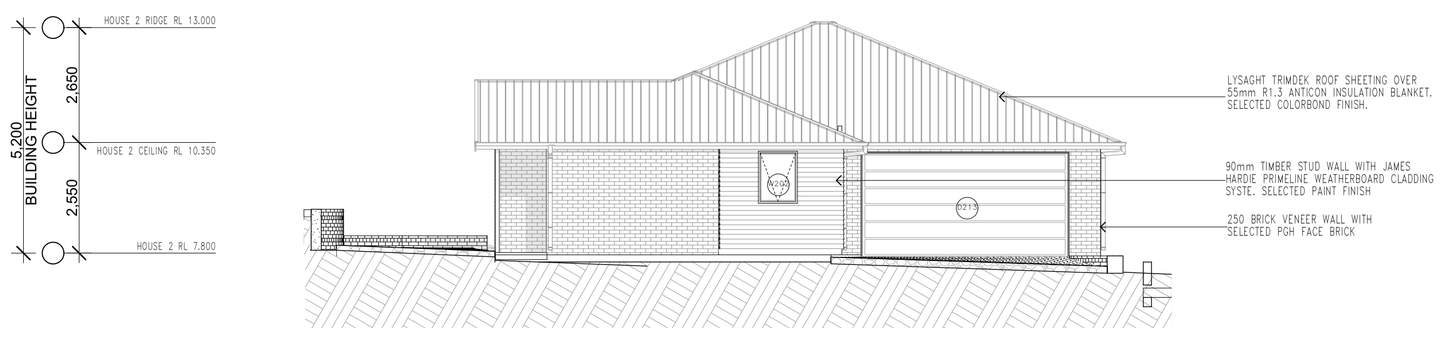
HOUSE 2 NORTH ELEVATION
SCALE 1:100



HOUSE 2 EAST ELEVATION
SCALE 1:100



HOUSE 2 SOUTH ELEVATION
SCALE 1:100



HOUSE 2 WEST ELEVATION
SCALE 1:100

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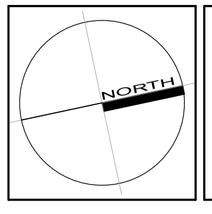


Rev	Transmittal Set Name	Date
D	FOR APPROVAL	5/8/2025
C	DRAFT SET FOR REVIEW	31/7/2025
B	DRAFT SET FOR REVIEW	7/7/2025
A	DRAFT SET FOR REVIEW	26/6/2025

AMENDMENT:

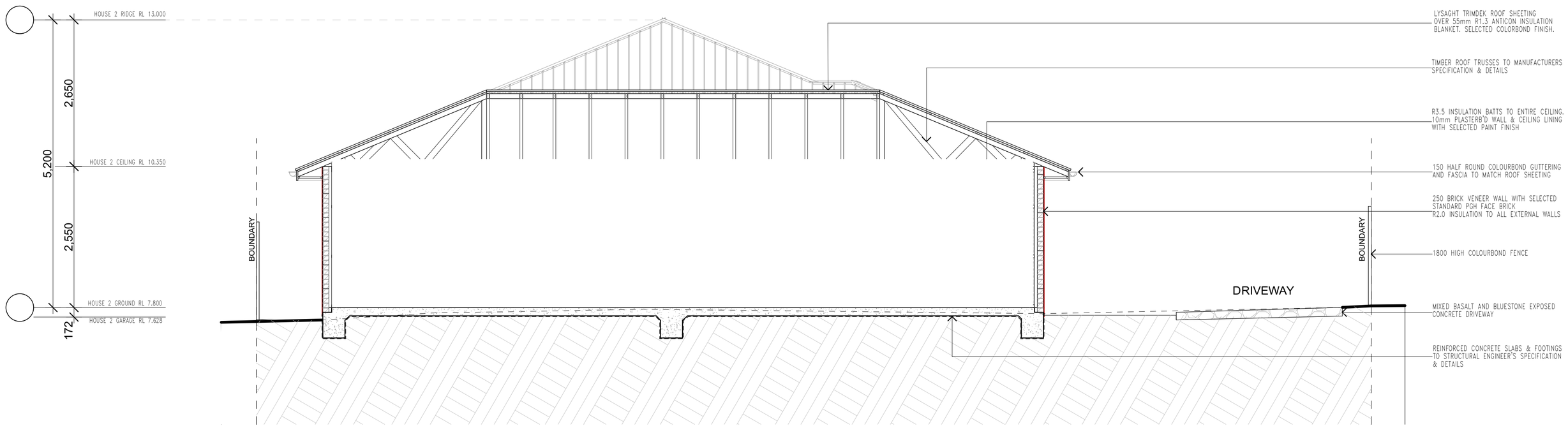
TORRENBELL BUILDING DESIGN
T 07 3185 4684
W www.torrenbell.com.au
PO Box 5736
Q Supercentre QLD 4218
T.O.Z. PTY LTD ABN 32 077 574 004
QLD LIC NO.109 7662

CLIENT:
CROESE - RAYMOND TERRACE RD

PROJECT:
PROPOSED NEW MULTI-RES
LOT 10 SECTION 48 D.P.758274
No. 45 RAYMOND TERRACE ROAD
EAST MAITLAND, NSW 2323

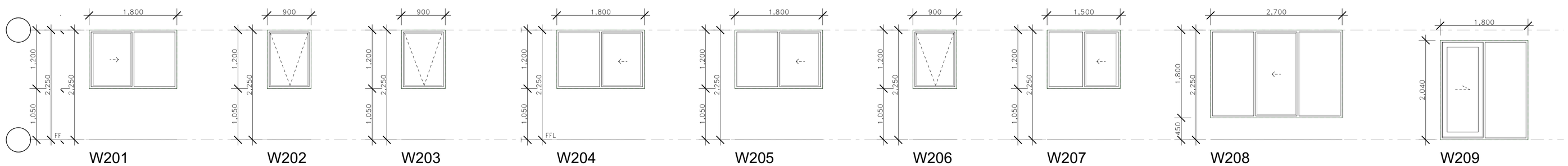
DRAWING TITLE:
HOUSE 2 ELEVATIONS

DATE: 05/08/25
SCALE: 1:100 @ A1
DRAWING No: 2085A - A1.11
ISSUE: D



HOUSE 2 SECTION B

SCALE 1:50



W201
FRAME - PC ALUMINIUM
TYPE - SLIDING
GLAZING - SINGLE CLEAR
(U-VALUE:6.38, SHGC:0.72)

W202
FRAME - PC ALUMINIUM
TYPE - AWNING
GLAZING - SINGLE CLEAR
(U-VALUE:6.37, SHGC:0.61)

W203
FRAME - PC ALUMINIUM
TYPE - AWNING
GLAZING - SINGLE CLEAR
(U-VALUE:6.45, SHGC:0.64)

W204
FRAME - PC ALUMINIUM
TYPE - SLIDING
GLAZING - SINGLE GLAZE LAMINATED OR VLAM HUSH GLASS OR SINGLE GLAZE 5-8mm CLEAR FLOAT GLASS **MIN. Rw -** 30
(U-VALUE:6.38, SHGC:0.72)

W205
FRAME - PC ALUMINIUM
TYPE - SLIDING
GLAZING - SINGLE GLAZE 5-8mm CLEAR FLOAT GLASS **MIN. Rw -** 28
(U-VALUE:6.38, SHGC:0.72)

W206
FRAME - PC ALUMINIUM
TYPE - AWNING
GLAZING - SINGLE CLEAR
(U-VALUE:6.37, SHGC:0.61)

W207
FRAME - PC ALUMINIUM
TYPE - SLIDING
GLAZING - SINGLE GLAZE 5-8mm CLEAR FLOAT GLASS **MIN. Rw -** 27
(U-VALUE:6.38, SHGC:0.72)

W208
FRAME - PC ALUMINIUM
TYPE - SLIDING
GLAZING - SINGLE CLEAR
(U-VALUE:6.38, SHGC:0.72)

W209
FRAME - PC ALUMINIUM
TYPE - SLIDING DOOR
GLAZING - SINGLE CLEAR
(U-VALUE:6.24, SHGC:0.72)

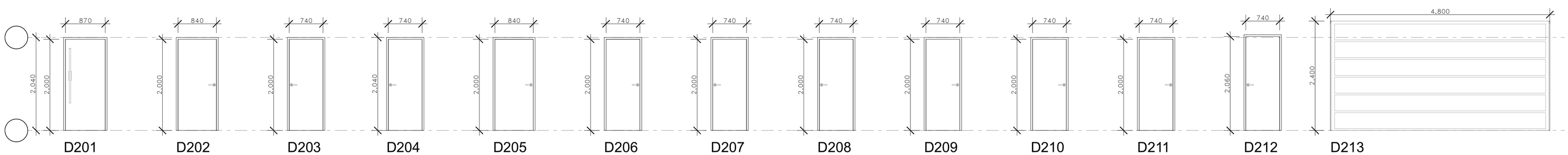
ACOUSTIC NOTES:

GLASS INSTALLED IN WINDOW ASSEMBLIES MUST COMPLY WITH AS1288-2006. MATERIALS, CONSTRUCTION AND INSTALLATION OF ALL WINDOWS ARE TO COMPLY WITH THE REQUIREMENTS OF AS2047-2014.

*THE TYPICAL GLAZING SHOWN IN THE WINDOW SCHEDULE SHOULD BE USED AS A GUIDE ONLY. THE SUPPLIER OF THE WINDOW/DOOR MUST BE ABLE TO PROVIDE EVIDENCE THAT THE COMPLETE SYSTEM WILL ACHIEVE THE SPECIFIED RW PERFORMANCE, I.E. DO NOT SIMPLY INSTALL OUR RECOMMENDED GLASS IN A STANDARD WINDOW FRAME.

HOUSE 2 WINDOW SCHEDULE

SCALE 1:50



D201
TYPE - EXTERNAL DOOR
SIZE - 2040h x 950w
FRAME - ALUMINIUM
HINGES - 2 BUTT HINGES
GLAZING - N/A
HARDWARE - T.B.A

D202
TYPE - HOLLOW CORE TIMBER
SIZE - 2040h x 920w
FRAME - TIMBER
HINGES - 2 BUTT HINGES
GLAZING - N/A
HARDWARE - T.B.A

D203
TYPE - HOLLOW CORE TIMBER
SIZE - 2040h x 820w
FRAME - TIMBER
HINGES - 2 BUTT HINGES
GLAZING - N/A
HARDWARE - T.B.A

D204
TYPE - HOLLOW CORE TIMBER
SIZE - 2040h x 820w
FRAME - TIMBER
HINGES - 2 BUTT HINGES
GLAZING - N/A
HARDWARE - T.B.A

D205
TYPE - HOLLOW CORE TIMBER
SIZE - 2040h x 920w
FRAME - TIMBER
HINGES - 2 BUTT HINGES
GLAZING - N/A
HARDWARE - T.B.A

D206
TYPE - HOLLOW CORE TIMBER
SIZE - 2040h x 820w
FRAME - TIMBER
HINGES - 2 BUTT HINGES
GLAZING - N/A
HARDWARE - T.B.A

D207
TYPE - HOLLOW CORE TIMBER
SIZE - 2040h x 820w
FRAME - TIMBER
HINGES - 2 BUTT HINGES
GLAZING - N/A
HARDWARE - T.B.A

D208
TYPE - HOLLOW CORE TIMBER
SIZE - 2040h x 820w
FRAME - TIMBER
HINGES - 2 BUTT HINGES
GLAZING - N/A
HARDWARE - T.B.A

D209
TYPE - HOLLOW CORE TIMBER
SIZE - 2040h x 820w
FRAME - TIMBER
HINGES - 2 BUTT HINGES
GLAZING - N/A
HARDWARE - T.B.A

D210
TYPE - HOLLOW CORE TIMBER
SIZE - 2040h x 820w
FRAME - TIMBER
HINGES - 2 BUTT HINGES
GLAZING - N/A
HARDWARE - T.B.A

D211
TYPE - HOLLOW CORE TIMBER
SIZE - 2040h x 820w
FRAME - TIMBER
HINGES - 2 BUTT HINGES
GLAZING - N/A
HARDWARE - T.B.A

D212
TYPE - HOLLOW CORE TIMBER
SIZE - 2040h x 820w
FRAME - TIMBER
HINGES - 2 BUTT HINGES
GLAZING - N/A
HARDWARE - T.B.A

D213
TYPE - STEEL-LINE ROLLER DOOR
OPENING - 2400h x 4800w
FINISH - COLORBOND, COLOUR T.B.A
OPERATION - ELECTRICALLY OPERATED

HOUSE 2 DOOR SCHEDULE

SCALE 1:50

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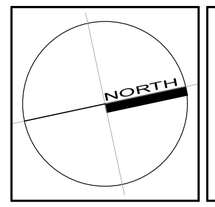

Rev	Transmittal Set Name	Date
E	FOR APPROVAL	5/8/2025
D	DRAFT SET FOR REVIEW	31/7/2025
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B	DRAFT SET FOR REVIEW	7/7/2025
A	DRAFT SET FOR REVIEW	26/6/2025

AMENDMENT:

TORRENBELL BUILDING DESIGN
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W www.torrenbell.com.au
PO Box 5736
Q Supercentre QLD 4218
T.O.Z. PTY LTD ABN 32 077 574 004
QLD LIC NO 109 7662

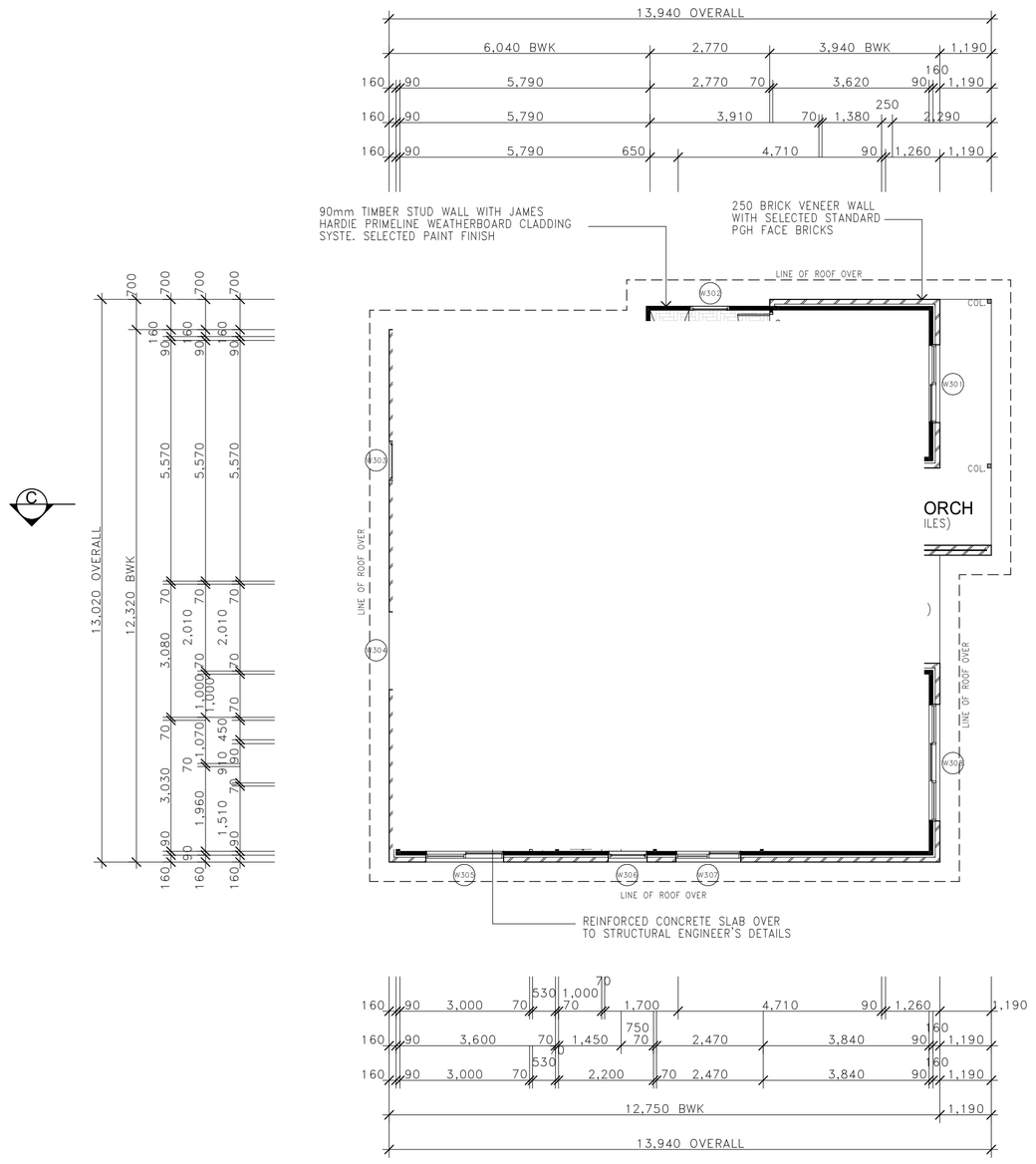
CLIENT:
CROESE - RAYMOND TERRACE RD

PROJECT:
PROPOSED NEW MULTI-RES
LOT 10 SECTION 48 D.P.758274
No. 45 RAYMOND TERRACE ROAD
EAST MAITLAND, NSW 2323

DRAWING TITLE:
HOUSE 2 SECTION AND WINDOW & DOOR SCHEDULE

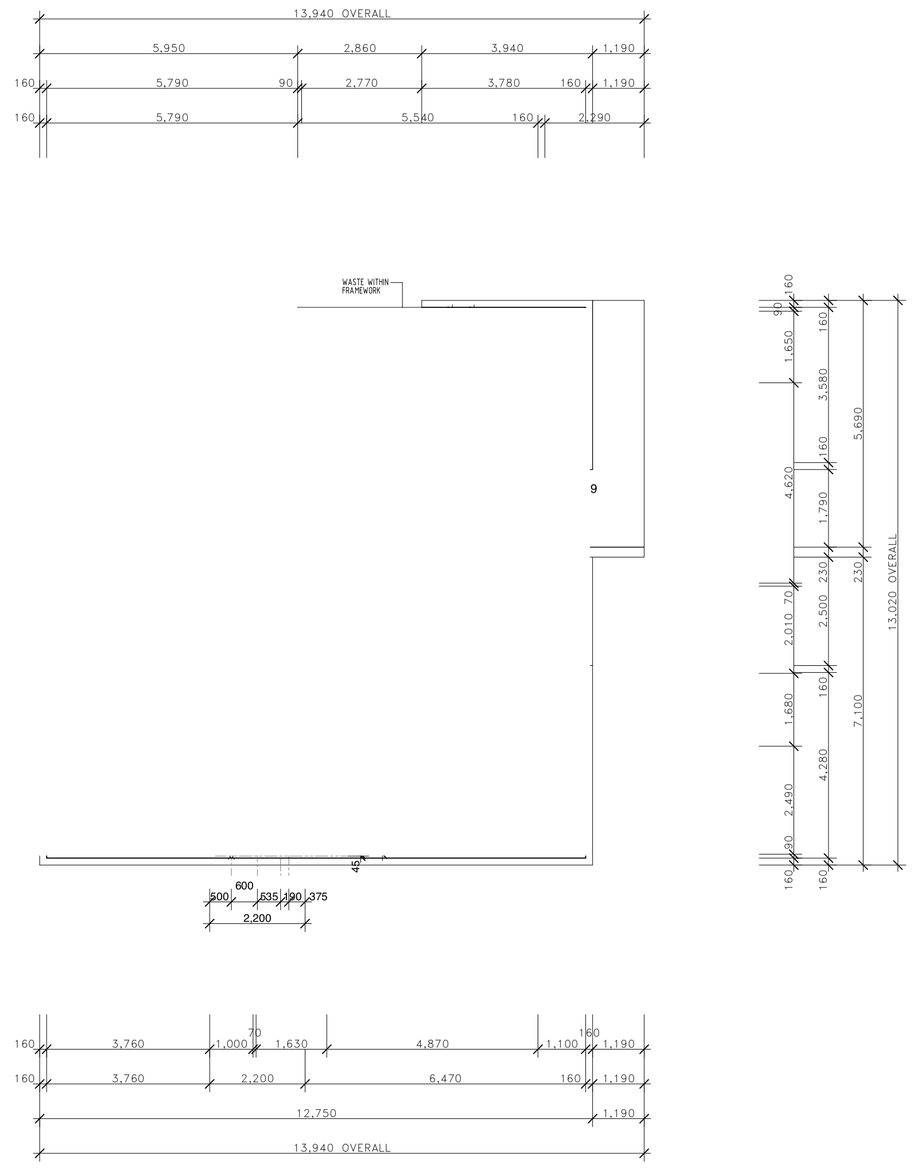
DATE: 05/08/25
SCALE: 1:50 @ A1
DRAWING No: 2085A - A1.12
ISSUE: E

Certificate No. #HR-CJVDHC-01
Scan QR code or follow website link for rating details.
Assessor name: Ross Grims
Accreditation No.: HERA 10004
Property Address: Unit 03, 45 RAYMOND TERRACE ROAD, EAST MAITLAND, NSW, 2323
http://www.hero-software.com.au/pdf/HR-CJVDHC-01



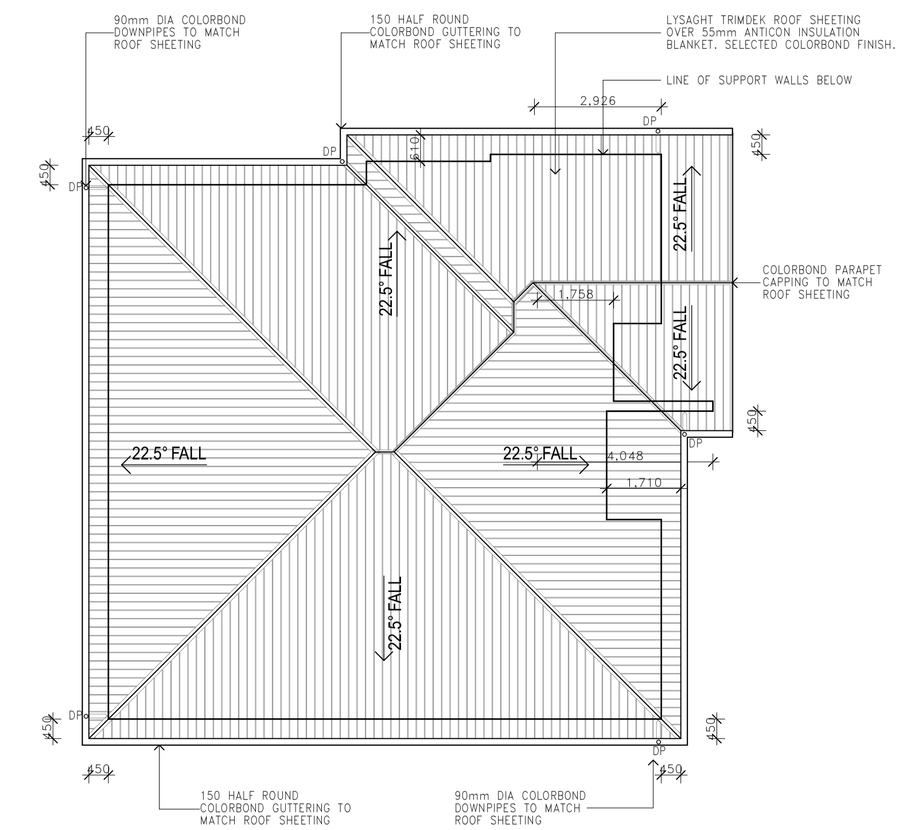
HOUSE 3 PROPOSED FLOORPLAN

SCALE 1:100



HOUSE 3 PROPOSED SET OUT PLAN

SCALE 1:100



HOUSE 3 PROPOSED ROOF PLAN

SCALE 1:100

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UNIT 3

SUMMARY OF BASIX COMMITMENTS

This is a summary of the BASIX Commitments as detailed in the BASIX Certificate. Builders and Owners must refer to the CURRENT BASIX Certificate for Complete details. For definitions refer to basix.nsw.gov.au

WATER COMMITMENTS

FIXTURES			
ALL SHOWER HEADS	ALL TOILETS	ALL KITCHEN TAPS	ALL BATHROOM TAPS
3 STAR(<=9L/min)	3 STAR(<=4L/min)	3 STAR(<=9L/min)	3 STAR(<=9L/min)

LIGHTING	
DWELLING No.	
–	MINIMUM OF 40% OF NEW OR ALTERED LIGHT FITXTURES ARE FITTED WITH FLUORESCENT, COMPACT FLUORESCENT OR LIGHT EMITTING-DIODE (LED) LAMPS

THERMAL COMMITMENTS

FLOOR, WALLS & CEILING/ROOF		
CONSTRUCTION	ADDITIONAL INSULATION (R-VALUE)	OTHER
WAFFLE POD CONCRETE SLAB		–
EXTERNAL WALL – FRAMED (W/BOARD)	R2.0 WALL BATTS	–
EXTERNAL WALL – BRICK VENEER	R2.0 WALL BATTS	–
INTERNAL PLASTERBOARD WALL	NIL	–
INTERNAL PLASTERBOARD WALL SHARED WITH GARAGE	R1.5 WALL BATTS	
FLAT CEILING, METAL ROOF, FRAMED	CEILING: R2.5 BATTS ROOF: R1.5 ANTICON BLANKET	

ENERGY COMMITMENTS

	HOT WATER	BATH./KITCH./L'DRY VENTILATION SYSTEM	
DWELLING No.	HOT WATER SYSTEM	EACH ROOM	OPERATION CONTROL
–	SOLAR (ELECTRIC BOOSTED) 26-30 REC's	–	–

ACOUSTIC NOTES:

WALLS:

MASONRY, BRICK VENEER CONSTRUCTION IS ACCEPTABLE, INTERNALLY LINED WITH 10MM PLASTERBOARD, PLUS R2/S2 CAVITY INSULATION.

WHERE LIGHT-WEIGHT CLADDING IS INSTALLED (I.E. ALUMINIUM COMPOSITE PANEL, AXON, SHADOWCLAD, WEATHERTEX, OR SIMILAR) INTERNAL LINING TO ROOMS MUST BE MINIMUM 13MM PLASTERBOARD, PLUS R2/S2 CAVITY INSULATION.

ROOF/CEILING:

CONSTRUCTION IS TO CONSIST OF COLORBOND WITH A 30-40MM ANTICON FOIL FACED BUILDING BLANKET HARD UNDER THE ROOF SHEETING (IN SITUATIONS WHERE JOISTS ARE AT CENTRES CLOSE ENOUGH TO AVOID EXCESSIVE SAGGING OF THE BLANKET MAY BE OMITTED). CLOSE OFF EAVES GAPS WITH 2 LAYERS S3/R3 INSULATION IN CEILING VOID, TIGHTLY PACKED AT THE BUILDING PERIMETER AT 600MM WIDTH, ALTERNATIVELY 1 LAYER R4.1 BATTS WILL SUFFICE. ALL CEILINGS ARE TO CONSIST OF 1 LAYER 10-13MM PLASTERBOARD.

TO FURTHER ASSIST IN LOW FREQUENCY ATTENUATION, ALL CEILING VOIDS SHOULD CONTAIN A LAYER OF FIBREGLASS OR ROCKWOOL INSULATION. THE INSULATION IS TO BE INSTALLED IN ADDITION TO, NOT IN LIEU OF THE BUILDING BLANKET. SPECIALISED ACOUSTIC INSULATION IS PREFERRED, HOWEVER, DENSE THERMAL INSULATION (EG, R3 BATTS) WILL SUFFICE AND IS MUCH LESS EXPENSIVE ($15/M2 FOR ROCKWOOL 350 AND $5/M2 FOR R3 BATTS).

NORTH

Rev	Transmittal Set Name	Date
F	FOR APPROVAL	5/8/2025
E	DRAFT SET FOR REVIEW	31/7/2025
D	DRAFT SET FOR REVIEW	28/7/2025
C	DRAFT SET FOR REVIEW	7/7/2025
B	DRAFT SET FOR REVIEW	26/6/2025
A	DRAFT SET FOR REVIEW	18/6/2025

AMENDMENT:

TORRENBELL BUILDING DESIGN
T 07 3185 4684
W www.torrenbell.com.au
PO Box 5736
Q Supercentre QLD 4218
T.O.Z. PTY LTD ABN 32 077 574 904
QLD LIC NO 999 7660

CLIENT: CROESE - RAYMOND TERRACE RD

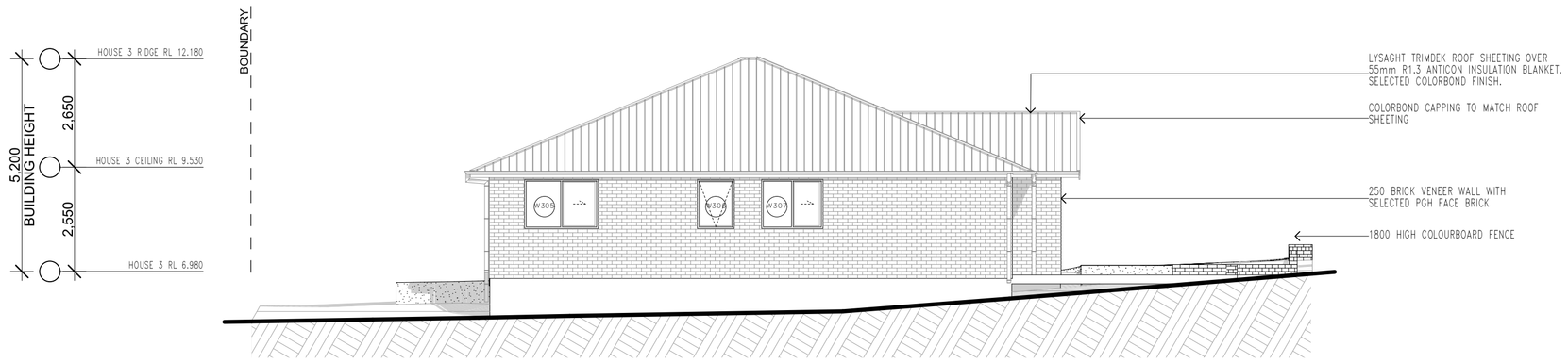
PROJECT: PROPOSED NEW MULTI-RES
LOT 10 SECTION 48 D.P.758274
No. 45 RAYMOND TERRACE ROAD
EAST MAITLAND, NSW 2323

DRAWING TITLE: HOUSE 3 PROPOSED FLOOR PLANS

DATE: 05/08/25
SCALE: 1:100 @ A1
DRAWING No: 2085A - A1.13
ISSUE: F

Certificate No. #HR-CJVDHC-01
Scan QR code or follow website link for rating details.
Assessor name Ross Grims
Accreditation No. HERA 10004
Property Address Unit 03, 45 RAYMOND TERRACE ROAD, EAST MAITLAND, NSW, 2323
http://www.hero-software.com.au/pdf/HR-CJVDHC-01

HOUSE 3 NORTH ELEVATION
SCALE 1:100



HOUSE 3 EAST ELEVATION
SCALE 1:100

HOUSE 3 SOUTH ELEVATION
SCALE 1:100

HOUSE 3 WEST ELEVATION
SCALE 1:100

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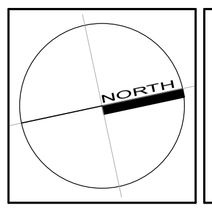

Rev	Transmittal Set Name	Date
D	FOR APPROVAL	5/8/2025
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A	DRAFT SET FOR REVIEW	26/6/2025

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QLD LIC NO.1017662

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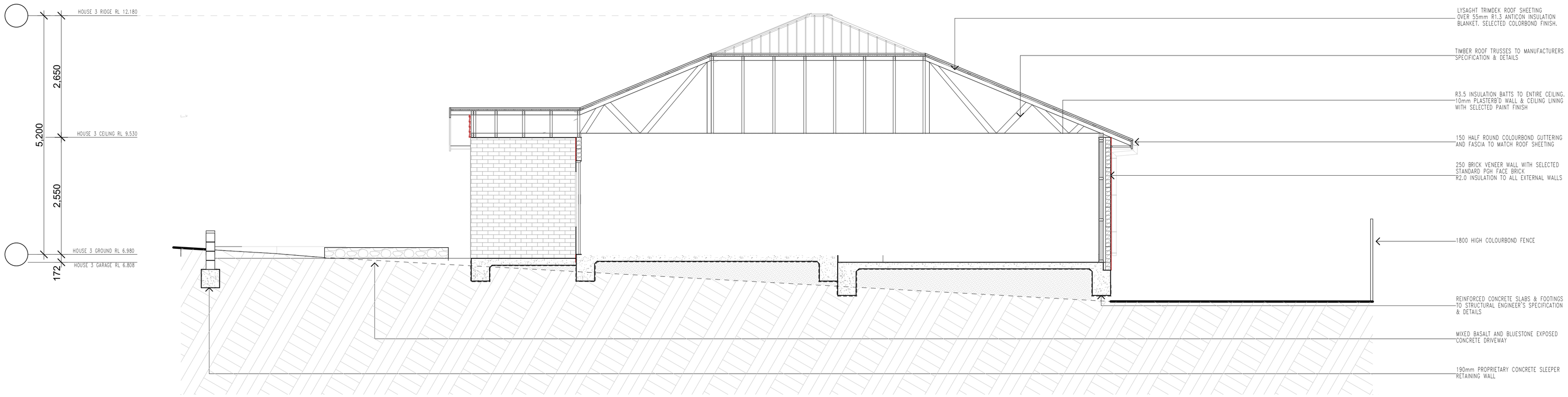
CROESE - RAYMOND TERRACE RD

PROJECT:
PROPOSED NEW MULTI-RES
LOT 10 SECTION 48 D.P.758274
No. 45 RAYMOND TERRACE ROAD
EAST MAITLAND, NSW 2323

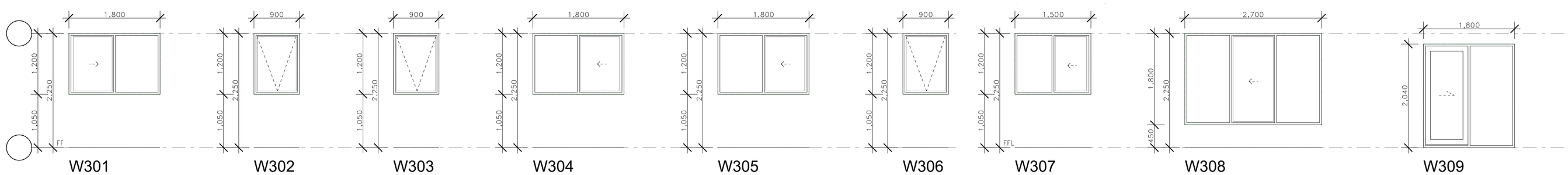
DRAWING TITLE:
HOUSE 3 ELEVATIONS

DATE:	05/08/25
SCALE:	1:100 @ A1
DRAWING No:	2085A - A1.14
ISSUE:	D



HOUSE 3 SECTION C

SCALE 1:50



W301
FRAME - PC ALUMINIUM
TYPE - SLIDING
GLAZING - SINGLE GLAZE LAMINATED OR VLAM HUSH GLASS OR SINGLE GLAZE 5–8mm CLEAR FLOAT GLASS MIN. Rw - 29 (U–VALUE:6.38, SHGC:0.72)

W302
FRAME - PC ALUMINIUM
TYPE - AWNING
GLAZING - SINGLE GLAZE 5–8mm CLEAR FLOAT GLASS MIN. Rw - 28 (U–VALUE:6.37, SHGC:0.61)

W303
FRAME - PC ALUMINIUM
TYPE - AWNING
GLAZING - SINGLE CLEAR (U–VALUE:6.45, SHGC:0.64)

W304
FRAME - PC ALUMINIUM
TYPE - SLIDING
GLAZING - SINGLE GLAZE LAMINATED OR VLAM HUSH GLASS MIN. Rw - 33 (U–VALUE:4.52, SHGC:0.59)

W305
FRAME - PC ALUMINIUM
TYPE - SLIDING
GLAZING - SINGLE GLAZE LAMINATED OR VLAM HUSH GLASS MIN. Rw - 31 (U–VALUE:4.52, SHGC:0.59)

W306
FRAME - PC ALUMINIUM
TYPE - AWNING
GLAZING - SINGLE GLAZE 5–8mm CLEAR FLOAT GLASS MIN. Rw - 28 (U–VALUE:6.37, SHGC:0.61)

W307
FRAME - PC ALUMINIUM
TYPE - SLIDING
GLAZING - SINGLE GLAZE LAMINATED OR VLAM HUSH GLASS OR SINGLE GLAZE 5–8mm CLEAR FLOAT GLASS MIN. Rw - 30 (U–VALUE:6.38, SHGC:0.72)

W308
FRAME - PC ALUMINIUM
TYPE - SLIDING
GLAZING - SINGLE GLAZE 5–8mm CLEAR FLOAT GLASS MIN. Rw - 27 (U–VALUE:6.38, SHGC:0.72)

W309
FRAME - PC ALUMINIUM
TYPE - SLIDING DOOR
GLAZING - SINGLE GLAZE 5–8mm CLEAR FLOAT GLASS MIN. Rw - 27 (U–VALUE:6.24, SHGC:0.72)

HOUSE 3 WINDOW SCHEDULE

SCALE 1:50

ACOUSTIC NOTES:

GLASS INSTALLED IN WINDOW ASSEMBLIES MUST COMPLY WITH AS1288–2006. MATERIALS, CONSTRUCTION AND INSTALLATION OF ALL WINDOWS ARE TO COMPLY WITH THE REQUIREMENTS OF AS2047–2014.

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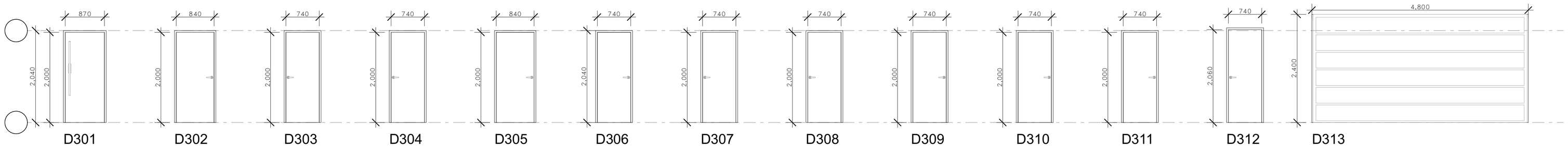

D301
TYPE - EXTERNAL DOOR
SIZE - 2040h x 950w
FRAME - ALUMINIUM
HINGES - 2 BUTT HINGES
GLAZING - N/A
HARDWARE - T.B.A

D302
TYPE - HOLLOW CORE TIMBER
SIZE - 2040h x 920w
FRAME - TIMBER
HINGES - 2 BUTT HINGES
GLAZING - N/A
HARDWARE - T.B.A

D303
TYPE - HOLLOW CORE TIMBER
SIZE - 2040h x 820w
FRAME - TIMBER
HINGES - 2 BUTT HINGES
GLAZING - N/A
HARDWARE - T.B.A

D304
TYPE - HOLLOW CORE TIMBER
SIZE - 2040h x 820w
FRAME - TIMBER
HINGES - 2 BUTT HINGES
GLAZING - N/A
HARDWARE - T.B.A

D305
TYPE - HOLLOW CORE TIMBER
SIZE - 2040h x 820w
FRAME - TIMBER
HINGES - 2 BUTT HINGES
GLAZING - N/A
HARDWARE - T.B.A

D306
TYPE - HOLLOW CORE TIMBER
SIZE - 2040h x 820w
FRAME - TIMBER
HINGES - 2 BUTT HINGES
GLAZING - N/A
HARDWARE - T.B.A

D307
TYPE - HOLLOW CORE TIMBER
SIZE - 2040h x 820w
FRAME - TIMBER
HINGES - 2 BUTT HINGES
GLAZING - N/A
HARDWARE - T.B.A

D308
TYPE - HOLLOW CORE TIMBER
SIZE - 2040h x 820w
FRAME - TIMBER
HINGES - 2 BUTT HINGES
GLAZING - N/A
HARDWARE - T.B.A

D309
TYPE - HOLLOW CORE TIMBER
SIZE - 2040h x 820w
FRAME - TIMBER
HINGES - 2 BUTT HINGES
GLAZING - N/A
HARDWARE - T.B.A

D310
TYPE - HOLLOW CORE TIMBER
SIZE - 2040h x 820w
FRAME - TIMBER
HINGES - 2 BUTT HINGES
GLAZING - N/A
HARDWARE - T.B.A

D311
TYPE - HOLLOW CORE TIMBER
SIZE - 2040h x 820w
FRAME - TIMBER
HINGES - 2 BUTT HINGES
GLAZING - N/A
HARDWARE - T.B.A

D312
TYPE - HOLLOW CORE TIMBER
SIZE - 2040h x 820w
FRAME - TIMBER
HINGES - 2 BUTT HINGES
GLAZING - N/A
HARDWARE - T.B.A

D313
TYPE - STEEL–LINE ROLLER DOOR
OPENING - 2400h x 4800w
FINISH - COLORBOND, COLOUR T.B.A
OPERATION - ELECTRICALLY OPERATED

HOUSE 3 DOOR SCHEDULE

SCALE 1:50

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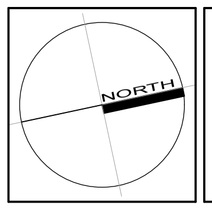


Rev	Transmittal Set Name	Date
E	FOR APPROVAL	5/8/2025
D	DRAFT SET FOR REVIEW	31/7/2025
C	DRAFT SET FOR REVIEW	28/7/2025
B	DRAFT SET FOR REVIEW	7/7/2025
A	DRAFT SET FOR REVIEW	26/6/2025

AMENDMENT:

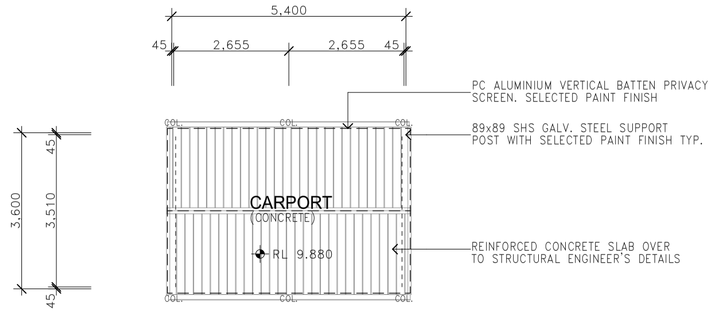
TORRENBELL BUILDING DESIGN
T 07 3185 4684
W www.torrenbell.com.au
PO Box 5736
Q Supercentre QLD 4218
T.O.Z. PTY LTD ABN 32 077 574 004
QLD LIC NO 169 7692

CLIENT:
CROESE - RAYMOND TERRACE RD

PROJECT:
PROPOSED NEW MULTI-RES
LOT 10 SECTION 48 D.P.758274
No. 45 RAYMOND TERRACE ROAD
EAST MAITLAND, NSW 2323

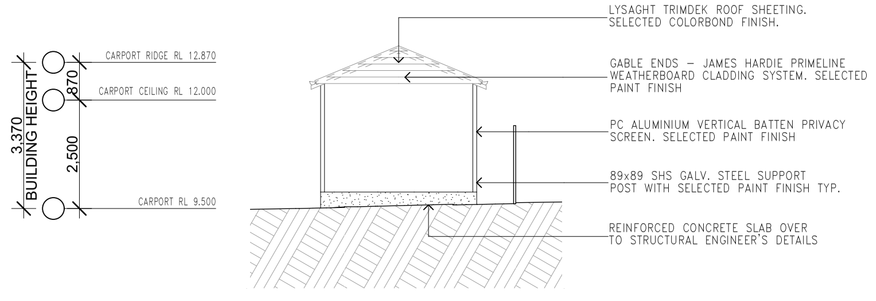
DRAWING TITLE:
HOUSE 3 SECTION AND WINDOW & DOOR SCHEDULE

DATE: 05/08/25
SCALE: 1:50 @ A1
DRAWING No: 2085A - A1.15
ISSUE: E



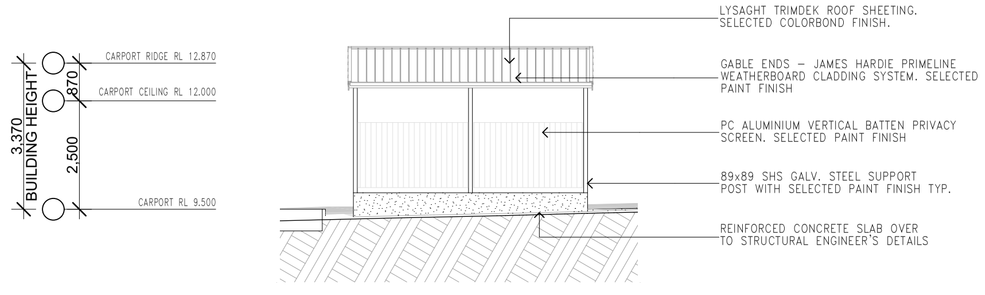
CARPORT FLOOR PLAN

SCALE 1:100



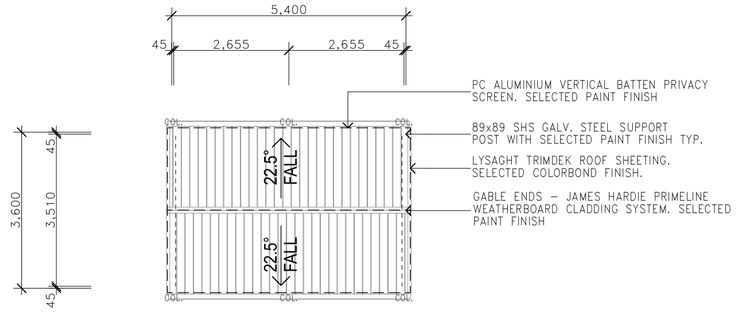
CARPORT NORTH ELEVATION

SCALE 1:100



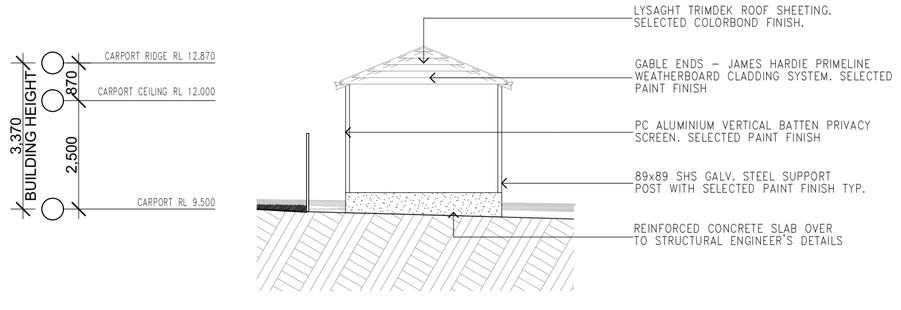
CARPORT EAST ELEVATION

SCALE 1:100



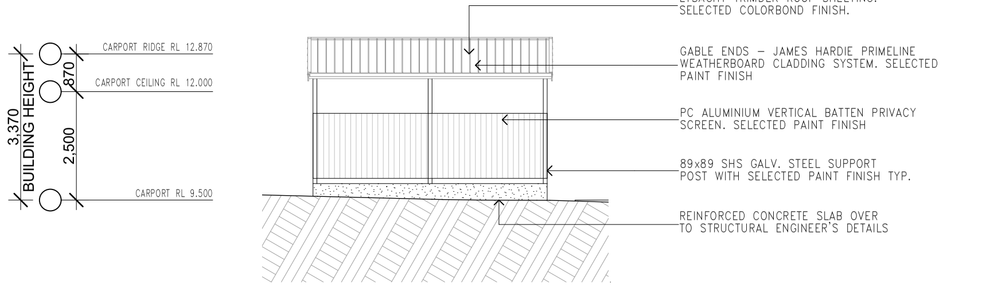
CARPORT ROOF PLAN

SCALE 1:100



CARPORT SOUTH ELEVATION

SCALE 1:100



CARPORT WEST ELEVATION

SCALE 1:100

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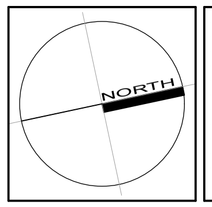

Rev	Transmittal Set Name	Date
C	FOR APPROVAL	5/8/2025
B	DRAFT SET FOR REVIEW	31/7/2025
A	DRAFT SET FOR REVIEW	7/7/2025

AMENDMENT:

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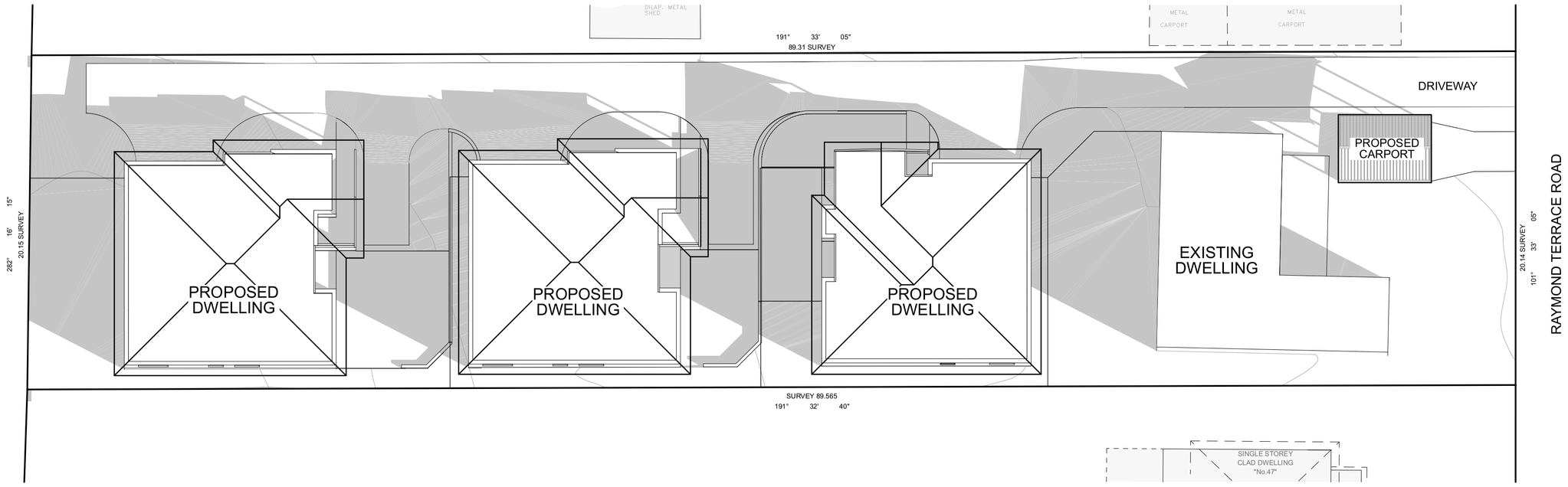
PO Box 5736
Q Supercentre QLD 4218
T.O.Z. PTY LTD ABN 32 677 574 904
QLD LIC NO 199 7660

CLIENT:
CROESE - RAYMOND TERRACE RD

PROJECT:
PROPOSED NEW MULTI-RES
LOT 10 SECTION 48 D.P.758274
No. 45 RAYMOND TERRACE ROAD
EAST MAITLAND, NSW 2323

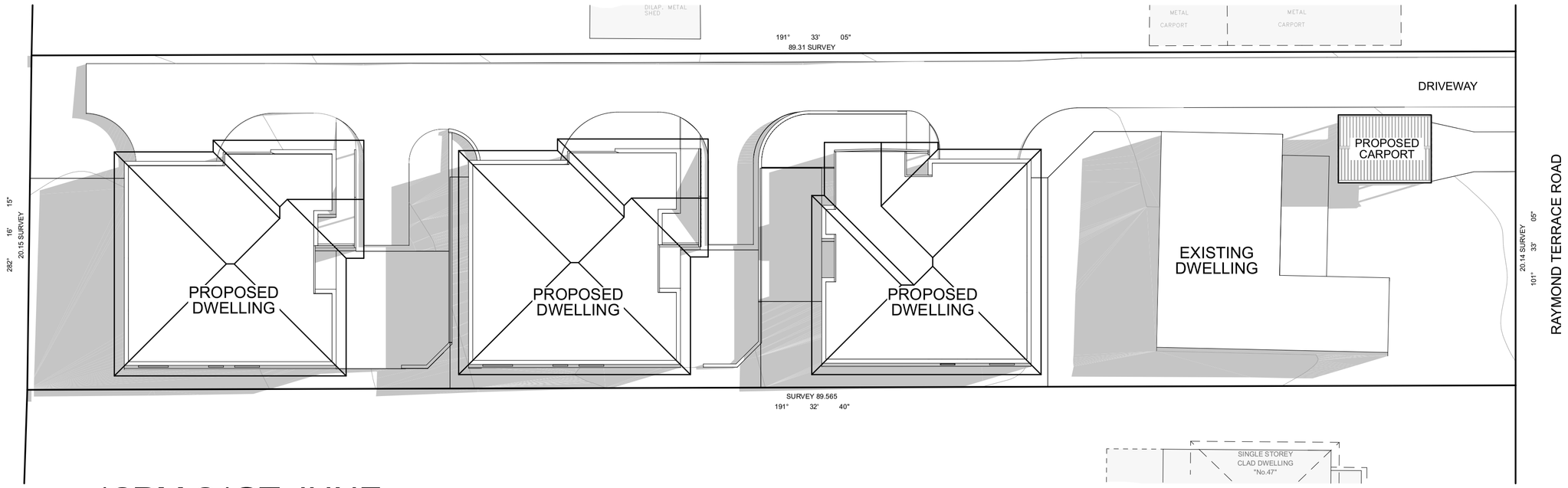
DRAWING TITLE:
PROPOSED CARPORT

DATE:	05/08/25
SCALE:	1:100 @ A1
DRAWING No:	2085A - A1.16
ISSUE:	C



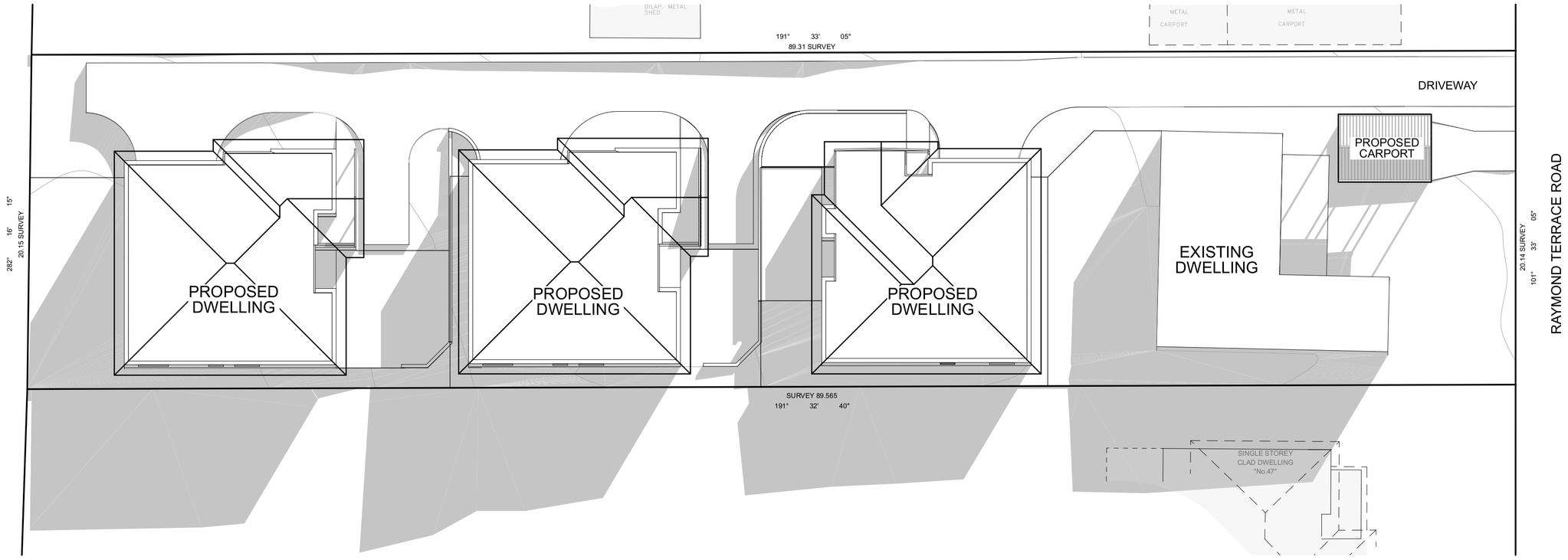
9AM 21ST JUNE

SCALE 1:200



12PM 21ST JUNE

SCALE 1:200



3PM 21ST JUNE

SCALE 1:200

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NORTH

Rev	Transmittal Set Name	Date
C	FOR APPROVAL	5/8/2025
B	DRAFT SET FOR REVIEW	31/7/2025
01	DRAFT SET FOR REVIEW	16/7/2025

AMENDMENT:

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PO Box 5736
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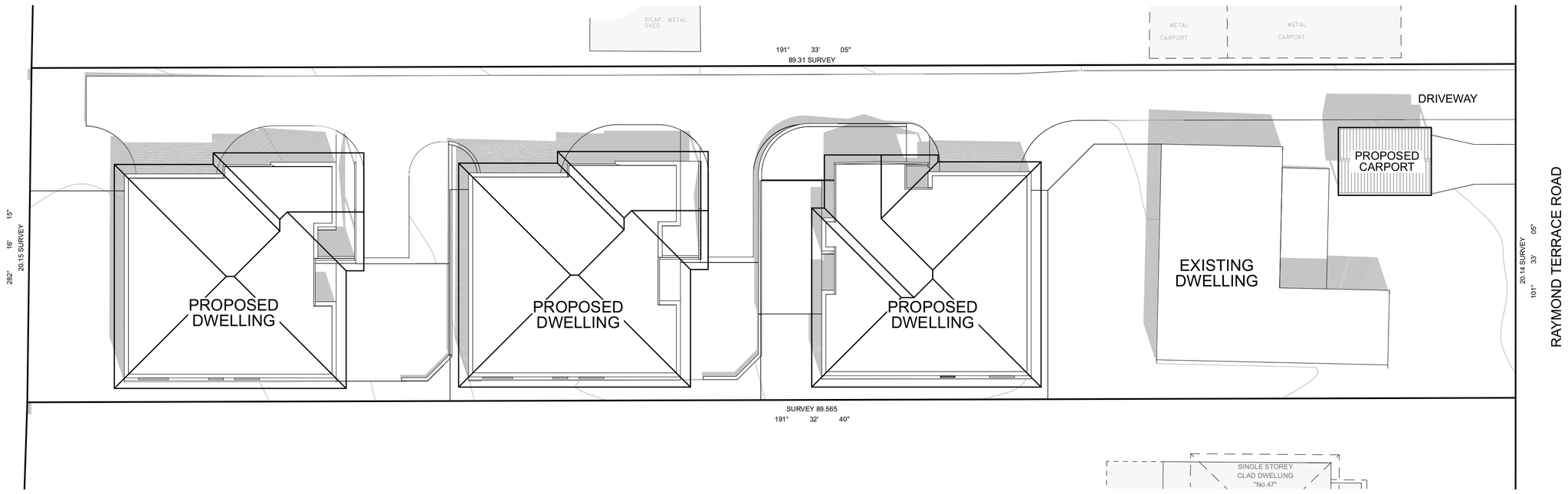
T.O.Z. PTY LTD ABN 32 077 574 904
QLD LIC NO 169 7682

CLIENT:
CROESE - RAYMOND TERRACE RD

PROJECT:
PROPOSED NEW MULTI-RES
LOT 10 SECTION 48 D.P.758274
No. 45 RAYMOND TERRACE ROAD
EAST MAITLAND, NSW 2323

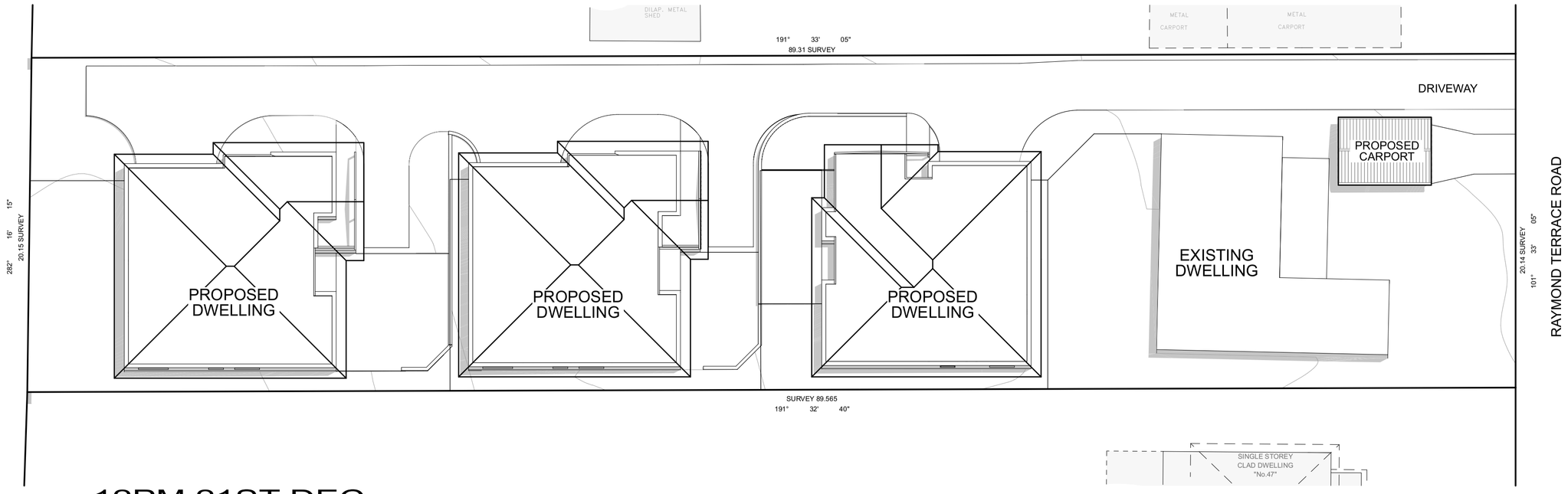
DRAWING TITLE:
SHADOW DIAGRAMS 1

DATE: 05/08/25
SCALE: 1:200 @ A1
DRAWING No: 2085A - A1.17
ISSUE: C



9AM 21ST DEC

SCALE 1:200



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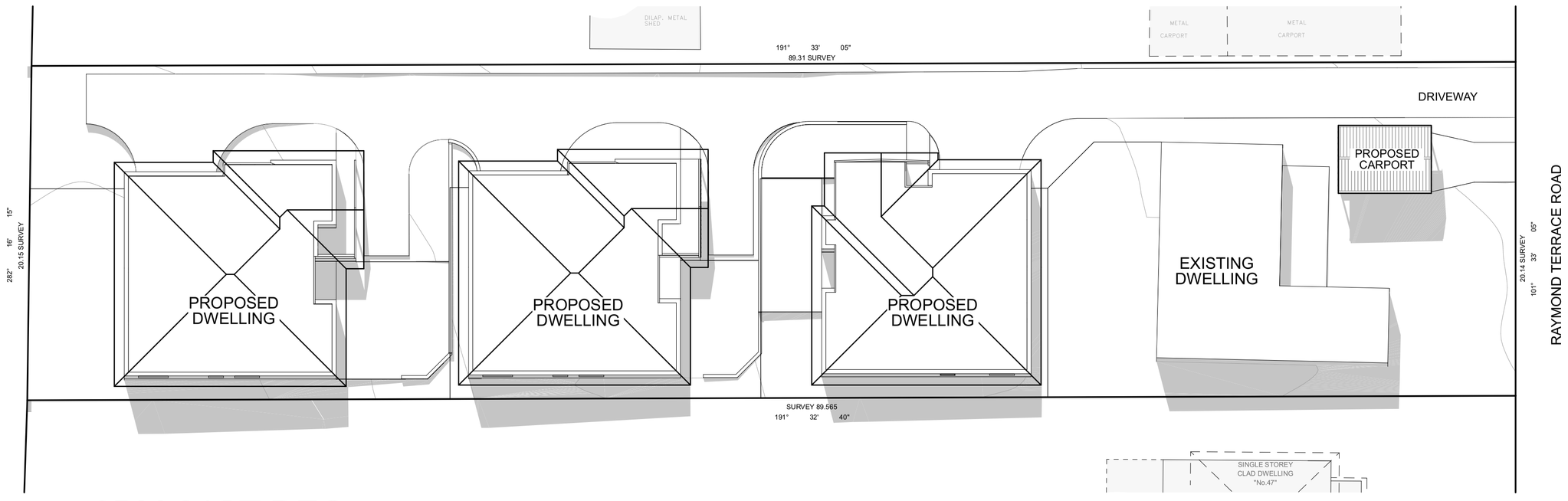

3PM 21ST DEC

SCALE 1:200

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NORTH

Rev	Transmittal Set Name	Date
C	FOR APPROVAL	5/8/2025
B	DRAFT SET FOR REVIEW	31/7/2025
G1	DRAFT SET FOR REVIEW	16/7/2025

AMENDMENT:

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T.O.Z. PTY LTD ABN 32 077 574 004
QLD LIC NO 109 7662

CLIENT:
CROESE - RAYMOND TERRACE RD

PROJECT:
PROPOSED NEW MULTI-RES
LOT 10 SECTION 48 D.P.758274
No. 45 RAYMOND TERRACE ROAD
EAST MAITLAND, NSW 2323

DRAWING TITLE:
SHADOW DIAGRAMS 2

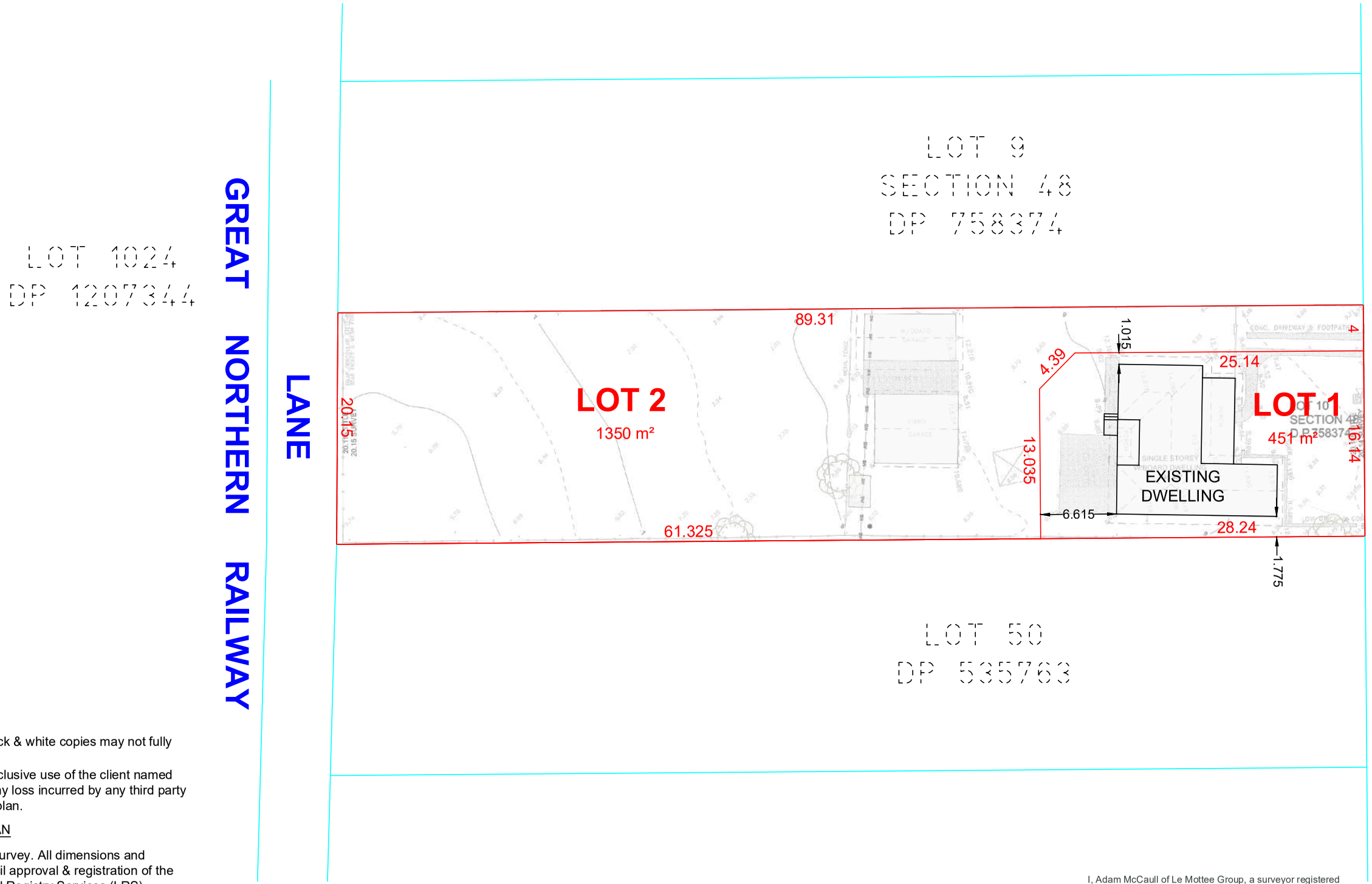
DATE: 05/08/25
SCALE: 1:200 @ A1
DRAWING No: 2085A - A1.18
ISSUE: C

ATTACHMENT ‘B’

BEFORE YOU DIG
www.byda.com.au

CAUTION: ALL DIMENSIONS ARE SUBJECT TO THE REGISTRATION OF THE FINAL PLAN OF SUBDIVISION WITH NSW LAND REGISTRY SERVICES (LRS).

MGA NORTH



NOTES - GENERAL

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2. This plan has been prepared for the exclusive use of the client named hereon. No responsibility is taken for any loss incurred by any third party resulting from unauthorised use of the plan.

NOTES - PROPOSED SUBDIVISION PLAN

1. Boundaries have not been verified by survey. All dimensions and areas are subject to final survey, council approval & registration of the final plan of subdivision with NSW Land Registry Services (LRS).
2. This subdivision layout is a concept only and is subject to council approval.
3. This subdivision layout should not be used for financial planning prior to council approval.
4. This plan is to accompany an application to Maitland Council and should not be used for any other purpose.
5. Easement(s) & Restriction(s) on the Use of Land & Positive Covenant(s) may be created on the final subdivision plan.

I, Adam McCaull of Le Mottee Group, a surveyor registered under the Surveying and Spatial Information Act 2002, certify that -
The Land shown in this plan was compiled in accordance with the Surveying and Spatial Information Regulation 2024.

0 5 10 15 20m
SCALE 1:400 @ A3

Surveyor Identification No. SU008248
Surveyor Registered under the Surveying and Spatial Information Act 2002

LE MOTTEE GROUP
SURVEYING | CIVIL ENGINEERING | TOWN PLANNING | PROJECT MANAGEMENT
STRATA CERTIFICATION | ECOLOGY | BUSHFIRE ASSESSMENT

4/199 ADELAIDE STREET
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RAYMOND TERRACE, 2324
P: 4987 1748
reception@lemottee.com
ABN 38 136 535 156

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Technical Details:

Azimuth	MGA 2020	Datum	N/A
Origin	N/A	Origin	N/A
Easting	N/A	R.L.	N/A
Northing	N/A	Contour Int.	N/A

Surveyed: N/A
Drafted: PG 2/07/2025
Checked: CMW 2/07/2025

Title: PROPOSED SUBDIVISION
Client: CROESE BUILDING PTY LTD
Site: LOT 10 SECTION 48 DP 758374 - "No.45" RAYMOND TERRACE ROAD
Locality: EAST MAITLAND LGA: MAITLAND

Our Ref: 9714 PS-V1
Original Size: A3
Sheet No.: 1 of 1